

37/03-06EEE 7400 MAPLE AVE 3713-
Takoma Park Historic District 0988
Revision

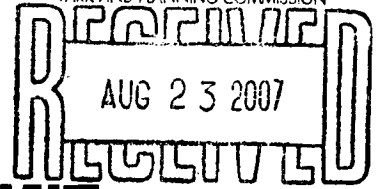




RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

HISTORIC PRESERVATION OFFICE
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

HISTORIC PRESERVATION COMMISSION
301/563-3400



APPLICATION FOR HISTORIC AREA WORK PERMIT

SILVER SPRING, MD

Contact Person: Ron Borzekowski

Daytime Phone No.: 301-270-4198

Tax Account No.: _____

Name of Property Owner: Ron and Dina Borzekowski Daytime Phone No.: 301-270-4198

Address: 7400 Maple Ave Takoma Park MD 20912
Street Number City Street Zip Code

Contractor: owners Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 7400 Street: Maple Ave

Town/City: Takoma Park Nearest Cross Street: Philadelphia Ave

Lot: P17 Block: 5 Subdivision: B. F. Gilbert

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 - Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 - Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 200,000

1C. If this is a revision of a previously approved active permit, see Permit # 435081

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Dther: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: _____ Date: 8/21/07

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 9-12-07

Application/Permit No.: 463872 Date Filed: 9/23/07 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Three story wood framed craftsman cottage with single story brick extension located on
heavily wooded lot. House is located in Takoma Park historic district.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

This application is a revision to previously approved plans. Original plans called for new
screened porch, new mudroom, and the addition of two rooms above current addition. In
these plans, screened porch is smaller, mudroom is removed and new addition is also
simplified. Current plans have been certified as eligible for Maryland State Historic Credit.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).



Stamped plans in bth in ofc
-AF
revised 12-17-07

HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: September 12, 2007

MEMORANDUM

TO: Carla Reid Joyner, Director
Department of Permitting Services

FROM: Anne Fothergill, Senior Planner *AF*
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #463822, rear addition and alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the September 11, 2007 meeting.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Ron and Dina Borzekowski

Address: 7400 Maple Avenue, Takoma Park, MD

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.



Original
Staff
Reports

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7400 Maple Avenue, Takoma Park	Meeting Date:	09/11/2007
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	09/04/2007
Applicant:	Ron and Dina Borzekowski	Public Notice:	08/29/2007
Review:	HAWP	Tax Credit:	Partial
Case Number:	37/03-07BB REVISION	Staff:	Anne Fothergill
PROPOSAL:	Changes to approved rear addition		

STAFF RECOMMENDATION

Staff is recommending that the HPC approve this revised HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Bungalow
DATE: c1910-20

BACKGROUND

The applicants were approved for a rear addition in October 2006. In order to be eligible for tax credits from the Maryland Historical Trust, the applicants have revised the plans based on MHT's requirements. This staff report discusses the proposed changes to the approved plans.

PROPOSAL

The applicants are proposing the following changes to their approved rear addition. There are no new proposed changes to the historic house.

- First floor of rear addition reduced with smaller screened porch in location of existing deck and no interior mudroom
- Spiral staircase removed
- New door and wood steps to grade off rear screened porch
- Roof pitch of new rear dormer and second story addition increased
- Changes to fenestration on left side of rear addition and new dormer
- Front dormer windows to remain the same
- Siding for addition is Hardiplank including Hardiplank over existing brick on sides

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

Some of the factors to be considered in reviewing HAWPs on Contributing Resources include:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required
- Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged, but not automatically prohibited
- While additions should be compatible, they are not required to be replicative of earlier architectural styles
- Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition
- Alterations to features that are not visible from the public right-of-way should be allowed as a matter of course
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code; Chapter 24A

- A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

STAFF DISCUSSION

The rear addition and other changes had previously been approved by the HPC and now the applicants are proposing an addition that is smaller and other changes that make it more compatible with the historic house. Staff is recommending approval of the proposed changes to the previously-approved addition.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

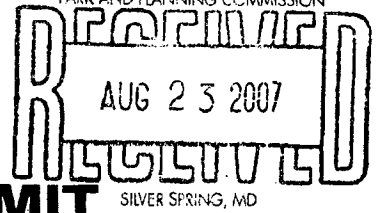
and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



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3A. Height feet inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent Date 8/21/07

Approved: For Chairperson, Historic Preservation Commission
Disapproved: Signature: Date:
Application/Permit No.: 403822 Date Filed: 8/23/07 Date Issued:

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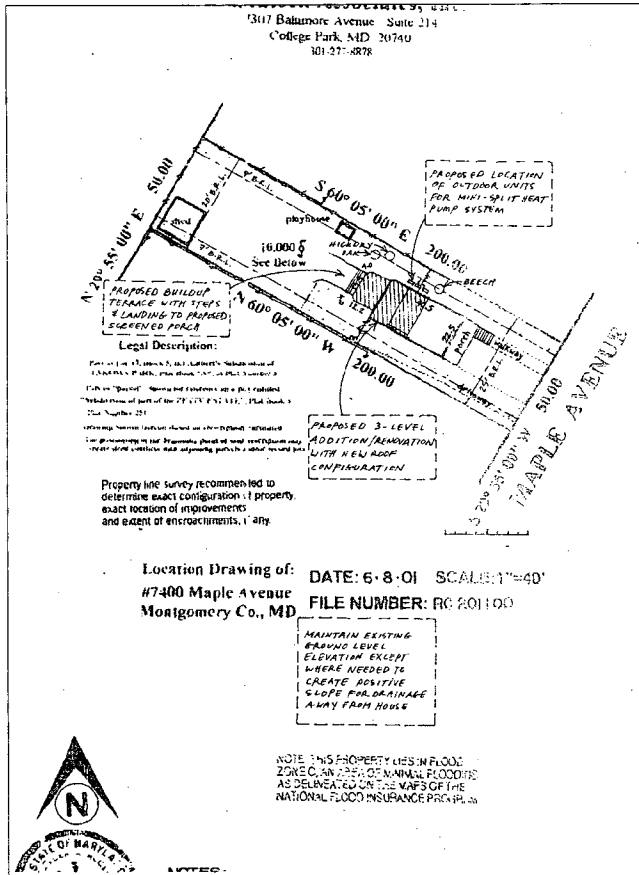
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PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address Ron and Dina Borzekowski 7400 Maple Ave Takoma Park, MD 20912	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
David Rogers and Rebekah Zanditon 7316 Maple Ave Takoma Park, MD 20912	Ted and Shannon Howard 7402 Maple Ave Takoma Park, MD 20912
Bruce Weddle and Dorothy Darah 7315 Maple Ave Takoma Park, MD 20912	Joshua Wright and Eliza Leighton 7401 Maple Ave Takoma Park, MD 20912

6
23



NEW

A SITE PLAN

SCALE: 1" = 40'-0"

7

DRAWING INDEX:

- T-1 TITLE SHEET; SITE PLAN
- A-1 FIRST FLOOR DEMOLITION PLAN
- A-2 SECOND FLOOR DEMOLITION PLAN
- A-3 THIRD FLOOR AND BASEMENT DEMOLITION PLANS
- A-4 FIRST FLOOR PLAN
- A-5 SECOND FLOOR PLAN
- A-6 THIRD FLOOR PLAN
- A-7 BASEMENT PLAN
- A-8 ROOF PLAN
- A-9 FRONT AND BACK ELEVATIONS
- A-10 SIDE ELEVATION (SOUTHWEST)
- A-11 SIDE ELEVATION (NORTHEAST)
- A-12 SECTION: SCREENED PORCH - KITCHEN
- A-13 SECTION: MUD ROOM - DINING ROOM
- A-14 SECTION: BEDROOM; WALL DETAIL
- A-15 DETAIL: GREEN ROOF
- S-1 FOUNDATION PLAN AND COLUMN BASE DETAIL
- S-2 FIRST FLOOR FRAMING PLAN
- S-3 SECOND FLOOR FRAMING PLAN
- S-4 LOWER ROOF FRAMING PLAN
- S-5 MIDDLE ROOF, BAY WINDOW ROOF, THIRD FLOOR FRAMING PLAN
- S-6 UPPER ROOF FRAMING PLAN
- E-1 FIRST FLOOR ELECTRICAL PLAN
- E-2 SECOND FLOOR ELECTRICAL PLAN
- E-3 THIRD FLOOR AND BASEMENT ELECTRICAL PLANS

SCOPE:

DISTURBED SOIL:	
NEW SCREENED PORCH STAIRS AND LANDING:	67 SF
TOTAL:	67 SF

ADDITION:

NEW SCREENED PORCH:	231 SF
NEW SECOND FLOOR BEDROOMS:	312 SF
NEW THIRD FLOOR MASTER BEDROOM DOORMIE:	165 SF
TOTAL:	732 SF

RENOVATION:

BASEMENT RENOVATION:	86 SF
FIRST FLOOR RENOVATION:	407 SF
SECOND FLOOR RENOVATION:	95 SF
THIRD FLOOR RENOVATION:	246 SF
TOTAL:	836 SF

- GENERAL NOTES:
- ALL WORK SHALL BE PERFORMED IN A "WORKMANLIKE" MANNER IN ACCORDANCE WITH I.R.C. 2003 AND ALL OTHER APPLICABLE LOCAL CODES CURRENTLY IN FORCE.
 - SHOULD THE GENERAL CONTRACTOR FIND ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS, S/HE SHALL CONSULT WITH THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 - ALL DIMENSIONS NOTED ON THE DRAWINGS ARE BETWEEN FINISH COMPONENTS (I.E., DRYWALL TO DRYWALL, SIDING TO SIDING) UNLESS OTHERWISE NOTED (I.E., FRAMING TO FRAMING).
 - DO NOT SCALE DIMENSIONS FROM THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING IN THE FIELD ALL NECESSARY ROUGH, FINISH, AND INSTALLATION DIMENSIONS FOR FIXTURES, EQUIPMENT, AND THE LIKE.
 - IT IS THE INTENTION TO MINIMIZE LANDFILL WASTE FOR THE DURATION OF THIS PROJECT. OFFER ALL MATERIALS THAT CAN BE RE-USED, SUCH AS EXCESS LUMBER, FIXTURES, ETC., TO THE OWNER; SALVAGE OR DONATE ANY REMAINING MATERIALS (COMMUNITY FORKLIFT IN DC 202-544-0089, LOADING DOCK IN BALTIMORE 410-728-3823, SECOND CHANCE IN BALTIMORE 410-488-0888, UNCONTAMINATED DRYWALL WASTE MAY BE USED AS A SOIL AMENDMENT OR MAY BE CRUSHED AND ADDED TO COMPOST, AS APPROVED BY OWNER. IDENTIFY AND SEPARATE ALL RECYCLABLE WASTE GENERATED DURING CONSTRUCTION. CATEGORIES OF RECYCLABLES SHALL INCLUDE, BUT ARE NOT LIMITED TO: MIXED GLASS, METALS (INCLUDING STEEL, ALUMINUM, COPPER), PLASTIC (INCLUDING BEVERAGE CONTAINERS), UNTREATED WOOD, SLAG, AND ALL PAPER PRODUCTS (INCLUDING CARDBOARD). SEE MARYLAND RECYCLING (WWW.MORECYCLES.ORG) FOR RE-USE AND RECYCLING DIRECTIONS. CLEAN WORK AREAS DAILY. THE GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE AND CLEAR OF CONSTRUCTION MATERIALS AND EQUIPMENT UPON JOB COMPLETION.
 - ALL STRUCTURES AND MATERIALS SCHEDULED FOR DEMOLITION SHALL BE REMOVED FROM THE SITE IN THEIR ENTIRETY, UNLESS OTHERWISE NOTED. ANY DAMAGE CAUSED TO EXISTING MATERIALS AND/OR STRUCTURAL ELEMENTS SHALL BE REPAIRED AND/OR REPLACED IN KIND BY THE CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY BRACING TO SUPPORT EXISTING STRUCTURES WHERE STRUCTURAL ELEMENTS ARE SCHEDULED TO BE REMOVED OR REPLACED.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY AND SECURITY PRECAUTIONS THROUGHOUT THE DURATION OF THE CONSTRUCTION.
 - AFTER DEMOLITION, EXISTING WALLS AND CEILINGS SHALL BE PATCHED AND FINISHED AS NEEDED TO PROVIDE FLAT, SMOOTH SURFACES FOR FINISHING.
 - ALL PRESSURE TREATED LUMBER TO BE NON-ARSENIC.
 - SEAL ALL ELECTRICAL, PLUMBING AND VENTING PENETRATIONS OF THE HOUSE'S EXTERIOR SHELL (WALLS, ROOF, BASEMENT FLOOR, CRAWLSPACE) WITH EXPANDING FOAM AND/OR CAULK AS APPROPRIATE.
 - CAULK TOP AND BOTTOM PLATES AT ALL EXTERIOR FRAME WALLS OF HOUSE.

- GENERAL PARTITION NOTES:
- ALL NEW EXTERIOR WALLS SHALL BE 2 X 6 WOOD FRAMING @ 24" O.C. WITH DOUBLE TOP PLATE WITH 1/2" DRYWALL, SPACKLED AND FINISHED SMOOTH, UNLESS OTHERWISE NOTED.
 - ALL NEW INTERIOR BEARING WALLS SHALL BE 2 X 4 WOOD FRAMING @ 16" O.C. WITH DOUBLE TOP PLATE WITH 1/2" DRYWALL ON EACH SIDE, SPACKLED AND FINISHED SMOOTH, UNLESS OTHERWISE NOTED.
 - ALL NEW INTERIOR NON-BEARING WALLS SHALL BE 2 X 4 WOOD FRAMING @ 24" O.C. WITH SINGLE TOP PLATE WITH 1/2" DRYWALL ON EACH SIDE, SPACKLED AND FINISHED SMOOTH, UNLESS OTHERWISE NOTED.
 - USE ADVANCED FRAMING TECHNIQUES (E.G., TWO-STUD CORNERS) WHERE POSSIBLE.

- SITE SPECIFICATIONS:
- GENERAL CONTRACTOR SHALL PROTECT OR REPAIR ALL DISTURBED AREAS PER COUNTY REQUIREMENTS. IT IS THE INTENTION TO AVOID DESTRUCTION OF EXISTING TREES. GENERAL CONTRACTOR SHALL DEMARCAT E AN AREA AROUND ALL OWNER-MARKED TREES AND PROTECT THEM FROM ALL CONSTRUCTION ACTIVITIES. AREA OF TREE PROTECTION WILL INCLUDE THE ENTIRE DRP LINE OF THE TREE OR WITHIN A 10-FOOT PERIMETER OR THE TREE, WHICHEVER IS GREATER.
 - REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS PER COUNTY AND CITY REQUIREMENTS.
 - STABILIZE SOIL TEMPORARILY AS NECESSARY FOR CONSTRUCTION. PROVIDE EROSION CONTROL MEASURES AROUND ALL DISTURBED EARTH AREAS, INCLUDING SILT FENCING AND TEMPORARY SEEDING AS APPROPRIATE.
 - STOCKPILE ALL DISTURBED TOPSOIL, TREE BRANCH CLIPPINGS. REPLACE MINIMUM 6 INCH OF TOPSOIL AT FINISH GRADE. RE-CONTOUR FINISH GRADE TO SLOPE AWAY FROM BUILDING AT A MINIMUM SLOPE OF 15 DEGREES FOR A MINIMUM OF 2 FEET FROM THE EXTERIOR WALL AND A MINIMUM SURFACE SLOPE OF 5% WITHIN 10 FEET OF THE HOUSE FOR SURFACE DRAINAGE.
 - FINISH GRADE SHALL BE A MINIMUM 18 INCHES FROM ALL NON-PRESSURE-TREATED WOOD.
 - VERIFY PROPERTY BOUNDARIES AND LOCATIONS OF ALL UTILITIES PRIOR TO ANY EXCAVATION.
 - SOIL COMPACTION FOR ALL FILLED AREAS SHALL HAVE A MINIMUM COMPACTION OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698 (ASHSTO DESIGNATION T-99).

ENERGY EFFICIENCY:

1. CEILING:	R-36
2. WALL:	R-19
3. EXISTING EXTERIOR WALL:	R-5
4. FLOOR OVER OUTSIDE AIR:	R-36
5. HEADER:	RIGID INSULATION IN-BETWEEN DOUBLE HEADER

HELICON WORKS ARCHITECTS

7105 HOLLY AVENUE TAKOMA PARK, MD 20912

W. WILLIAM HUTCHINS, AIA
301-464-8878
A. SHARI TRAIL, AIA
301-336-4000

STRUCTURAL ENGINEER:
D. ANTHONY BEALE, LLC
D. ANTHONY BEALE, P.E.
808 S. MOUNTAIN RD.
SPRINGFIELD, VA 22153
502-669-2273

CONSTRUCTION MANAGER:
WILLIAM LUDWIG
4028 28TH ST
301-367-0040

PROJECT NAME:
BORZEKOWSKI RESIDENCE
7400 MAPLE AVE
TAKOMA PARK, MD 20912

OWNER:
DINA BORZEKOWSKI
7400 MAPLE AVE
TAKOMA PARK, MD 20912
301-270-4100

ISSUE:
PERMIT 11/20/06
REV. PERMIT 07/16/07

HEET TITLE:

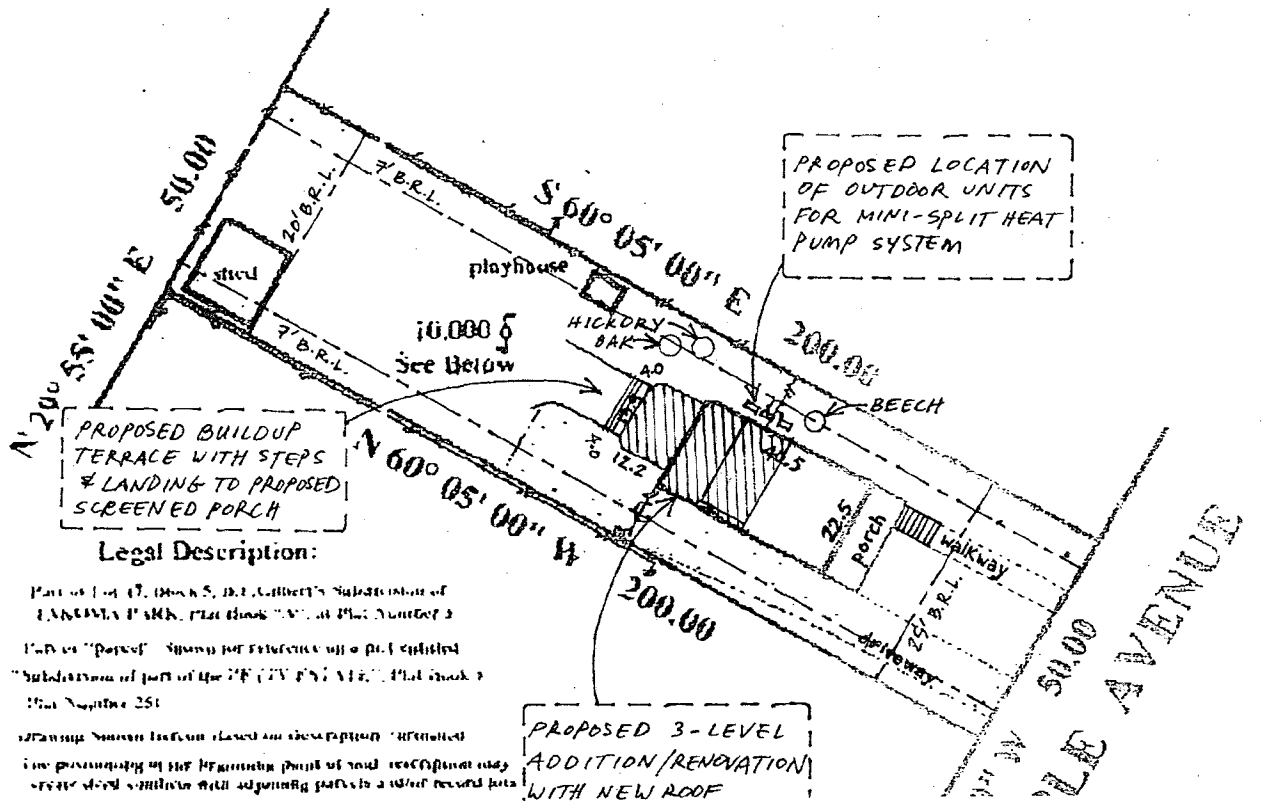
TITLE SHEET; SITE PLAN

NO. A01

DATE: 07/18/2007

SCALE: AS SHOWN

T-1



PROPOSED BUILDUP
TERRACE WITH STEPS
& LANDING TO PROPOSED
SCREENED PORCH

Legal Description:

Part of Lot 17, Block 5, D.E. Gilbert's Subdivision of
LANGLIA PARK, Plat Book "A", Plat Number 3
Part of "porch" shown for reference on a plat entitled
"Subdivision of part of the 27 (27 1/2) A.C.", Plat Book 3
Plat Number 251
Drawing shown herein based on description furnished
the possession of the beginning point of said description may
create deed conditions with adjoining parcels a which record here

PROPOSED 3-LEVEL
ADDITION/RENOVATION
WITH NEW ROOF

PROPOSED LOCATION
OF OUTDOOR UNITS
FOR MINI-SPLIT HEAT
PUMP SYSTEM

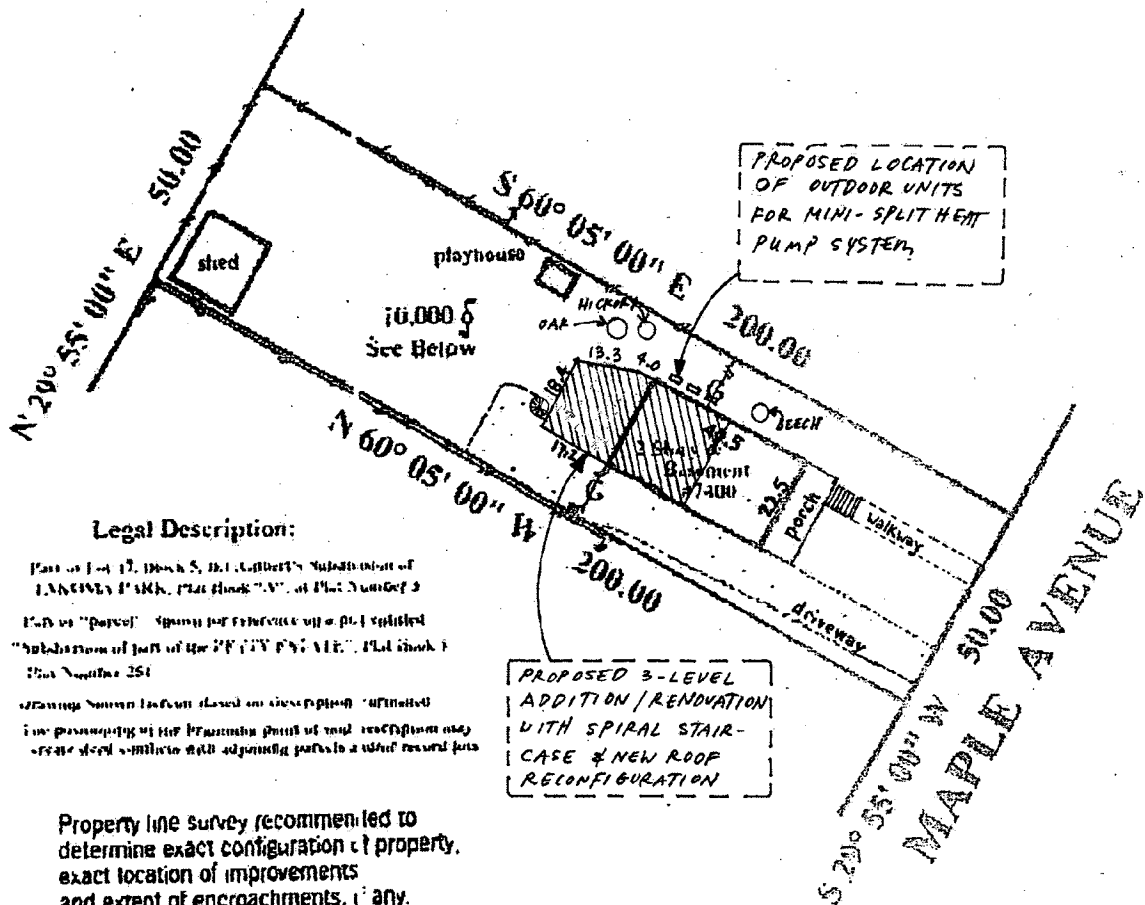
NEW site plan - enlarged

Landtech Associates, Inc.

7317 Baltimore Avenue Suite 214

College Park, MD 20740

301-377-8878



Legal Description:

Part of Lot 12, Block 5, DCI GARDEN'S Subdivision of
 LAKELINE PARK, Plat Book "A", of Plat Number 3
 City of "Parcel" shown for reference only. Split
 "Subdivision of part of the 'P' CITY PARK, Plat Book 1
 Plat Number 251
 showing shown herein based on description submitted
 in compliance of the provisions of said regulations may
 create deed conflicts with adjoining parcels a which record plat

Property line survey recommended to
 determine exact configuration of property,
 exact location of improvements
 and extent of encroachments, if any.

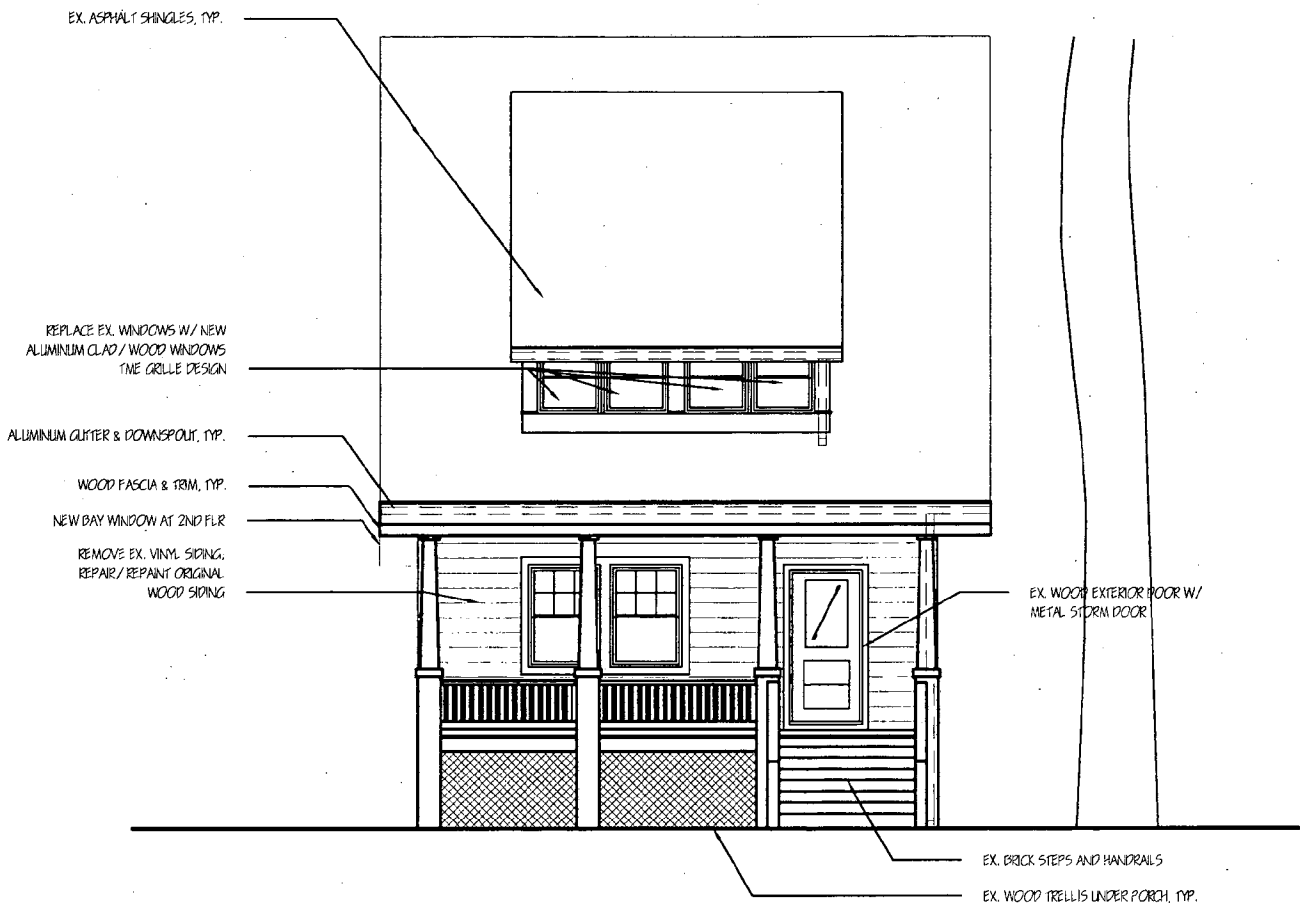
Location Drawing of:
 #7400 Maple Avenue
 Montgomery Co., MD

DATE: 6-8-01 SCALE: 1"=40'
 FILE NUMBER: RC 201100

HPC Approved site plan



NOTE THIS PROPERTY LIES IN FLOOD
 ZONE C, AN AREA OF MINIMAL FLOODING
 AS DELINEATED ON THE MAPS OF THE
 NATIONAL FLOOD INSURANCE PROGRAM



HPC APPROVED

(=)

BORZEKOWSKI RESIDENCE 7400 MAPLE AVE TAKOMA PARK, MD 20912 RON & DINA BORZEKOWSKI 301-270-4198		PROPOSED FRONT ELEVATION	
HELICON WORKS 7108 HOLLY STREET TAKOMA PARK, MD 20912 W. WILLIAM HUTCHINS, AIA 301-404-5578		DRAWN BY: ABT DATE: 16 OCT 2006 SCALE: 1/8" = 1'-0"	A-9
A. BAMBI TRAN 202-352-4563			

**HELICON
WORKS**
ARCHITECTS

7108 HOLLY AVENUE
TAKOMA PARK, MD 20912

W. WILLIAM HUTCHINS, AIA
301.404.0078
A. BARB. TRAM, AIA
301.322.1003

STRUCTURAL ENGINEER:
D. ANTHONY BEALE, LLC
D. ANTHONY BEALE, P.E.
823 N. TUTTLE RD
SPRINGFIELD, VA 22152
501.860.1272

CONSTRUCTION MANAGER:
WILLIAM J. BORDO
JES 2370 ST
MT. RAINIER, MD 20712
301.367.0048

PROJECT NAME:
**BORZEKOWSKI
RESIDENCE**
7400 MAPLE AVE
TAKOMA PARK, MD 20912

OWNER:
DINA BORZEKOWSKI
RON BORZEKOWSKI
7400 MAPLE AVE
TAKOMA PARK, MD 20912
301.370.1100

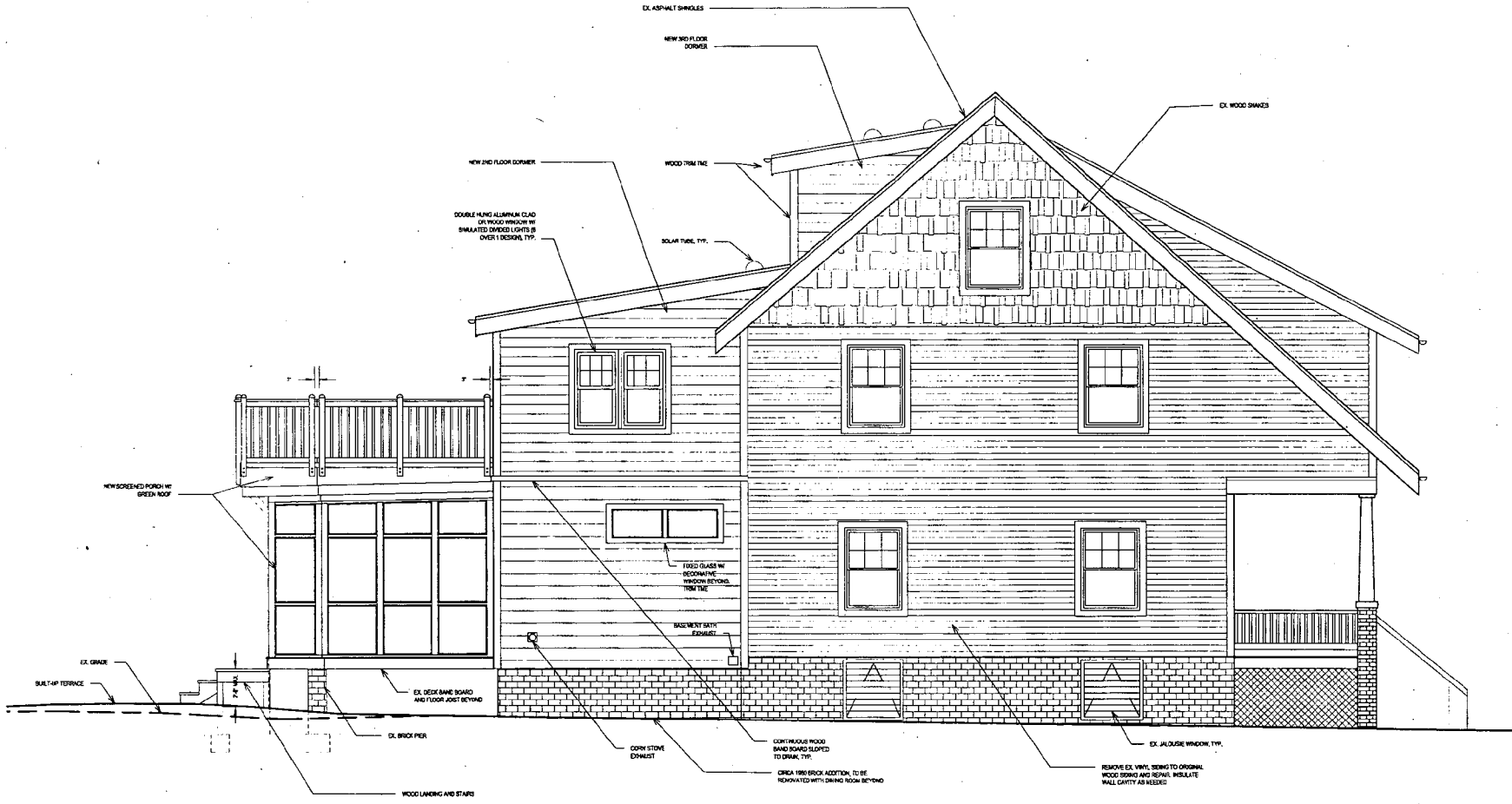
ISSUES

PERMIT	11/09/08
PERMIT - REVISED	07/16/07
CD	

SHEET TITLE:
**ELEVATION:
SIDE
(SOUTHWEST)**

DATE: 07/18/2007
SCALE: 1/4" = 1'-0"

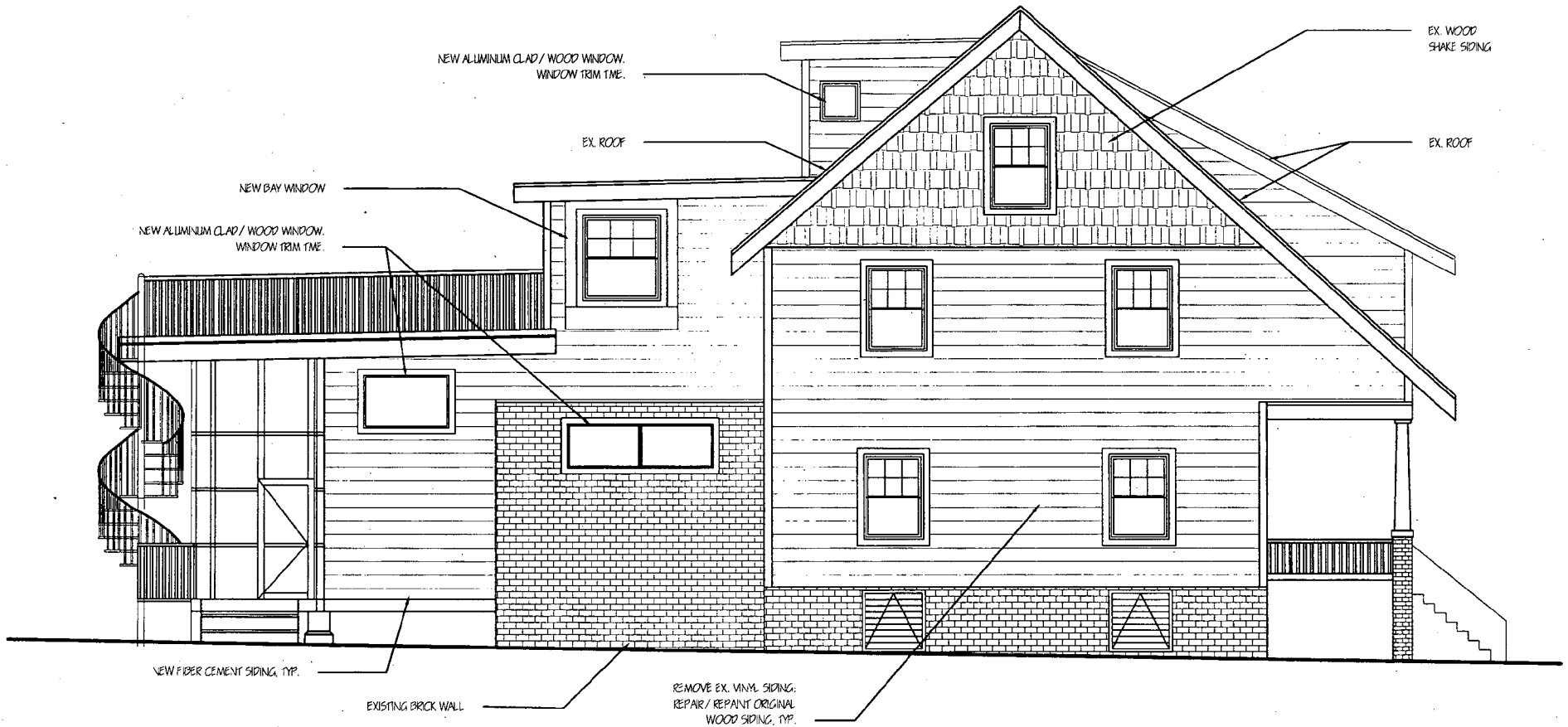
A-10



NEW PROPOSAL

A ELEVATION: SIDE (SOUTHWEST) (WITH TYPICAL NOTES)
SCALE: 1/4" = 1'-0"

12

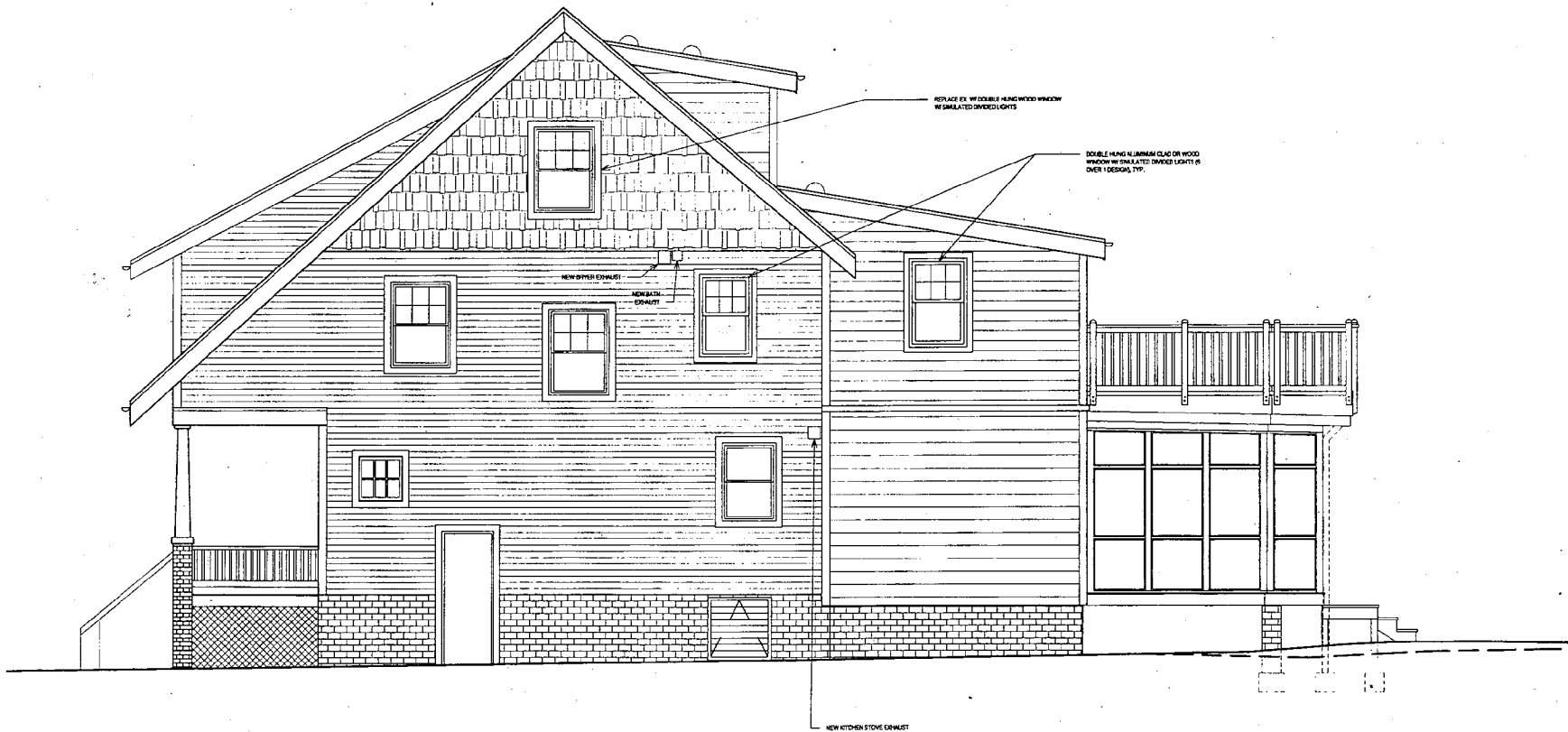


PROPOSED NEW CONSTRUCTION / RENOVATION PROPOSED RENOVATION / EXISTING HOUSE

HPC APPROVED

W

BORZEKOWSKI RESIDENCE 7400 MAPLE AVE TAKOMA PARK, MD 20912 RON & DINA BORZEKOWSKI 301-270-4198		PROPOSED SIDE ELEVATION (SOUTHWEST)	
HELICON WORKS 7108 HOLLY STREET TAKOMA PARK, MD 20912 W. WILLIAM HUTCHINS, AIA 301-404-5578		DRAWN BY: ABT DATE: 16 OCT 2006 SCALE: 1/8" = 1'-0"	A-11
		A. BAMBI TRAN 202-352-4563	



**HELICON
WORKS**
ARCHITECTS

7108 HOLLY AVENUE
TAKOMA PARK, MD 20912

W. WILLIAM HUTCHINS, AIA
301.404.8878
A. BRAD TRAM, ASBOC AIA
302.382.4283

STRUCTURAL ENGINEER:
D. ANTHONY SCALE, LLC
D. ANTHONY SCALE, P.E.
8224 TUTTLE RD
SPRINGFIELD, VA 21152
302.969.2272

CONSTRUCTION MANAGER:
WILLIAM J. JED
202.320.85
21 PARKER DR 20712
302.387.8848

PROJECT NAME:
**BORZEKOWSKI
RESIDENCE**
7400 MAPLE AVE
TAKOMA PARK, MD 20912

OWNER:
SILVA BORZEKOWSKI
SON BORZEKOWSKI
7400 MAPLE AVE
TAKOMA PARK, MD 20912
301.370.4188

ISSUES

PERMIT	11/20/06
PERMIT - REVISED	07/18/07
CD	

SHEET NO.:

ELEVATION:
SIDE
(NORTHEAST)

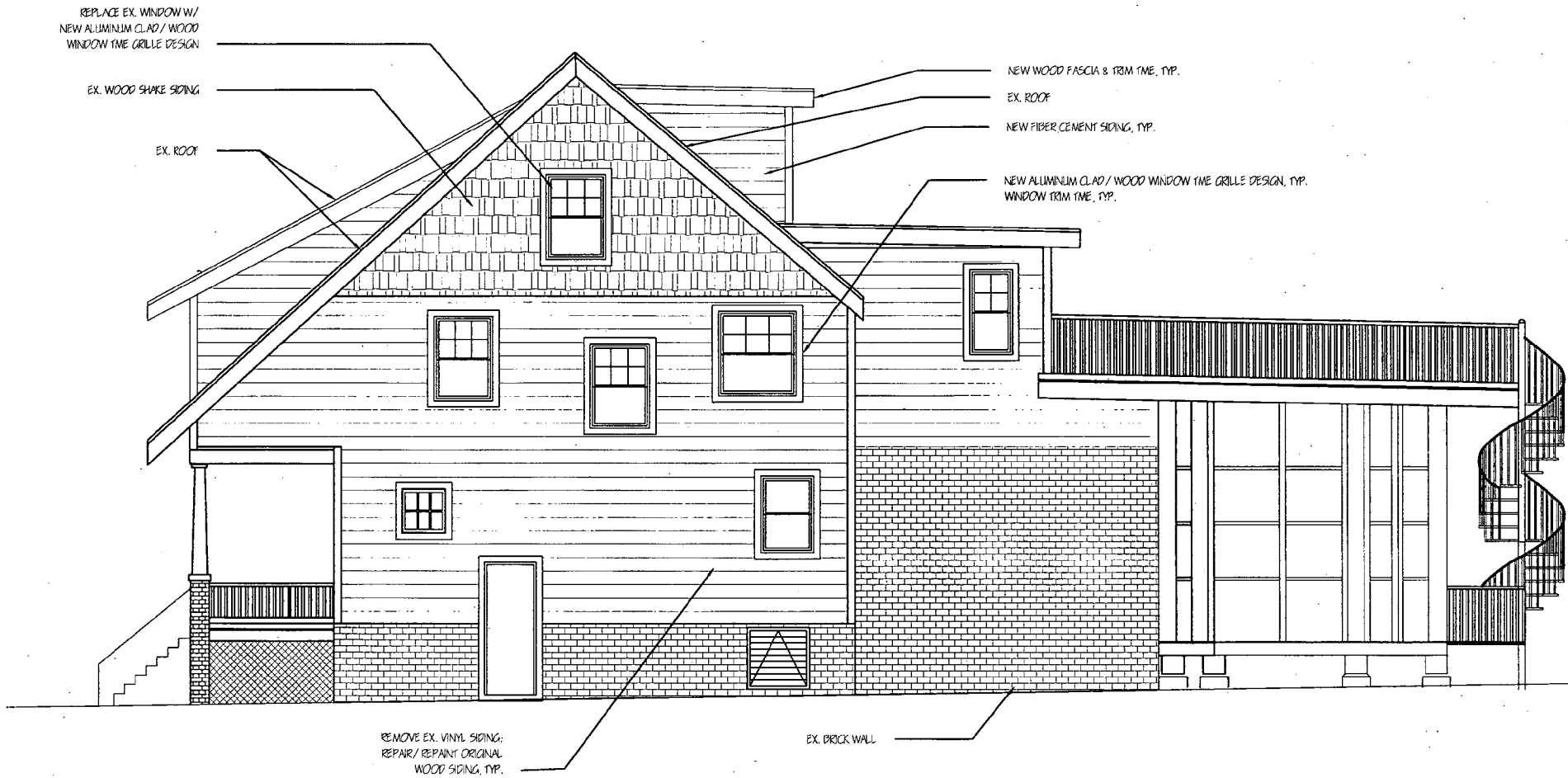
BY: ABT
DATE: 07/18/2007
SCALE: 1/4" = 1'-0"

A-11

NEW PROPOSAL

A ELEVATION: SIDE (NORTHEAST)
SCALE: 1/4" = 1'-0"

(14)



PROPOSED RENOVATION / EXISTING HOUSE PROPOSED RENOVATION / NEW CONSTRUCTION

HPC APPROVED

15

BORZEKOWSKI RESIDENCE		PROPOSED SIDE ELEVATION (NORTHEAST)	
7400 MAPLE AVE TAKOMA PARK, MD 20912 RON & DINA BORZEKOWSKI 301-270-4198		DRAWN BY: ABT	
HELICON WORKS 7108 HOLLY STREET TAKOMA PARK, MD 20912 W. WILLIAM HUTCHINS, AIA 301-404-5578		DATE: 16 OCT 2006	A-12
A. BAMBI TRAN 202-352-4563		SCALE: 1/8" = 1'-0"	

HELICON WORKS ARCHITECTS

7108 HOLLY AVENUE
TAKOMA PARK, MD 20912

W. WILLIAM HUTCHINS, AIA
301-404-0078
S. SAUNDERS, AIA
302-302-2003

STRUCTURAL ENGINEER:
D. ANTHONY BEALE, LLC
D. ANTHONY BEALE, P.E.
803 S. WYOMING AVE.
SPRINGFIELD, VA 22152
502-969-2372

CONSTRUCTION MANAGER:
WILLIAM JORDAN
3008 33RD ST
ST. PETERS, MD 20686
302-387-0840

PROJECT NAME:
BORZEKOWSKI RESIDENCE
7400 MAPLE AVE
TAKOMA PARK, MD 20912

OWNER:
DINA BORZEKOWSKI
7400 MAPLE AVE
TAKOMA PARK, MD 20912
301-270-1100

REVISIONS:

PERMIT	10098
PERMIT - REVISED	(27182)
CD	

DATE PLOTTED:

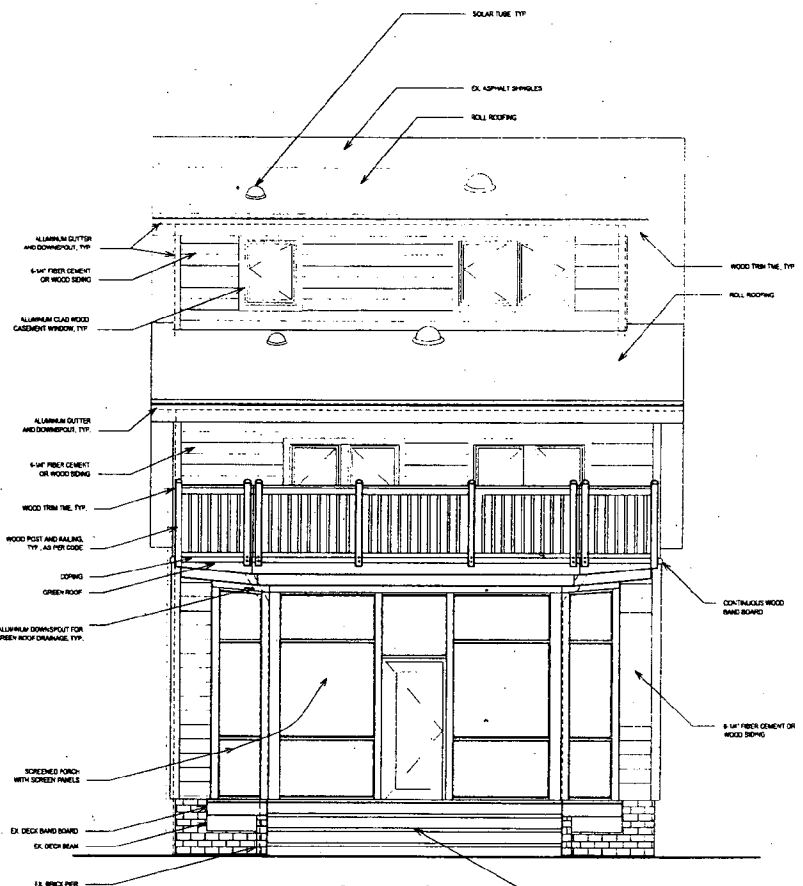
ELEVATION:
FRONT
AND BACK

BY: ABT

DATE: 07/18/2007

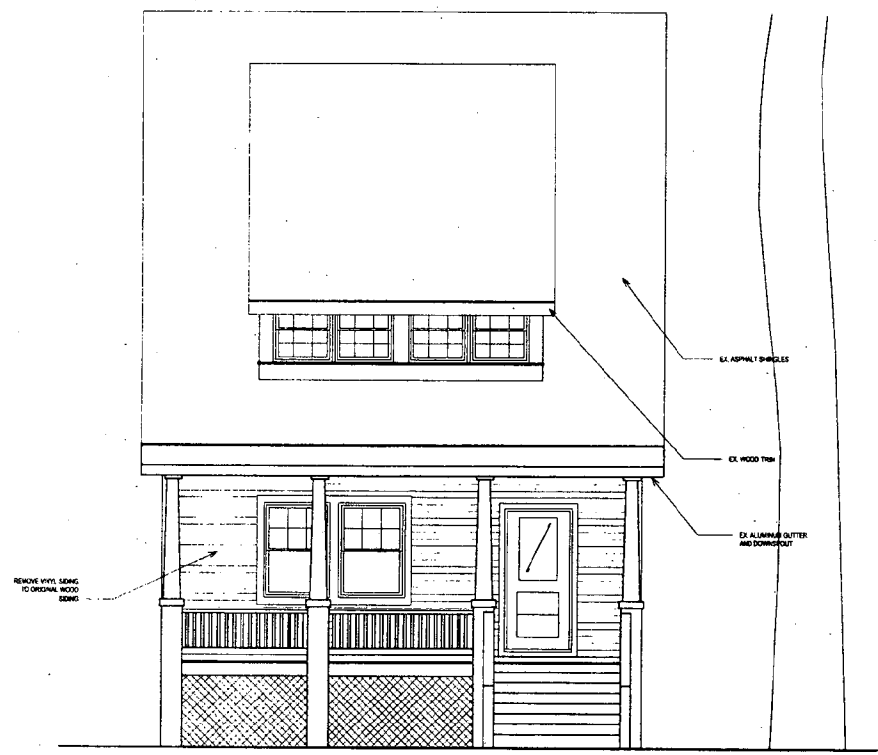
SCALE: 1/4" = 1'-0"

A-9



Back

NEW PROPOSAL



NOTE:
- NO NEW WORK ON THIS ELEVATION

(16) **A** ELEVATION: FRONT
SCALE: 1/4" = 1'-0"

A ELEVATION: BACK (WITH TYPICAL NOTES)
SCALE: 1/4" = 1'-0"



HPC APPROVED

17

BORZEKOWSKI RESIDENCE 7400 MAPLE AVE TAKOMA PARK, MD 20912 RON & DINA BORZEKOWSKI 301-270-4198		PROPOSED BACK ELEVATION	
HELICON WORKS 7108 HOLLY STREET TAKOMA PARK, MD 20912 W. WILLIAM HUTCHINS, AIA 301-404-5578		DRAWN BY: ABT DATE: 16 OCT 2006 SCALE: 1/8" = 1'-0"	A-10

**HELICON
WORKS**
ARCHITECTS

7108 HOLLY AVENUE
TAKOMA PARK, MD 20912
W. WILLIAM BOUTCHER, AIA
301.404.5376
A. BAURI TRAN, ASSOC. AIA
202.292.4363

STRUCTURAL ENGINEER:
D. ANTHONY BEALE, LLC
D. ANTHONY BEALE, P.E.
6636 TULLY RD.
SPRINGFIELD, VA 22152
202.869.2272

CONSTRUCTION MANAGER:
WILLIAM W. DODD, III
4202 32ND ST
MT. RAINIER, MD 20812
202.297.8888

PROJECT NAME:
**BORZEKOWSKI
RESIDENCE**
7400 MAPLE AVE
TAKOMA PARK, MD 20912

OWNER:
DINA A. BORZEKOWSKI
8200 BOURBONWOOD
7400 MAPLE AVE
TAKOMA PARK, MD 20912
301.270.4168

ISSUES

REV#	DATE
PREP#1	11/20/06
PREP#1 REVISED	01/18/07
02	

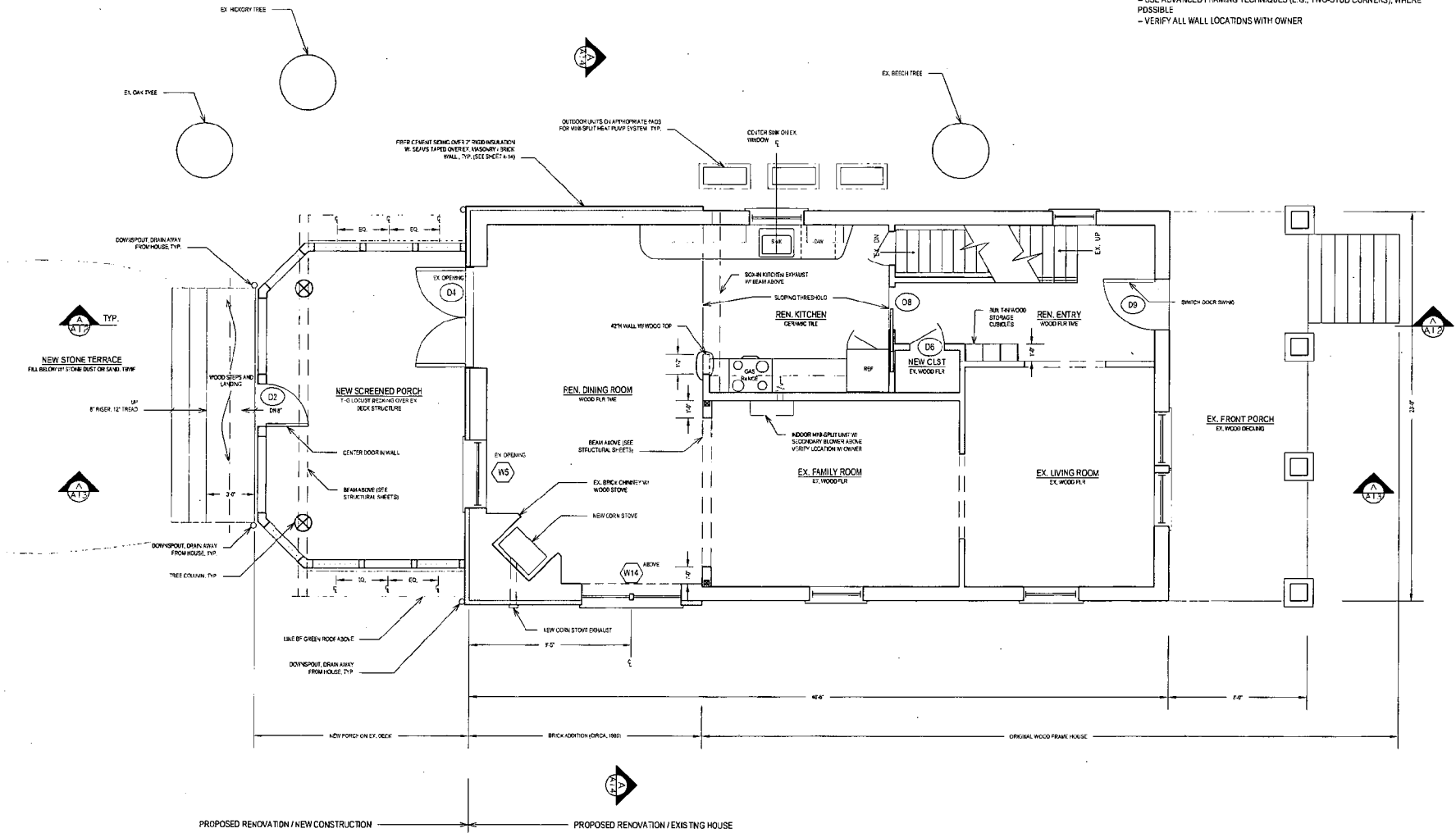
SHEET #12

**FIRST FLOOR
PLAN**

BY: ABT
DATE: 07/18/2007
SCALE: 1/4" = 1'-0"

A-4

NOTE:
- SHADED WALL INDICATES NEW CONSTRUCTION
- ALL NEW EXTERIOR WALL TO BE 2X4 FRAMING @ 24" O.C. WITH DOUBLE TOP PLATE WITH 1/2" DRYWALL, SPACKLED AND FINISHED SMOOTH, UNLESS OTHERWISE NOTED. MIN. R-19
- INTERIOR WALLS TO BE 2X4 FRAMING @ 24" O.C. WITH 1/2" DRYWALL, SPACKLED AND FINISHED SMOOTH, UNLESS OTHERWISE NOTED
- USE ADVANCED FRAMING TECHNIQUES (E.G., TWO-STUD CORNERS), WHERE POSSIBLE
- VERIFY ALL WALL LOCATIONS WITH OWNER

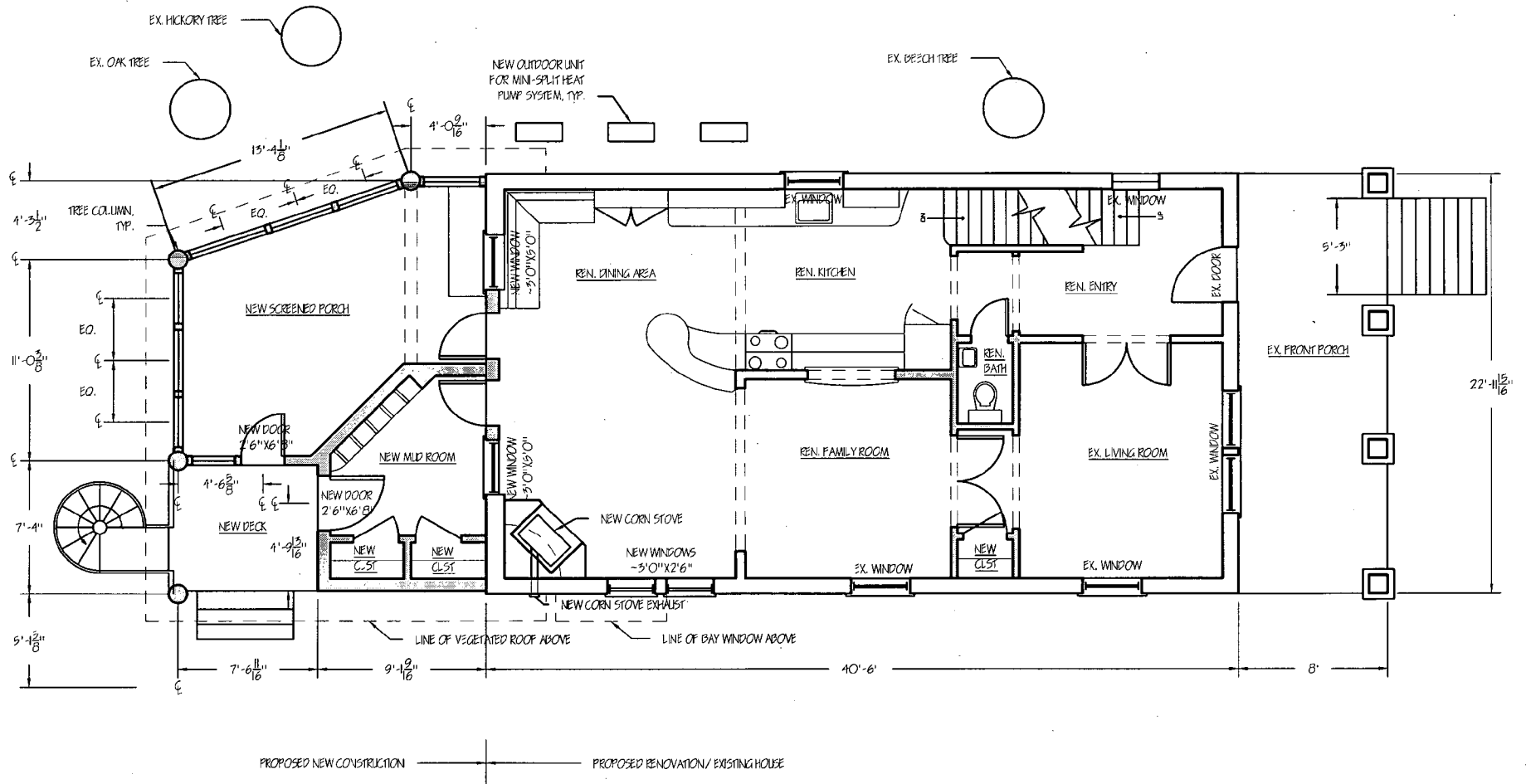


NEW

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

18



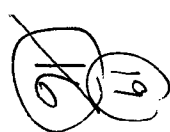


NOTE.

- SHADED WALL INDICATES NEW CONSTRUCTION.
- ALL NEW EXTERIOR WALLS TO BE 2X6 FRAMING @24" O.C. WITH DOUBLE TOP PLATE WITH 1/2" DRYWALL AND ROUNDED CORNER BEAD, SPACKLED AND FINISHED SMOOTH, UNLESS OTHERWISE NOTED. MIN. R-19.
- INSULATE EXISTING EXTERIOR WALLS WITH BLOW-IN INSULATION, MIN R-19.
- SEE TREE PROTECTION PLAN FOR PROTECTION OF EXISTING SIGNIFICANT TREES.

HIPC Approved

BORZEKOWSKI RESIDENCE 7400 MAPLE AVE TAKOMA PARK, MD 20912 RON & DINA BORZEKOWSKI 301-270-4198		FIRST FLOOR PLAN	
HELICON WORKS 7108 HOLLY STREET TAKOMA PARK, MD 20912 W. WILLIAM HUTCHINS, AIA 301-404-5578		DRAWN BY: ABT DATE: 16 OCT 2006 SCALE: 1/8" = 1'-0"	A-6



**HELICON
WORKS**
ARCHITECTS

7108 HOLLY AVENUE
TAKOMA PARK, MD 20912

W. WILLIAM HULTON, AIA
301.404.5370
A. SAMI TRAM, ASSOC. AIA
302.222.7300

STRUCTURAL ENGINEER:
D. ANTHONY BEALE, LLC
D. ANTHONY BEALE, P.E.
5433 TULLY LANE, #10
SPRINGFIELD, VA 22152
302.699.2272

CONSTRUCTION MANAGER:
WILLIAM LUDWIG
4202 3RD STREET
MT PLAIN, MD 20812
301.287.0000

PROJECT NAME:

**BORZEKOWSKI
RESIDENCE**
7400 MAPLE AVE
TAKOMA PARK, MD 20912

OWNER:

DINA BORZEKOWSKI
POM. BORZEKOWSKI
7400 MAPLE AVE
TAKOMA PARK, MD 20912
301.270.4100

ISSUES

REVISED	DATE
PERMIT	11/09/06
REVISION	01/18/07

SHEET #12

SECOND
FLOOR
PLAN

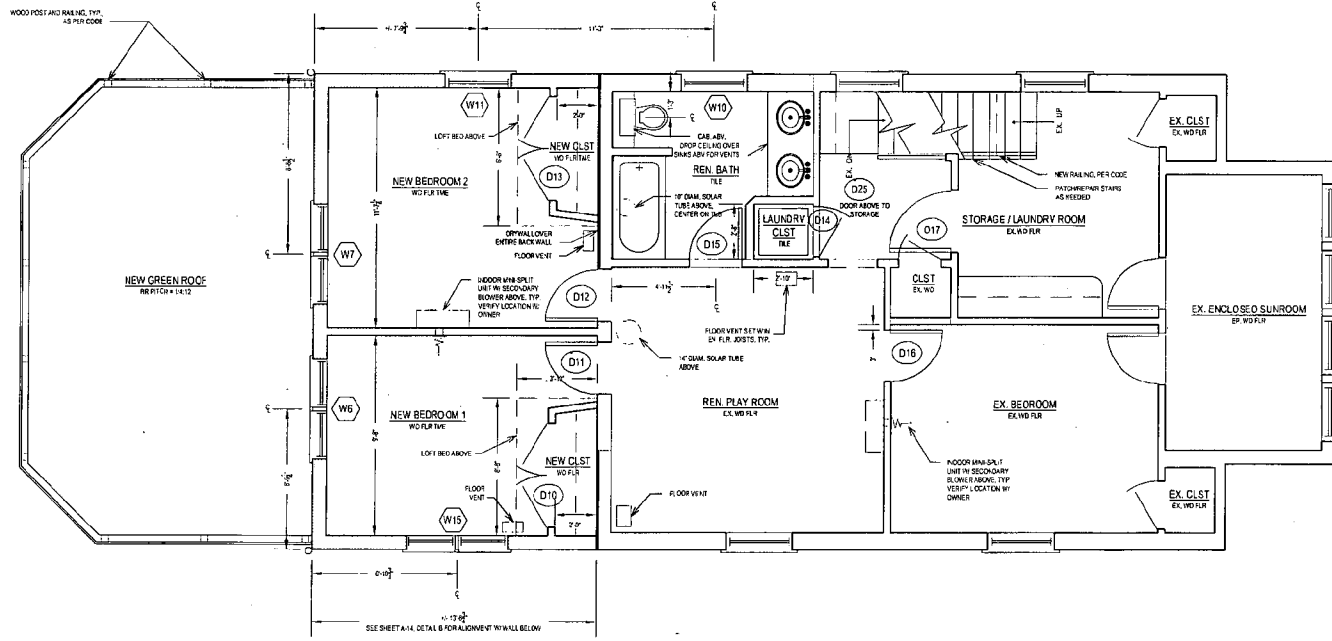
NO. A81

DATE: 07/18/2007

SCALE: 1/4" = 1'-0"

A-5

- NOTE:**
- SHADED WALL INDICATES NEW CONSTRUCTION
 - ALL NEW EXTERIOR WALL TO BE 2X6 FRAMING @ 24" O.C. WITH DOUBLE TOP PLATE WITH 1/2" DRYWALL, SPACKLED AND FINISHED SMOOTH, UNLESS OTHERWISE NOTED. MIN. R-19
 - INTERIOR WALLS TO BE 2X4 FRAMING @ 24" O.C. WITH 1/2" DRYWALL SPACKLED AND FINISHED SMOOTH, UNLESS OTHERWISE NOTED
 - USE ADVANCED FRAMING TECHNIQUES (E.G., TWO-STUD CORNERS), WHERE POSSIBLE
 - VERIFY ALL WALL LOCATIONS WITH OWNER



NEW
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

(20)



**HELICON
WORKS**
ARCHITECTS

71 DB HOLLY AVENUE
TAKOMA PARK, MD 20912

W. WILIAM COTONS, AIA
201.424.8378
A. BAMB TRAN, ASSOC. AIA
202.332.4300

STRUCTURAL ENGINEER:
D. ANTHONY BEALE, LLC
D. ANTHONY BEALE, P.E.
8826 TUTTLE RD.
SPRINGFIELD, VA 22152
202.666.2272

CONSTRUCTION MANAGER:
WILLIAM WOODRIDGE
28205 SHELBY AVE
MT. RAINIER, MD 20712
202.337.0848

PROJECT NAME:

**BORZEKOWSKI
RESIDENCE**
7400 MAPLE AVE
TAKOMA PARK, MD 20912

OWNER:

DINA BORZEKOWSKI
BORZEKOWSKI
7400 MAPLE AVE
TAKOMA PARK, MD 20912
201.270.4178

ISSUES:

PER-MT	11/20/06
PERMIT REVISED	DR-18/07
CD	

SHEET TITLE:

THIRD
FLOOR
PLAN

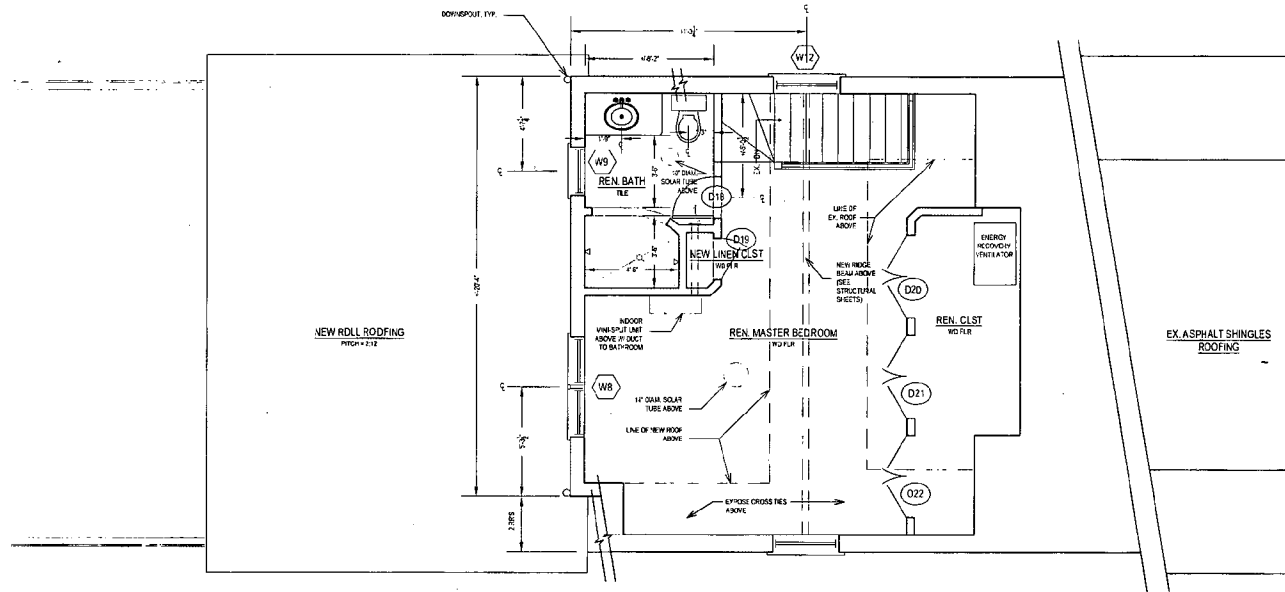
BY: ABT

DATE: 07/18/2007

SCALE: 1/4" = 1'-0"

A-6

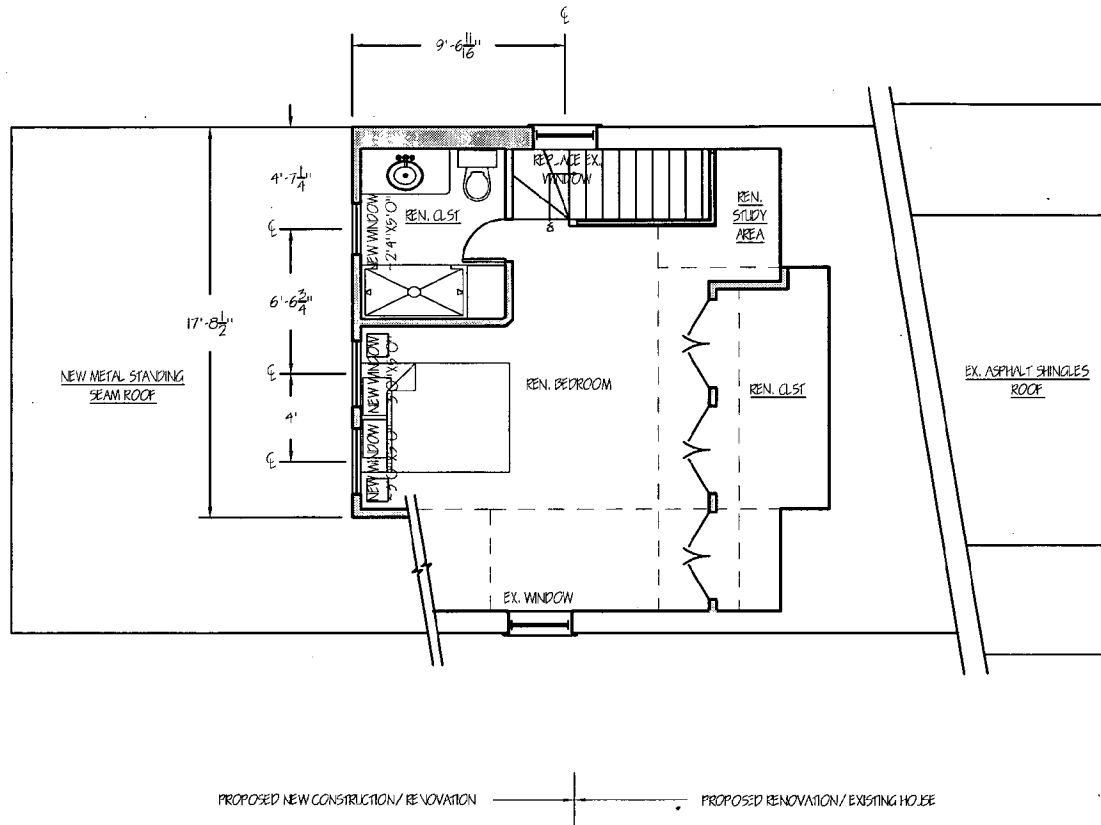
- NOTE:**
- SHADED WALL INDICATES NEW CONSTRUCTION
 - ALL NEW EXTERIOR WALL TO BE 2X6 FRAMING @ 24" O.C. WITH DOUBLE TOP PLATE WITH 1/2" DRYWALL, SPACKLED AND FINISHED SMOOTH, UNLESS OTHERWISE NOTED. MIN. R-19
 - INTERIOR WALLS TO BE 2X4 FRAMING @ 24" O.C. WITH 1/2" DRYWALL, SPACKLED AND FINISHED SMOOTH, UNLESS OTHERWISE NOTED
 - USE ADVANCED FRAMING TECHNIQUES (E.G., TWO-STUD COLUMNS), WHERE POSSIBLE
 - VERIFY ALL WALL LOCATIONS WITH OWNER



NEW

THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

22

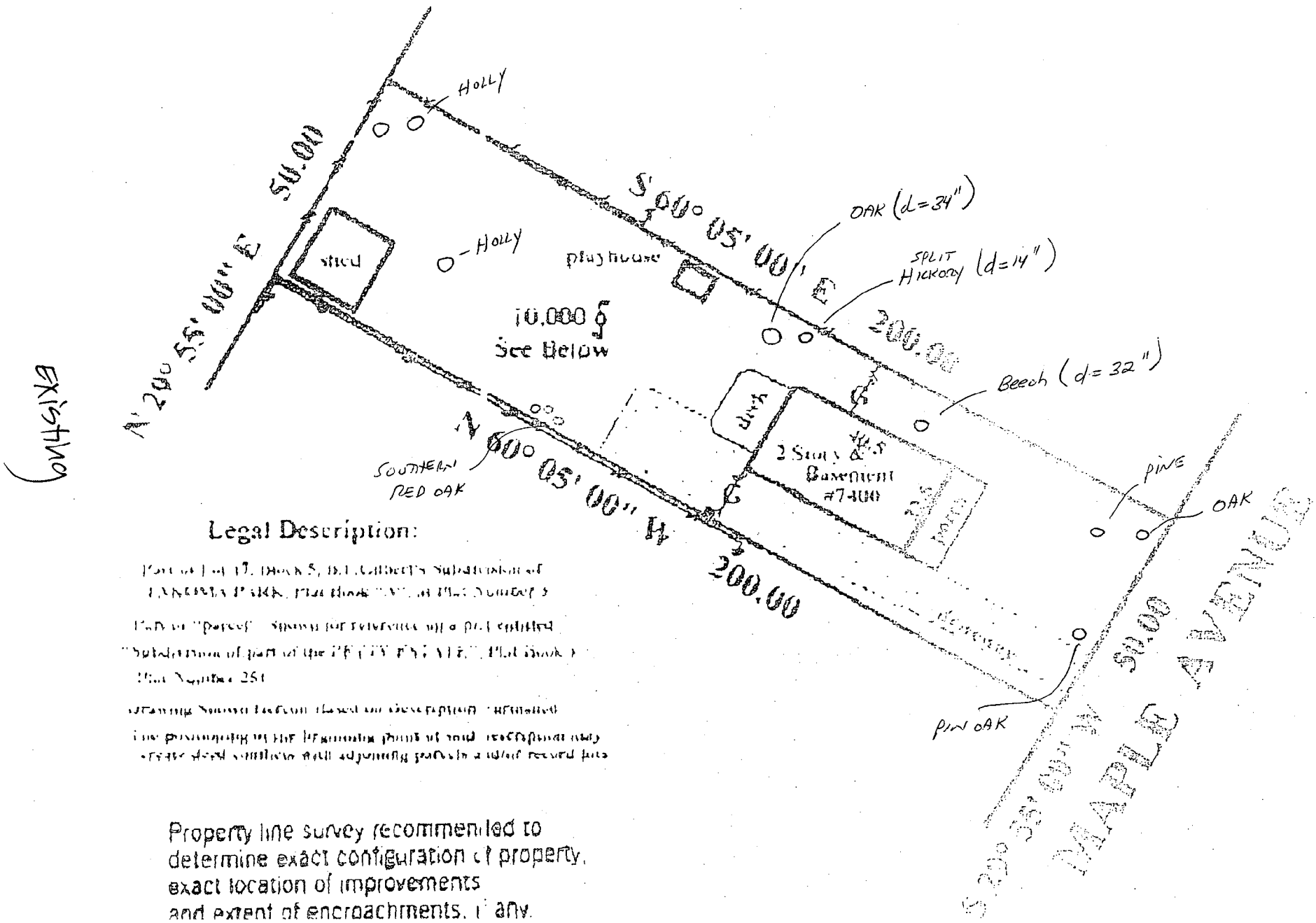


- NOTE:
- SHADED WALL INDICATES NEW CONSTRUCTION.
 - ALL NEW EXTERIOR WALLS TO BE 2X6 FRAMING @24" O.C. WITH DOUBLE TOP PLATE WITH 1/2" DRYWALL AND ROUNDED CORNER BEAD. SPACKLED AND FINISHED SMOOTH, UNLESS OTHERWISE NOTED. MIN. R-19.
 - INSULATE EXISTING EXTERIOR WALLS WITH BLOWN-IN INSULATION. MIN. R-19.

MPC approved

BORZEKOWSKI RESIDENCE 7400 MAPLE AVE TAKOMA PARK, MD 20912 RON & DINA BORZEKOWSKI 301-270-4198		THIRD FLOOR PLAN	
HELICON WORKS 7108 HOLLY STREET TAKOMA PARK, MD 20912 W. WILLIAM HUTCHINS, AIA 301-404-5578		DRAWN BY: ABT DATE: 16 OCT 2006 SCALE: 1/8" = 1'-0"	A-8

23



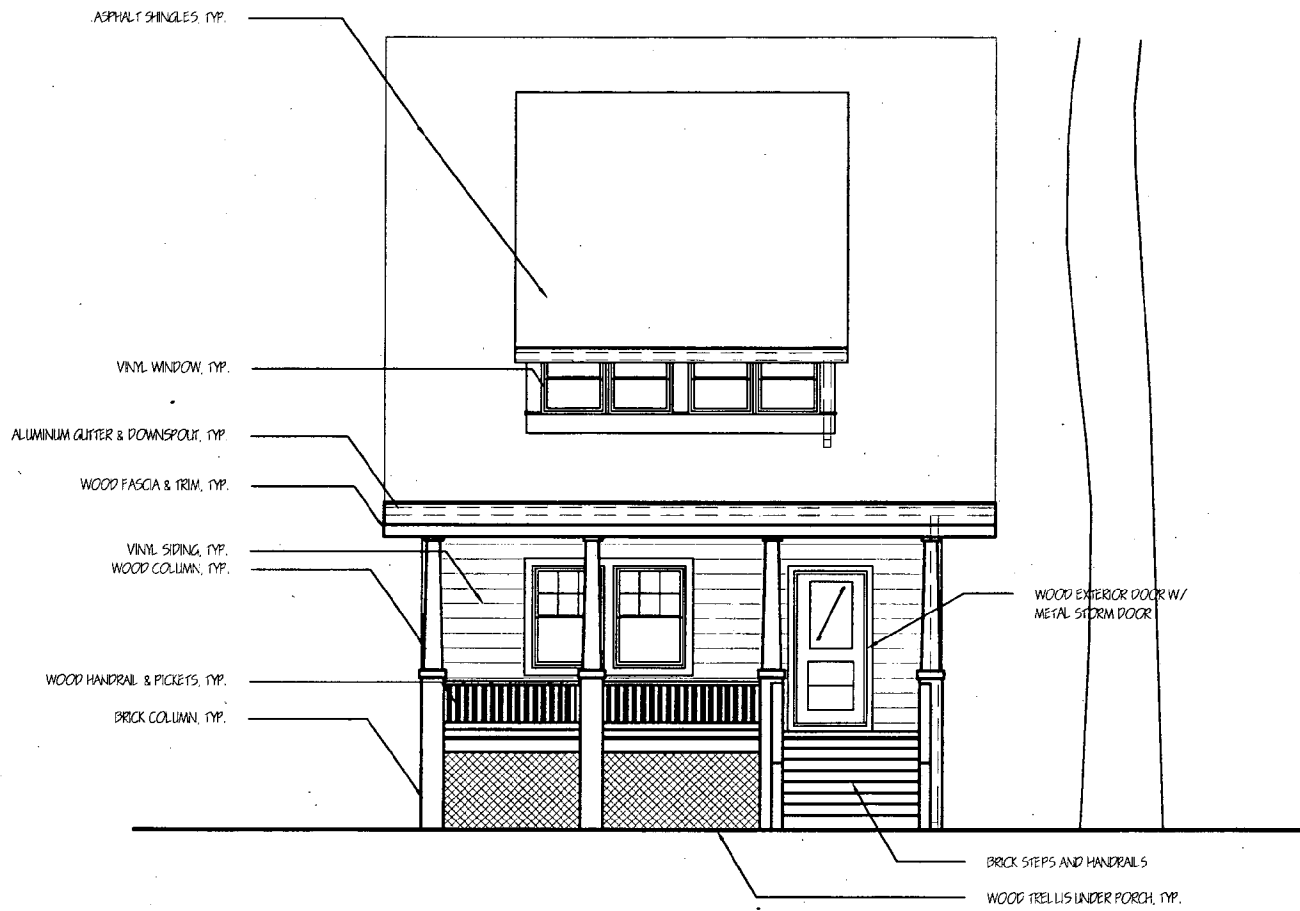
EXISTING

Legal Description:

Part of Lot 17, Block 5, D.L. Gilbert's Subdivision of
 LANTANA PARK, Plat Book 117, at Page Number 3
 Part of "parcel" shown for reference on a plat entitled
 "Subdivision of part of the 'PINE HAVEN', Plat Book 117,
 at Page Number 251
 The map shown hereon based on description contained
 in the plat in the beginning part of said record and any
 other deed, mortgage, will, adjoining plat or other record file

Property line survey recommended to
 determine exact configuration of property,
 exact location of improvements
 and extent of encroachments, if any.

24

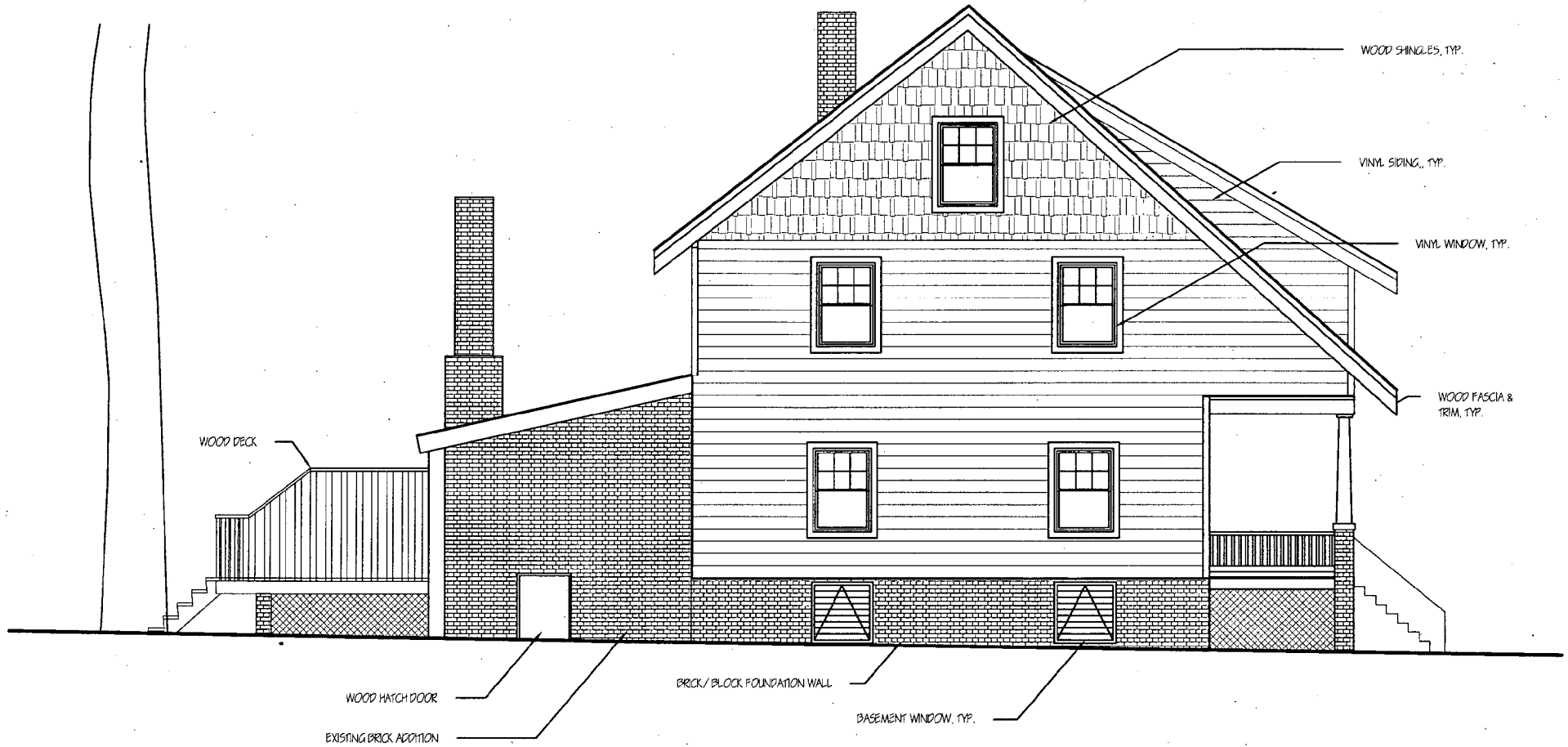


EXISTING

25

BORZEKOWSKI RESIDENCE 7400 MAPLE AVE TAKOMA PARK, MD 20912 RON & DINA BORZEKOWSKI 301-270-4198		EXISTING FRONT ELEVATION	
HELICON WORKS 7108 HOLLY STREET TAKOMA PARK, MD 20912 W. WILLIAM HUTCHINS, AIA 301-404-5578		DRAWN BY: ABT DATE: 04 OCT 2006 SCALE: 1/8" = 1'-0"	A-2

A. BAMBI TRAN
202-352-4563

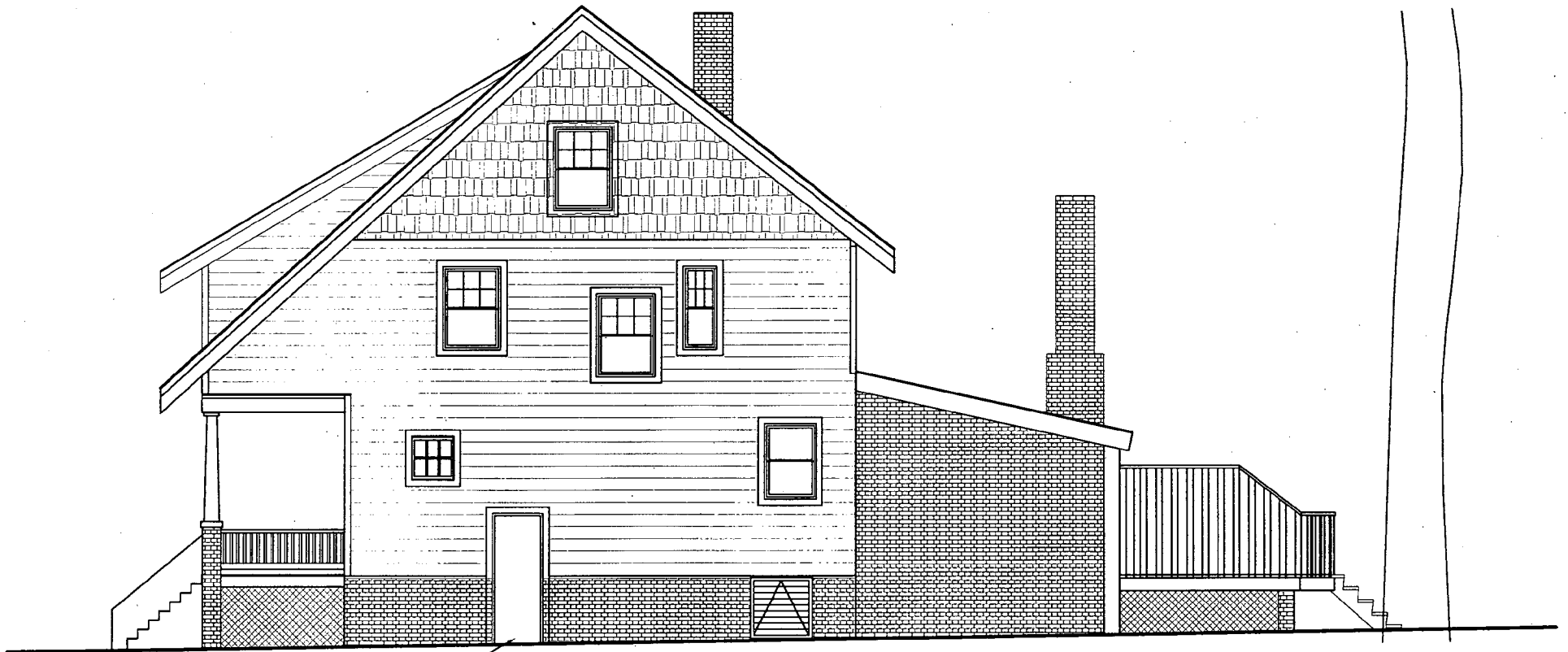


EXISTING

26

BORZEKOWSKI RESIDENCE 7400 MAPLE AVE TAKOMA PARK, MD 20912 RON & DINA BORZEKOWSKI 301-270-4198		EXISTING SIDE ELEVATION (SOUTHWEST)	
HELICON WORKS 7108 HOLLY STREET TAKOMA PARK, MD 20912 W. WILLIAM HUTCHINS, AIA 301-404-5578		DRAWN BY: ABT DATE: 04 OCT 2006 SCALE: 1/8" = 1'-0"	A-4

A. BAMBI TRAN
202-352-4563

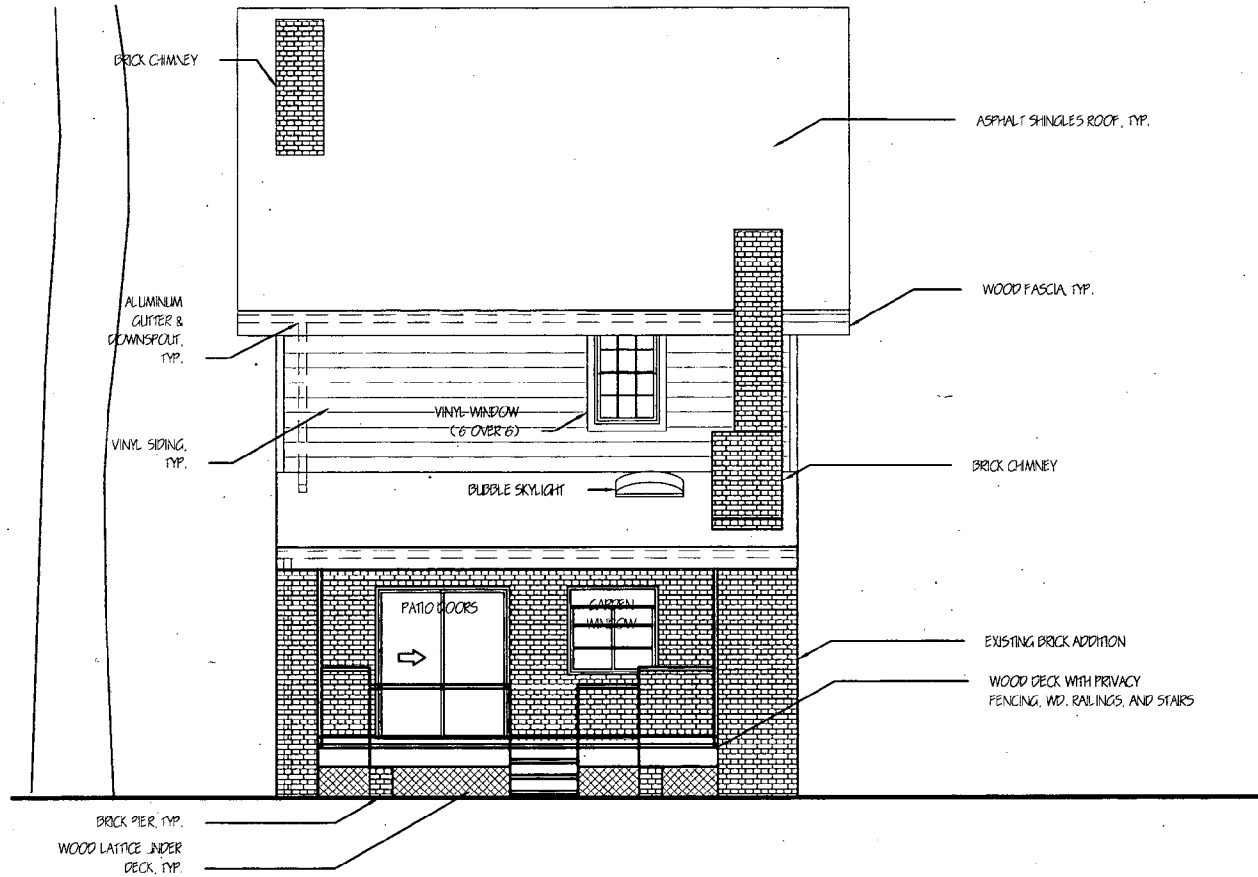


WOOD DOOR TO BASEMENT

EXISTING

27

BORZEKOWSKI RESIDENCE 7400 MAPLE AVE TAKOMA PARK, MD 20912 RON & DINA BORZEKOWSKI 301-270-4198		EXISTING SIDE ELEVATION (NORTHEAST)	
HELICON WORKS 7108 HOLLY STREET TAKOMA PARK, MD 20912 W. WILLIAM HUTCHINS, AIA 301-404-5578		DRAWN BY: ABT DATE: 04 OCT 2006 SCALE: 1/8" = 1'-0"	A-5



EXISTING

22

BORZEKOWSKI RESIDENCE 7400 MAPLE AVE TAKOMA PARK, MD 20912 RON & DINA BORZEKOWSKI 301-270-4198		EXISTING BACK ELEVATION	
HELICON WORKS 7108 HOLLY STREET TAKOMA PARK, MD 20912 W. WILLIAM HUTCHINS, AIA 301-404-5578		DRAWN BY: ABT DATE: 04 OCT 2006 SCALE: 1/8" = 1'-0"	A-3

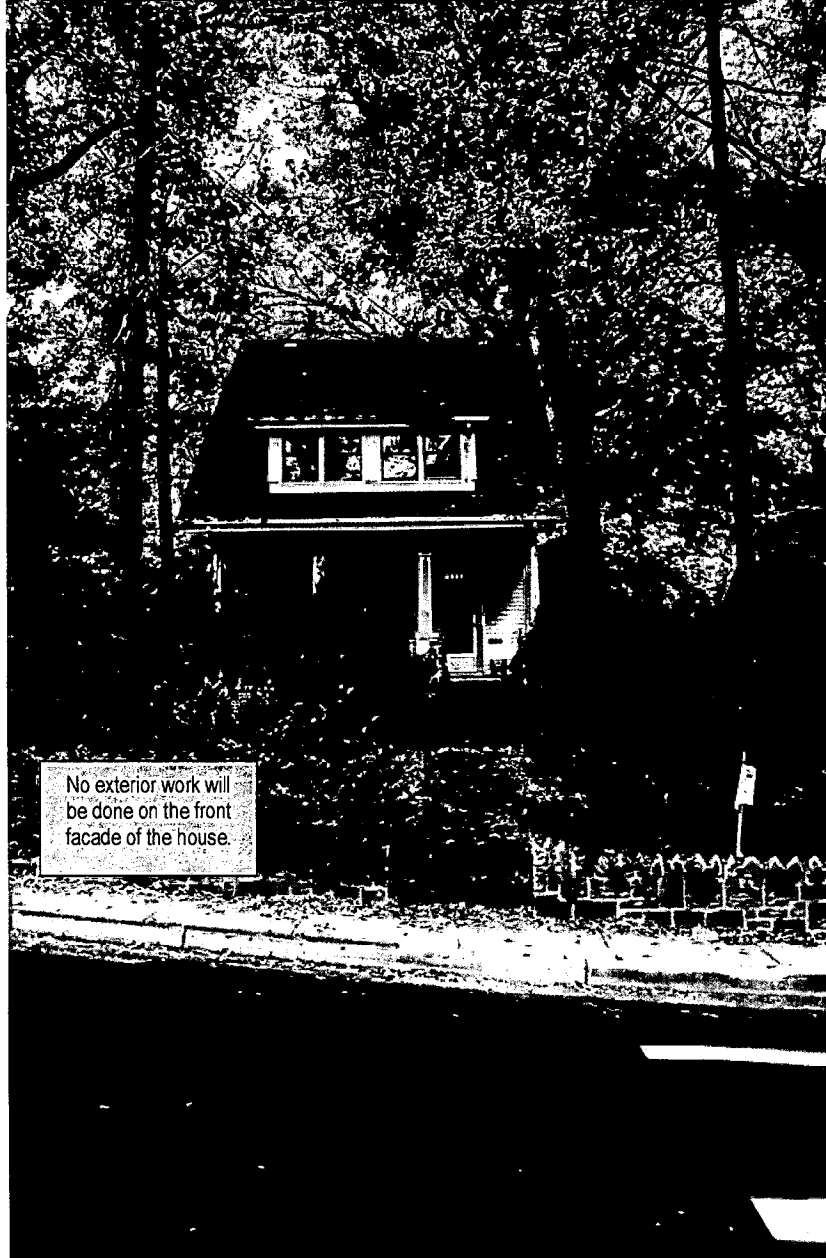


Fig. 1.
7400 Maple Avenue, Takoma Park, MD 20912
Front view - No affected areas.



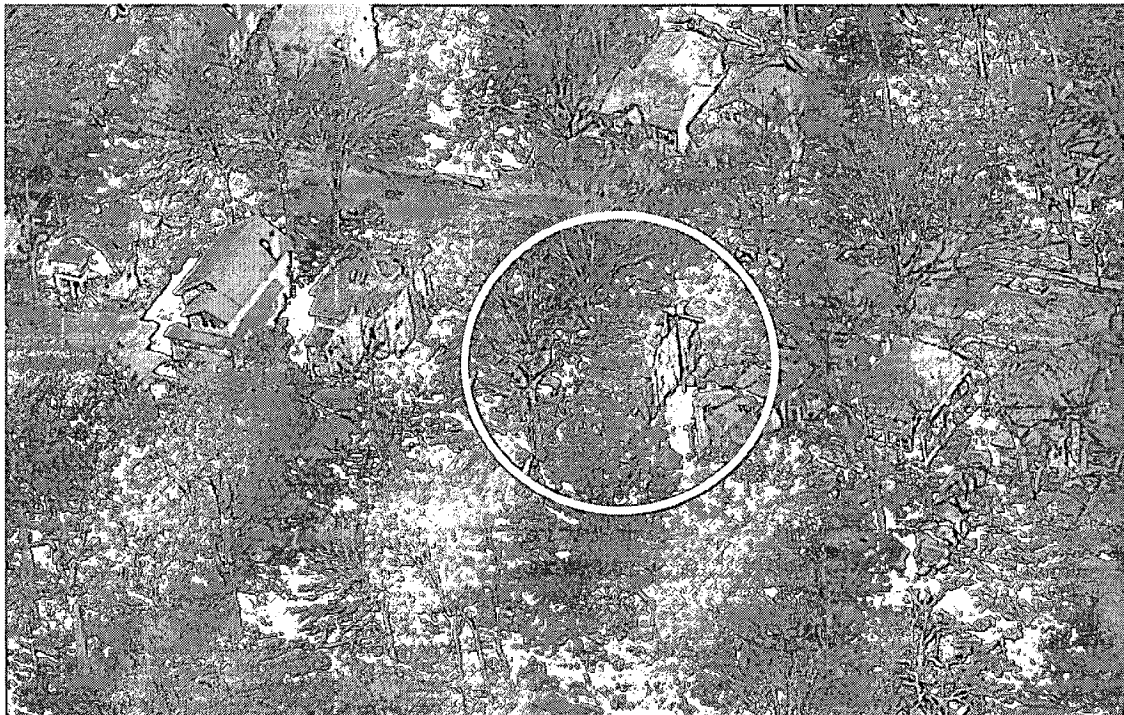
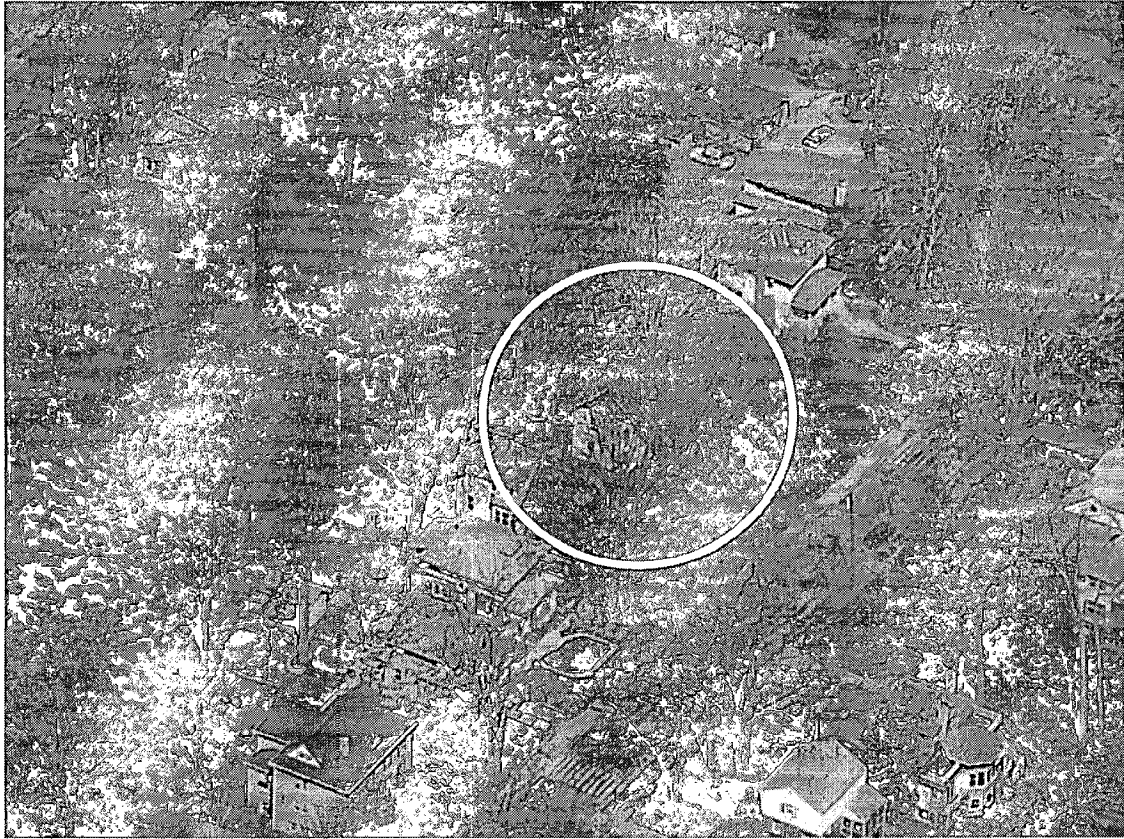
Fig. 2.
7400 Maple Avenue, Takoma Park, MD 20912
Rear View (west-facing side) with details of affected portions



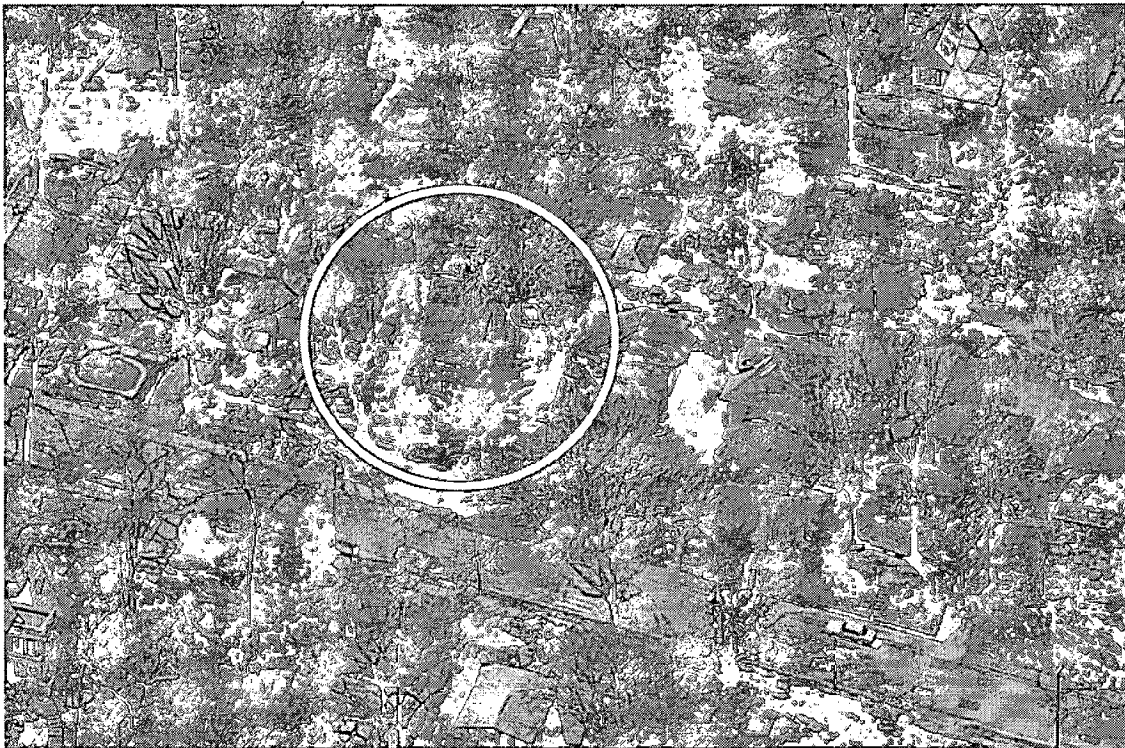
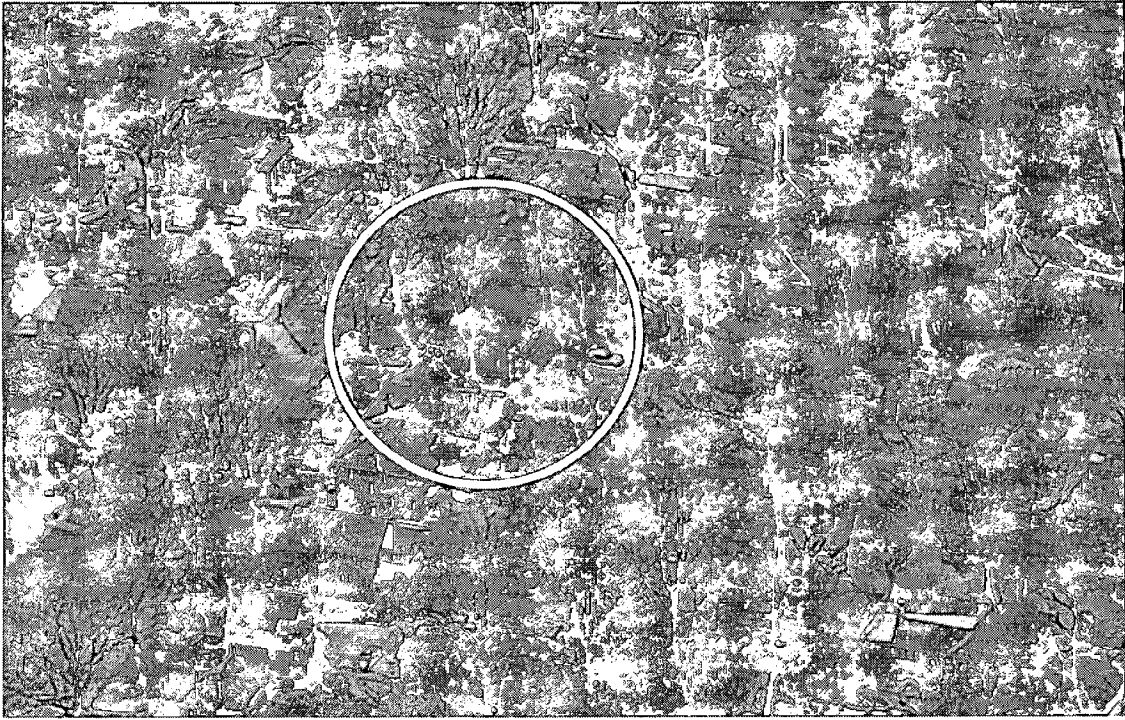
Fig. 3.
7400 Maple Avenue, Takoma Park, MD 20912
Side View (south-facing side) of affected area (from the neighbor's front yard).



Fig.4.
7400 Maple Avenue, Takoma Park, MD 20912
Side View (north-facing side) of affected area (from the neighbor's driveway).



33
25



34
~~20~~

**HELICON
WORKS**
ARCHITECTS

7108 HOLLY AVENUE
TAKOMA PARK, MD 20912

W. WILLIAM HUTCHINS, AIA
301.404.5578

A. BAMBI TRAN, ASSOC. AIA
202.352.4563

STRUCTURAL ENGINEER:
D. ANTHONY BEALE, LLC
D. ANTHONY BEALE, P.E.
8634 TUTTLE RD
SPRINGFIELD, VA 22152
202.669.2272

CONSTRUCTION MANAGER:
WILLIAM UPDIKE
4202 32ND ST
MT. RAINIER, MD 20712
202.367.5649

PROJECT NAME:
**BORZEKOWSKI
RESIDENCE**
7400 MAPLE AVE
TAKOMA PARK, MD 20912

OWNER:
DINA BORZEKOWSKI
RON BORZEKOWSKI
7400 MAPLE AVE
TAKOMA PARK, MD 20912
301.270.4198

ISSUES:

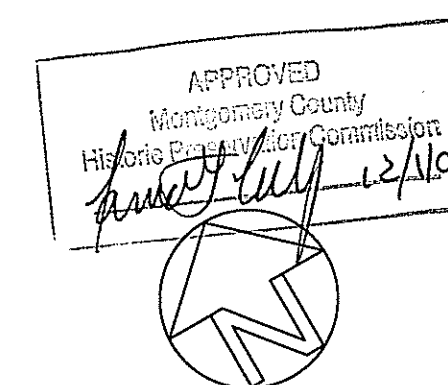
PERMIT	11/20/06
PERMIT - REVISED	
CD	

SHEET TITLE:
**FIRST
FLOOR
DEMOLITION
PLAN**

BY: ABT

DATE: 11/20/2006

SCALE: 1/4" = 1'-0"



A-1

GENERAL DEMOLITION NOTE:

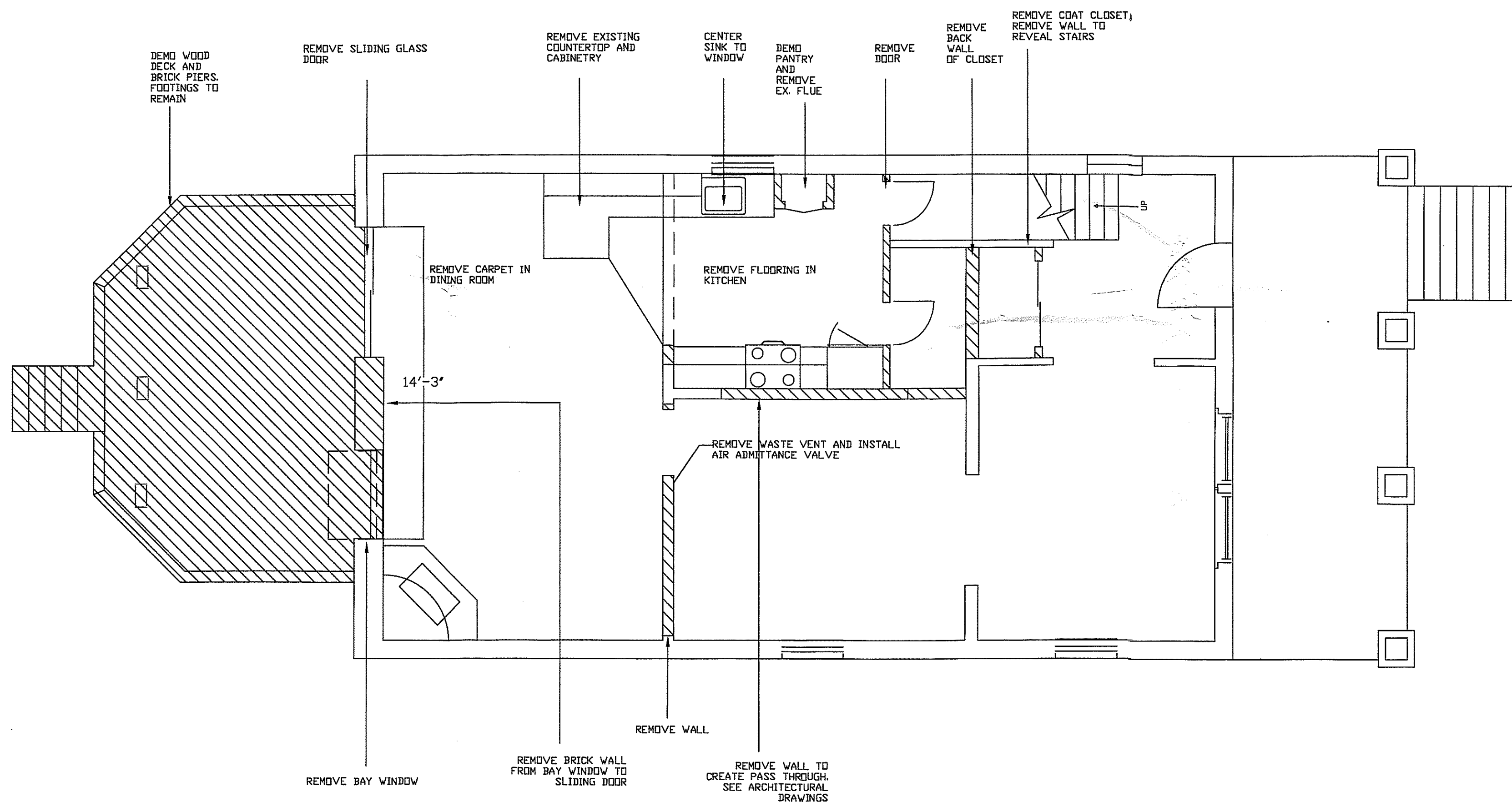
UNLESS NOTED, BUILDING MATERIALS (EXCEPT CONCRETE, ASPHALT SHINGLES, PLASTER, WOOD, FIBERGLASS INSULATION) SHOULD BE DETAILED / CLEANED AND STORED ON-SITE-AS DIRECTED BY HOMEOWNERS / AUTHORIZED REPRESENTATIVE-FOR REUSE.

REUSE CONCRETE AND MASONRY FOR FILL TO MAXIMUM EXTENT POSSIBLE ON SITE.

RECYCLE CONCRETE, ASPHALT SHINGLES, METAL, AND WOOD TO THE MAXIMUM EXTENT POSSIBLE.

DISPOSE PLASTER AND NON-REUSABLE FIBERGLASS INSULATION IN LANDFILL.

PROVIDE PLANT PROTECTION AS NEEDED.



A FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

**HELICON
WORKS**
ARCHITECTS

7108 HOLLY AVENUE
TAKOMA PARK, MD 20912

W. WILLIAM HUTCHINS, AIA
301.404.5578
A. BAMBI TRAN, ASSOC. AIA
202.352.4563

STRUCTURAL ENGINEER:
D. ANTHONY BEALE, LLC
D. ANTHONY BEALE, P.E.
8834 TUTTLE RD
SPRINGFIELD, VA 22152
202.669.2272

CONSTRUCTION MANAGER:
WILLIAM UPDIKE
4202 32ND ST
MT. RAINIER, MD 20712
202.387.5649

PROJECT NAME:
**BORZEKOWSKI
RESIDENCE**
7400 MAPLE AVE
TAKOMA PARK, MD 20912

OWNER:
DINA BORZEKOWSKI
RON BORZEKOWSKI
7400 MAPLE AVE
TAKOMA PARK, MD 20912
301.270.4198

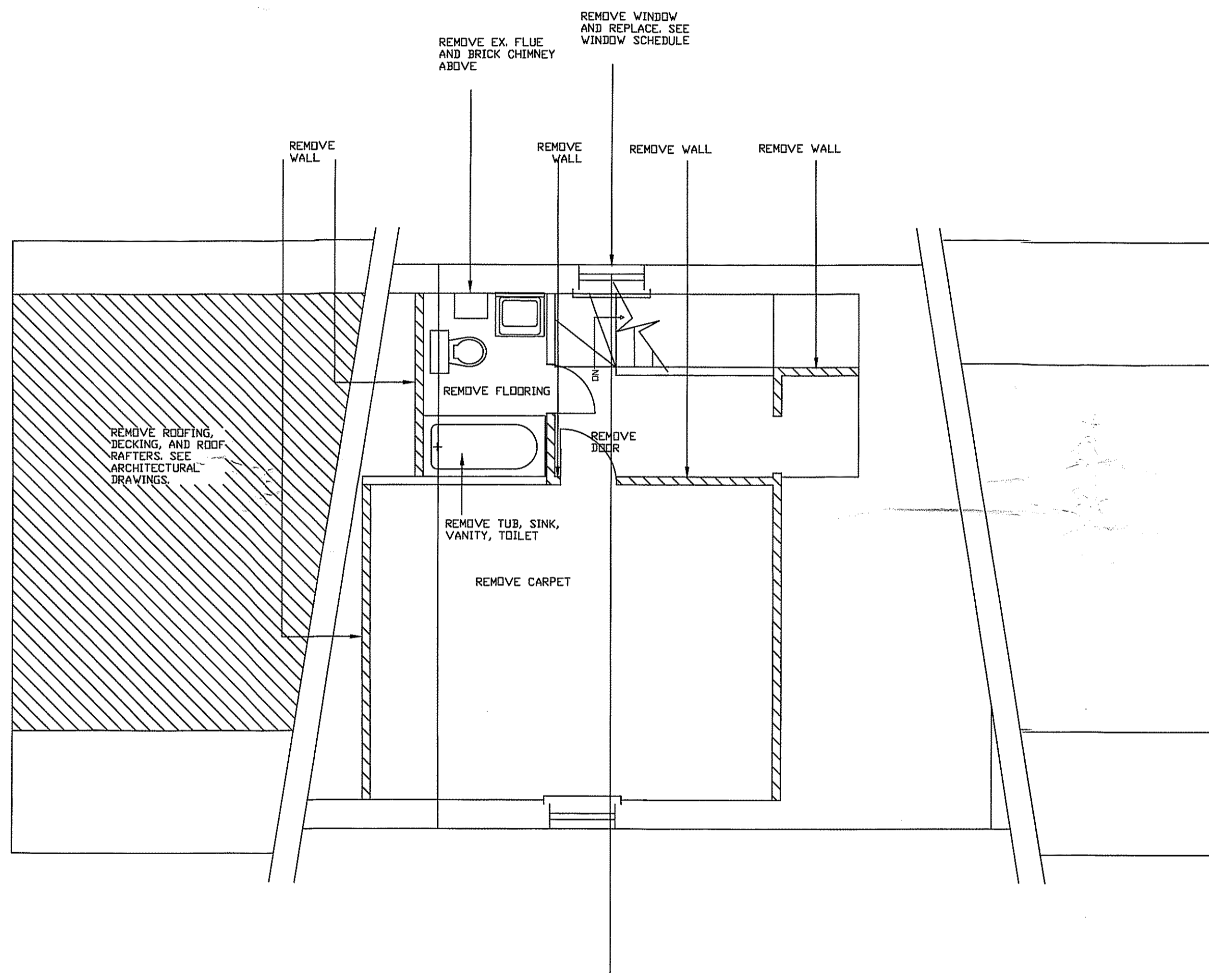
ISSUES:

PERMIT	11/20/06
PERMIT - REVISED	
CD	

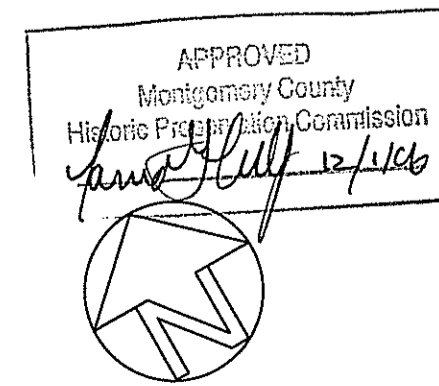
SHEET TITLE:
**THRD
FLOOR
DEMOLITION
PLAN**

BY: ABT

DATE: 11/20/2006
SCALE: 1/4" = 1'-0"



A THIRD FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



A-3

**HELICON
WORKS**
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202.367.5649

PROJECT NAME:
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RESIDENCE**
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OWNER:
DINA BORZEKOWSKI
RON BORZEKOWSKI
7400 MAPLE AVE
TAKOMA PARK, MD 20912
301.270.4198

ISSUES:

PERMIT	11/20/06
PERMIT - REVISED	
CO	

SHEET TITLE:
**FIRST
FLOOR
PLAN**

BY: ABT

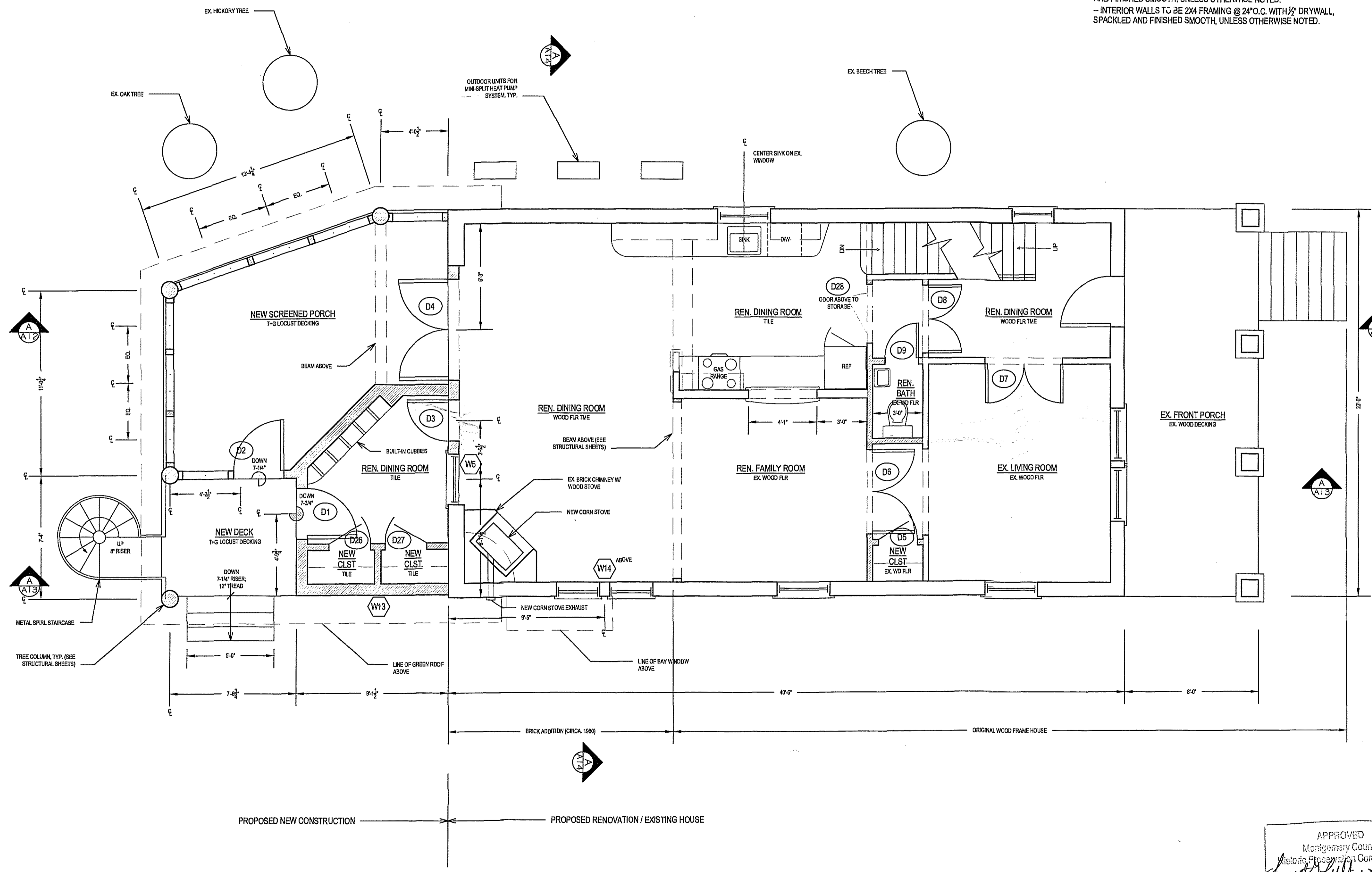
DATE: 11/20/2006

SCALE: 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
James J. Kelly 12/1/06

A-4

NOTE:
- SHADED WALL INDICATES NEW CONSTRUCTION
- ALL NEW EXTERIOR WALL TO BE 2X6 FRAMING @ 16" O.C. WITH DOUBLE TOP PLATE WITH 1/2" DRYWALL AND ROUNDED CORNER BEAD, SPACKLED AND FINISHED SMOOTH, UNLESS OTHERWISE NOTED. MIN. R-19.
- INSULATE EXISTING EXTERIOR WALLS WITH 1" RIGID INSULATION ON INTERIOR. FINISH WITH 1/2" DRYWALL AND ROUNDED CORNER BEAD, SPACKLED AND FINISHED SMOOTH, UNLESS OTHERWISE NOTED.
- INTERIOR WALLS TO BE 2X4 FRAMING @ 24" O.C. WITH 1/2" DRYWALL, SPACKLED AND FINISHED SMOOTH, UNLESS OTHERWISE NOTED.



A FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

**HELICON
WORKS**
ARCHITECTS

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202.367.5649

PROJECT NAME:

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OWNER:

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RON BORZEKOWSKI
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TAKOMA PARK, MD 20912
301.270.4198

ISSUES:

PERMIT	11/20/06
PERMIT - REVISED	
CD	

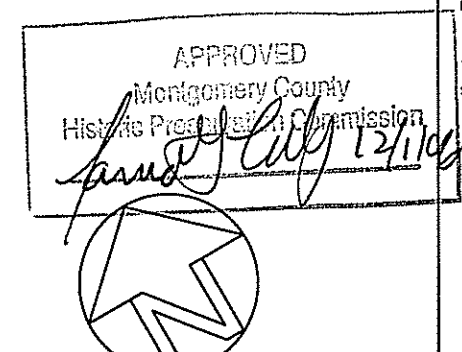
SHEET TITLE:

**SECOND
FLOOR
PLAN**

BY: ABT

DATE: 11/20/2006

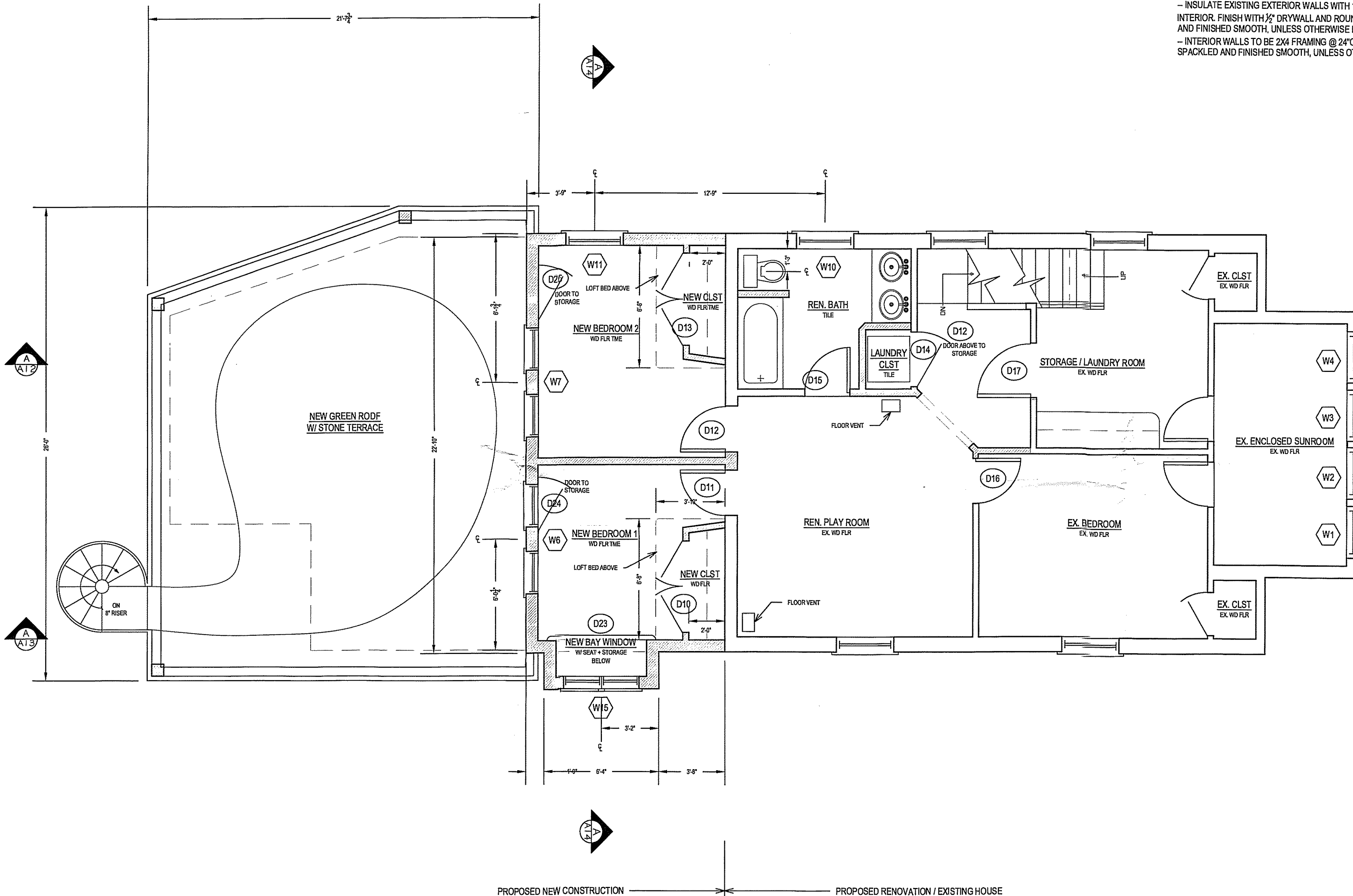
SCALE: 1/4" = 1'-0"



A-5

NOTE:

- SHADED WALL INDICATES NEW CONSTRUCTION
- ALL NEW EXTERIOR WALL TO BE 2X6 FRAMING @ 16" O.C. WITH DOUBLE TOP PLATE WITH 1/2" DRYWALL AND ROUNDED CORNER BEAD, SPACKLED AND FINISHED SMOOTH, UNLESS OTHERWISE NOTED. MIN. R-19.
- INSULATE EXISTING EXTERIOR WALLS WITH 1" RIGID INSULATION ON INTERIOR. FINISH WITH 1/2" DRYWALL AND ROUNDED CORNER BEAD, SPACKLED AND FINISHED SMOOTH, UNLESS OTHERWISE NOTED.
- INTERIOR WALLS TO BE 2X4 FRAMING @ 24" O.C. WITH 1/2" DRYWALL, SPACKLED AND FINISHED SMOOTH, UNLESS OTHERWISE NOTED.



A SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

**HELICON
WORKS**
ARCHITECTS

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202.367.6646

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301.270.4198

ISSUES:

PERMIT	112006
PERMIT - REVISED	
CD	

SHEET TITLE:

THIRD
FLOOR
PLAN

BY: ABT

DATE: 11/20/2006

SCALE: 1/4" = 1'-0"

A-6

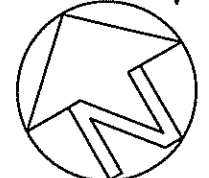
NOTE:

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- ALL NEW EXTERIOR WALL TO BE 2X6 FRAMING @ 16" O.C. WITH DOUBLE TOP PLATE WITH 1/2" DRYWALL AND ROUNDED CORNER BEAD, SPACKLED AND FINISHED SMOOTH, UNLESS OTHERWISE NOTED. MIN. R-19.
- INSULATE EXISTING EXTERIOR WALLS WITH 1" RIGID INSULATION ON INTERIOR. FINISH WITH 1/2" DRYWALL AND ROUNDED CORNER BEAD, SPACKLED AND FINISHED SMOOTH, UNLESS OTHERWISE NOTED.
- INTERIOR WALLS TO BE 2X4 FRAMING @ 24" O.C. WITH 1/2" DRYWALL, SPACKLED AND FINISHED SMOOTH, UNLESS OTHERWISE NOTED.

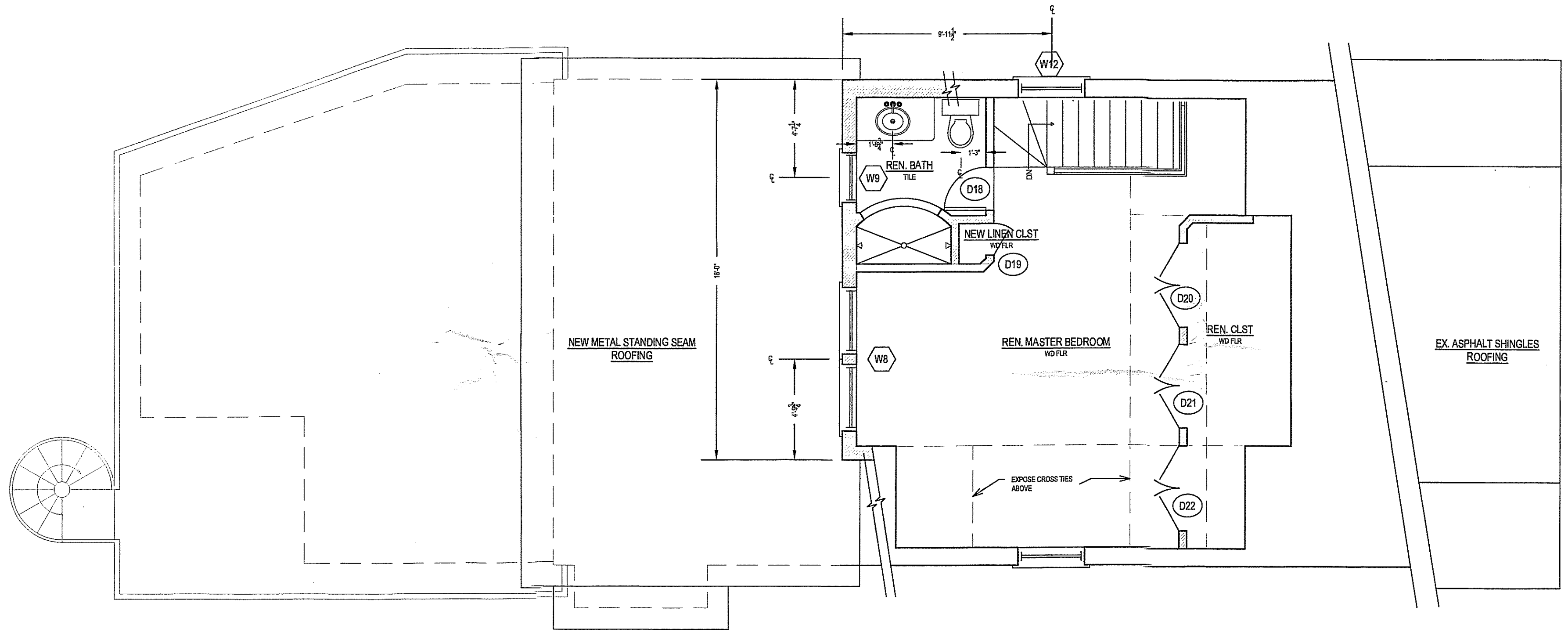


PROPOSED NEW CONSTRUCTION ← | → PROPOSED RENOVATION / EXISTING HOUSE

APPROVED
Montgomery County
Historic Preservation Commission
James Kelly 12/1/06



A THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



HELICON WORKS

ARCHITECTS

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PROJECT NAME:
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301.270.4198

ISSUES:

PERMIT	11/20/06
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CD	

SHEET TITLE:

BASEMENT PLAN

BY: ABT

DATE: 11/20/2006

SCALE: 1/4" = 1'-0"

A-7

APPROVED
Montgomery County
Historic Preservation Commission
David Kelly 12/1/06

WINDOW SCHEDULE

WINDOW #	LOCATION	SILL HEIGHT (IN.)	UNIT SIZE (IN.)		GLAZING AREA (SF)	NOTES
			WIDTH	HEIGHT		
W1	2ND FLR FRONT BAY	TME	TME	TME		3,10
W2	2ND FLR FRONT BAY	TME	TME	TME		3,10
W3	2ND FLR FRONT BAY	TME	TME	TME		3,10
W4	2ND FLR FRONT BAY	TME	TME	TME		3,10
W5	DINING ROOM		37	59	11.7	3,9,10
W6	BEDROOM 1	54	58	53	16	2,7
W7	BEDROOM 2	54	58	53	16	2,7
W8	MASTER BEDROOM	49	58	47	14	2,7
W9	MASTER BA	49	29	115.9	7	1
W10	2ND FLR BA	30	33	53	9.1	3,10
W11	BEDROOM 2	48	37	57	11.3	3,10
W12	3RD FLOOR STAIRS	TME	TME	TME		3,11
W13	MUD ROOM	SEE ELEVATION	47	29	7	4
W14	DINING ROOM	SEE ELEVATION	70	29	10	4,13
W15	BAY WINDOW	6 ABOVE SEAT	50	47	11.4	3,10,12
W16	MASTER BEDROOM	SEE ELEVATION	25	14	2.4	5

*W1 - W4
most not be
Clad
TGT*

NOTES:

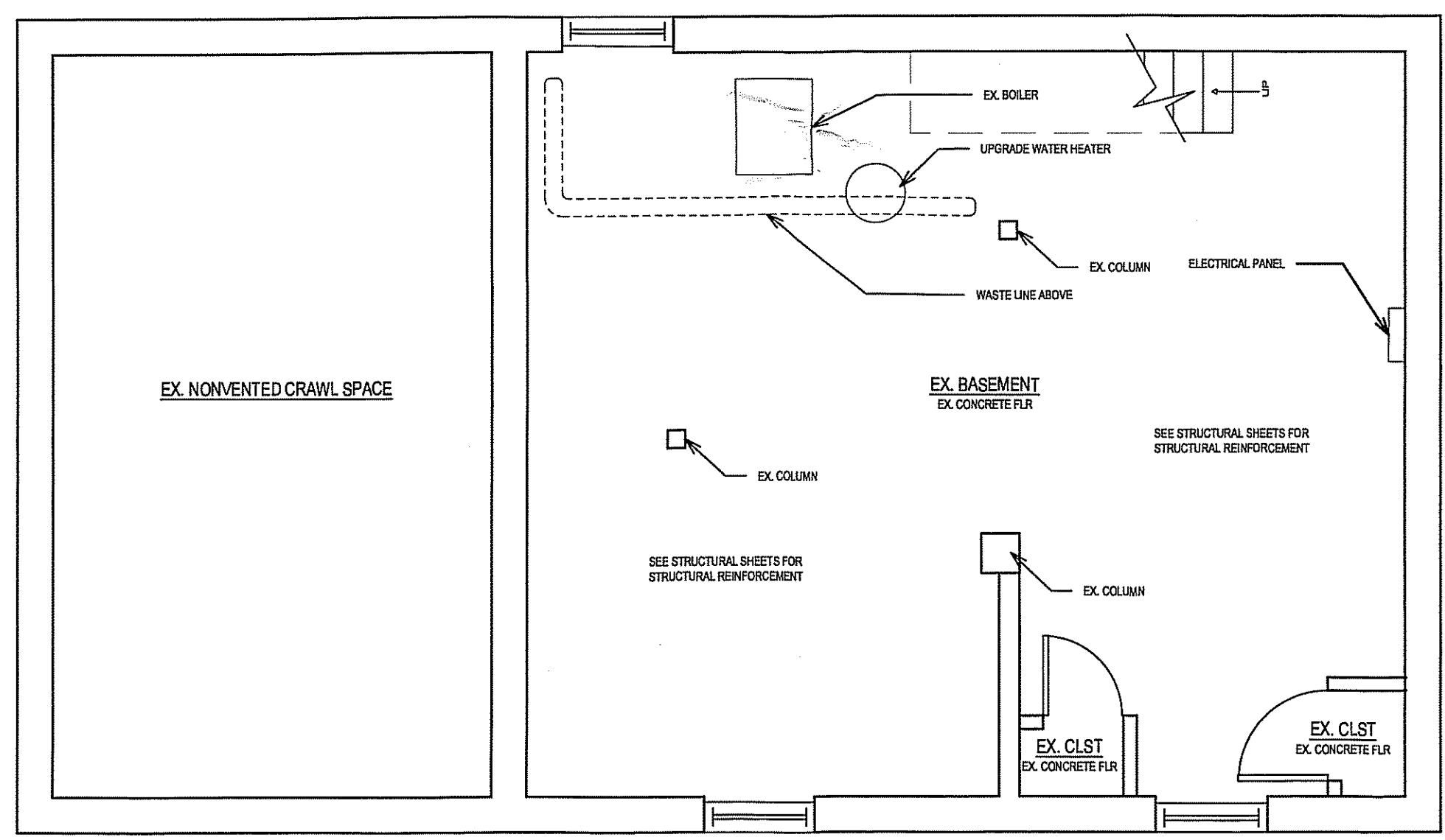
- Windows to be double-paned, wood or aluminum clad wood, low-e, argon filled
- U-value max. 0.4; air leakage rate of less than 0.3 cfm/sf
- casement
- double casement
- double hung
- awning
- fixed
- safety glass
- egress
- match head height to other windows in room
- align with door head
- wood simulated divided light
- wood replacement sash
- double double hung
- double awning

NOTE:
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- INTERIOR WALLS TO BE 2X4 FRAMING @ 24" O.C. WITH 1/2" DRYWALL, SPACKLED AND FINISHED SMOOTH, UNLESS OTHERWISE NOTED.
- HEAT PROVIDED VIA EXISTING BOILER IN BASEMENT.

DOOR SCHEDULE

DOOR #	LOCATION	TYPE	UNIT SIZE (IN.)		GLAZING	THRESHOLD	NOTES
			WIDTH	HEIGHT			
D1	MUD ROOM	EXTERIOR	30	80		METAL OR WOOD	2
D2	SCREENED PORCH	EXTERIOR	36	80			4
D3	MUD ROOM	EXTERIOR	30	80		METAL OR WOOD	2.5
D4	DINING ROOM	EXTERIOR	72	80	FULL		3,9
D5	DINING ROOM	INTERIOR	60	80			6
D6	CLOSET	INTERIOR	28	80			
D7	LIVING ROOM	INTERIOR	TME	TME		EX?	6
D8	ENTRY HALLWAY	INTERIOR	48	80			6
D9	HALF BATH	INTERIOR	24	80		SANITARY	
D10	BEDROOM 1	INTERIOR	60	62			2
D11	BEDROOM 1	INTERIOR	30	80			9
D12	BEDROOM 2	INTERIOR	30	80			9
D13	BEDROOM 2	INTERIOR	60	62			2
D14	2ND FLR BA	INTERIOR	36	80			
D15	2ND FLR BA	INTERIOR	30	80		SANITARY	
D16	BEDROOM 3	INTERIOR	30	80			1
D17	LAUNDRY ROOM	INTERIOR	36	80			
D18	MASTER BA	INTERIOR	24	80		SANITARY	1
D19	LINEN CLOSET	INTERIOR	18	80			
D20	MASTER BEDROOM	INTERIOR	48	80			6
D21	MASTER BEDROOM	INTERIOR	48	80			6
D22	MASTER BEDROOM	INTERIOR	48	80			6
D23	BAY WINDOW	INTERIOR	TBDIF	TBDIF			8
D24	BEDROOM 1	INTERIOR	TBDIF	TBDIF			8
D25	BEDROOM 2	INTERIOR	TBDIF	TBDIF			8
D26	MUD ROOM	INTERIOR	30	80			
D27	MUD ROOM	INTERIOR	30	80			
D28	KITCHEN	INTERIOR	TBDIF	TBDIF			8
D29	2ND FLR HALLWAY	INTERIOR	TBDIF	TBDIF			8

NOTES:
- Exterior doors to be solid wood with insulated, low-e glazing. All exterior doors shall be keyed alike.
- Interior doors to be solid wood, style to be approved by Owner.
- Interior door hardware shall be selected by Owner and provided and installed by Contractor.
1 existing unit in new location
2 exterior door glazing to be double glazed
3 french door
4 screened door
5 threshold as required for finish floor transition
6 pair
7 safety glazing
8 cabinet door
9 threshold as required for weather seal



A BASEMENT PLAN
SCALE: 1/4" = 1'-0"

**HELICON
WORKS**
ARCHITECTS

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TAKOMA PARK, MD 20912

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CONSTRUCTION MANAGER:
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202.367.5649

PROJECT NAME:
**BORZEKOWSKI
RESIDENCE**
7400 MAPLE AVE
TAKOMA PARK, MD 20912

OWNER:
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RON BORZEKOWSKI
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TAKOMA PARK, MD 20912
301.270.4198

ISSUES:

PERMIT	11/20/06
PERMIT - REVISED	
CD	

SHEET TITLE:

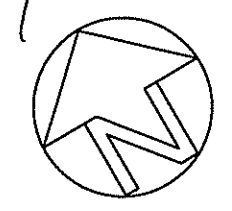
ROOF PLAN

BY: ABT

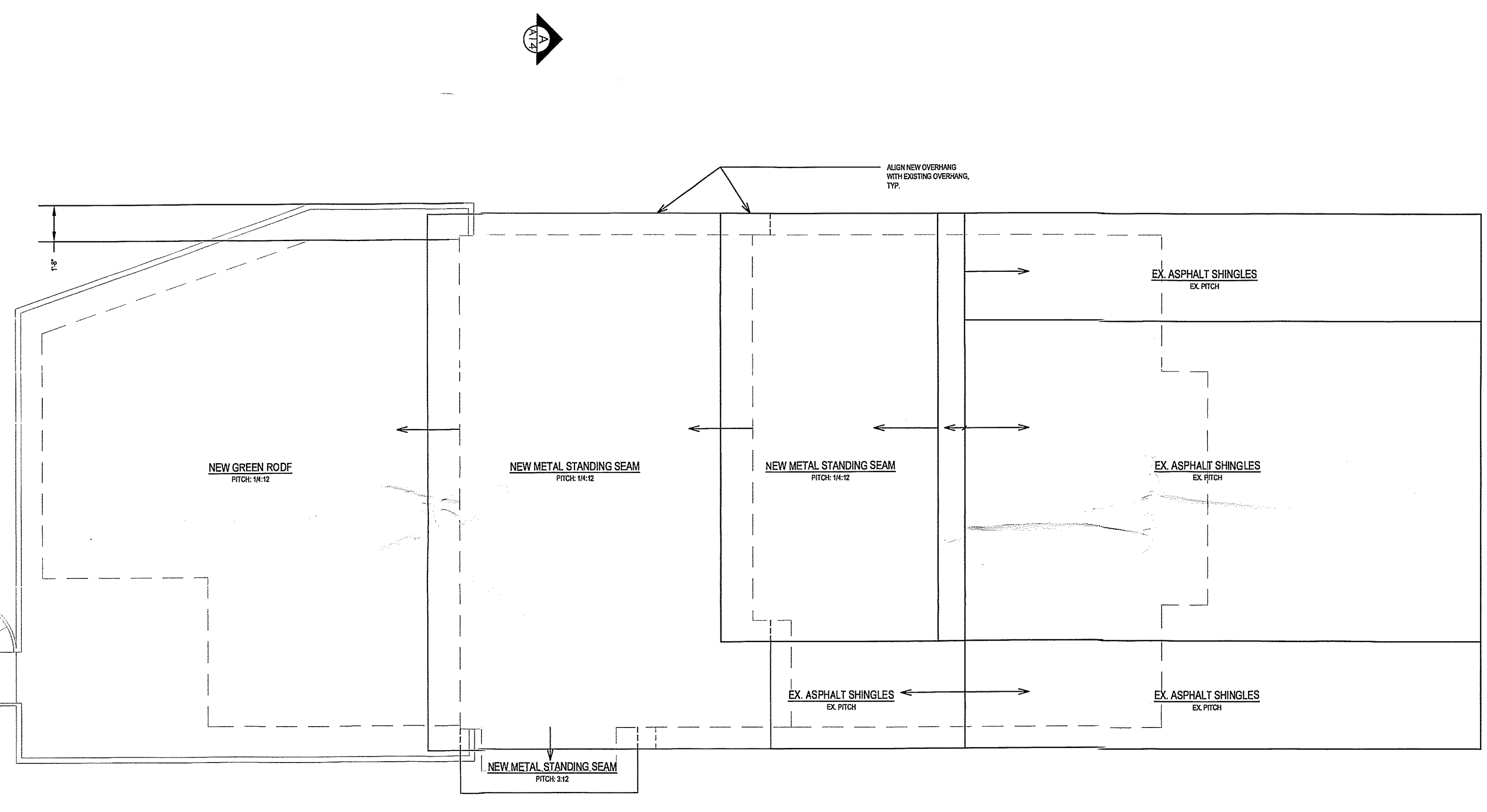
DATE: 11/20/2006

SCALE: 1/4" = 1'-0"

APPROVED
Montgomery County
Home Improvement Commission
[Signature] 11/20/06



A-8



A ROOF PLAN
SCALE: 1/4" = 1'-0"

**HELICON
WORKS**
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301.270.4198

ISSUES:

PERMIT	11/20/06
PERMIT - REVISED	
CD	

SHEET TITLE:

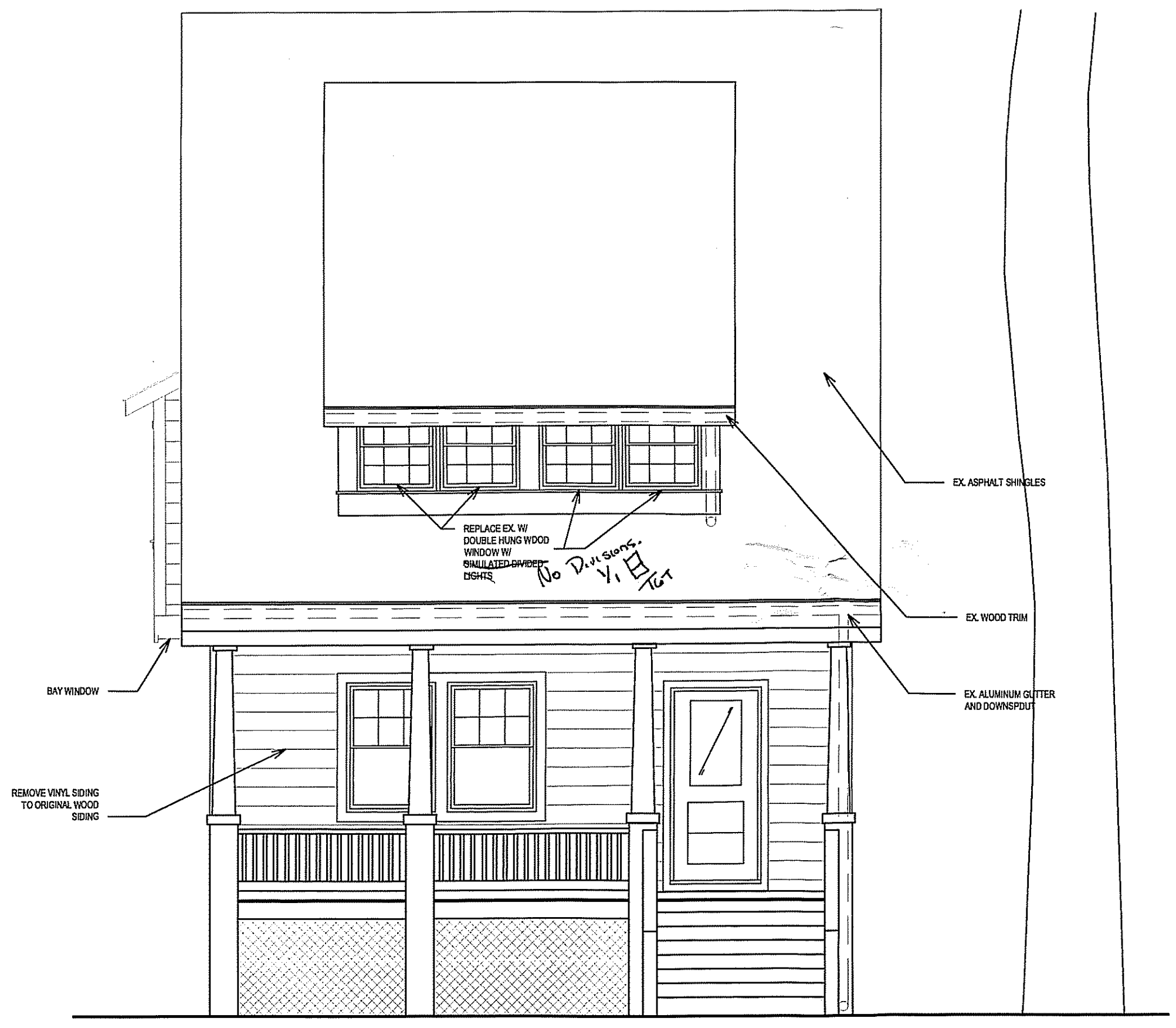
ELEVATION:
FRONT
AND BACK

BY: ABT

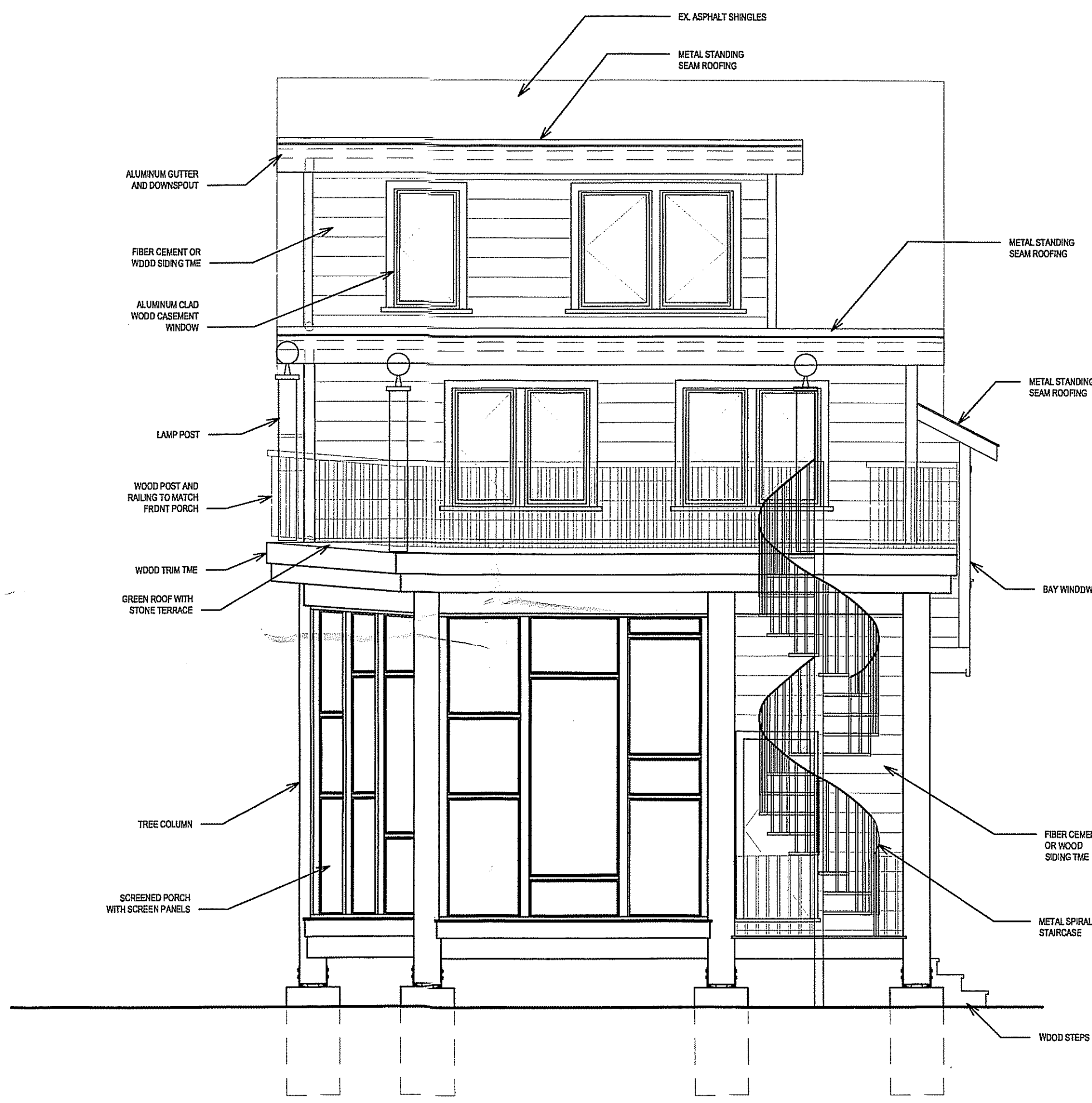
DATE: 11/20/2006

SCALE: 1/4" = 1'-0"

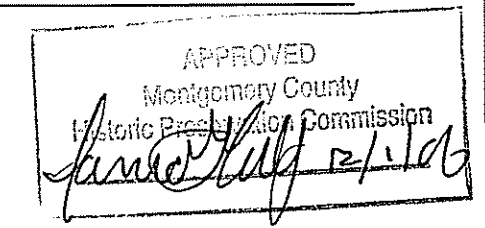
A-9



A ELEVATION: FRONT
SCALE: 1/4" = 1'-0"



A ELEVATION: BACK (WITH TYPICAL NOTES)
SCALE: 1/4" = 1'-0"



**HELICON
WORKS**
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202.367.5643

PROJECT NAME:

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301.270.4198

ISSUES:

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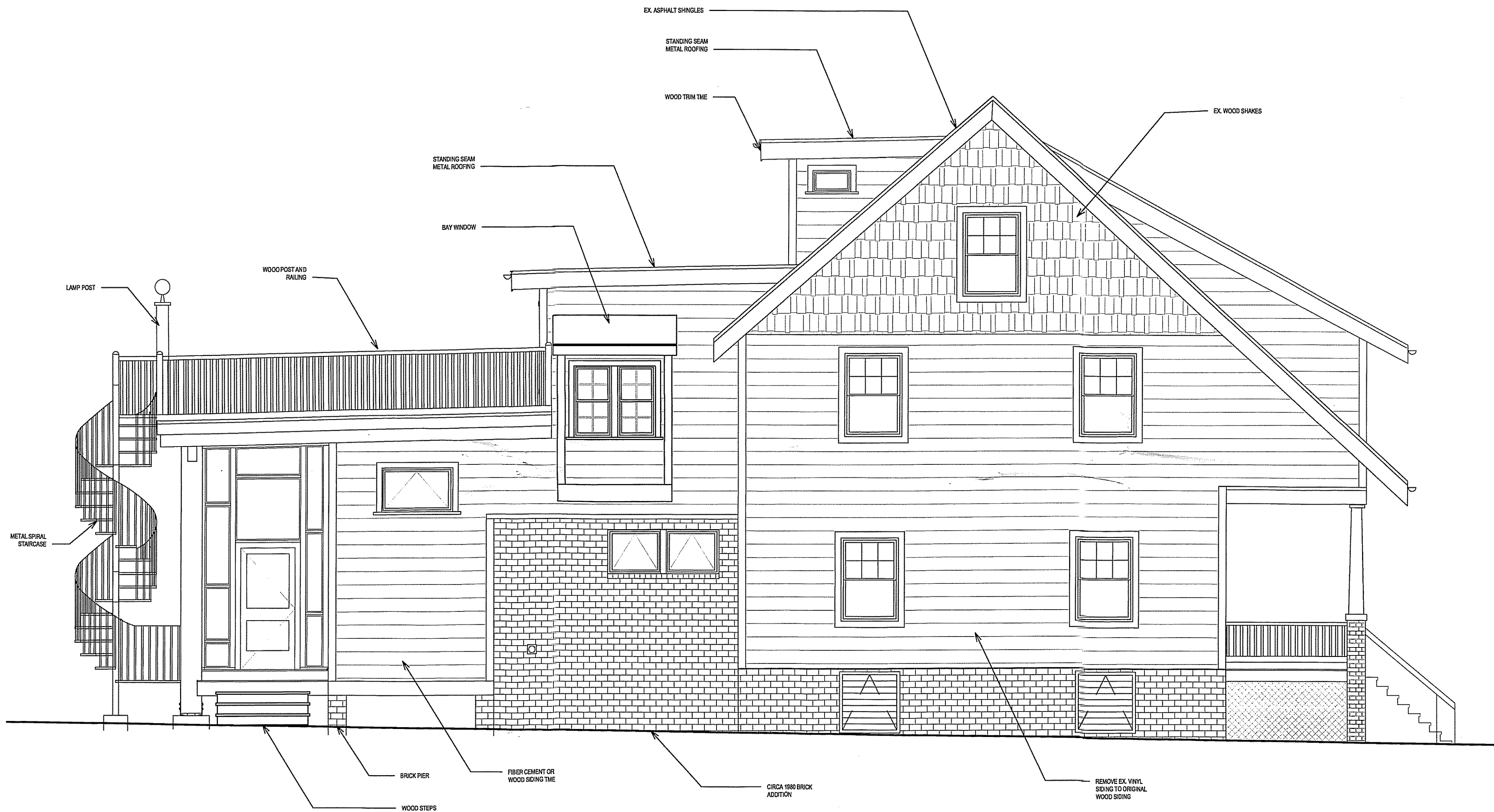
SHEET TITLE:

ELEVATION:
SIDE
(SOUTHWEST)

BY: ABT

DATE: 11/20/2006

SCALE: ¼" = 1'-0"



A ELEVATION: SIDE (SOUTHWEST) (WITH TYPICAL NOTES)
SCALE: ¼" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
Janet Kelly 12/1/06

A-10

**HELICON
WORKS**
ARCHITECTS

7108 HOLLY AVENUE
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202.387.5649

PROJECT NAME:

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ISSUES:

PERMIT	11/20/06
PERMIT - REVISED	
CD	

SHEET TITLE:

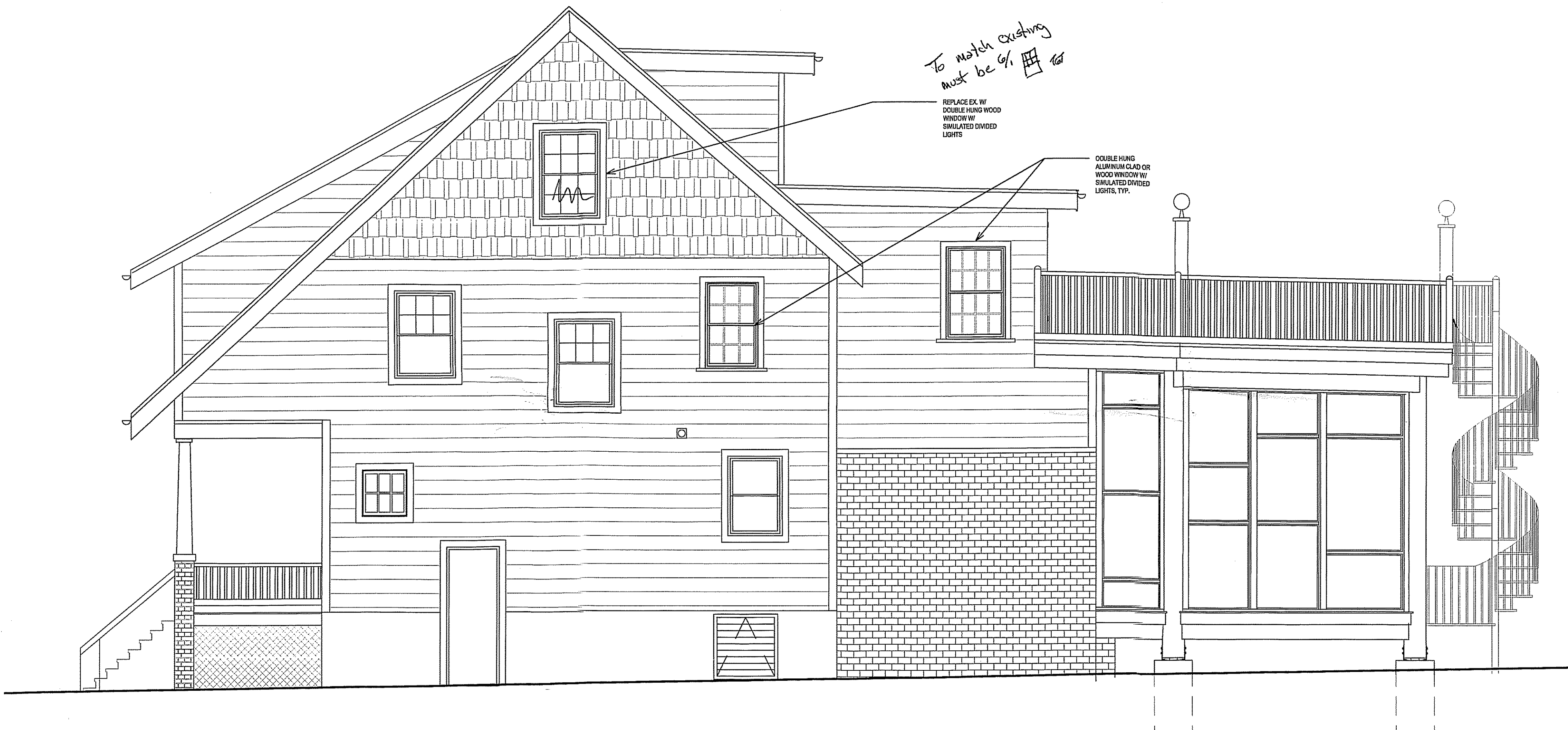
ELEVATION:
SIDE
(NORTHEAST)

BY: ABT

DATE: 11/20/2006

SCALE: 1/4" = 1'-0"

A-11



*To match existing
must be 6/16\"/>*

REPLACE EX. W/
DOUBLE HUNG WOOD
WINDOW W/
SIMULATED DIVIDED
LIGHTS

DOUBLE HUNG
ALUMINUM CLAD OR
WOOD WINDOW W/
SIMULATED DIVIDED
LIGHTS, TYP.

A ELEVATION: SIDE (NORTHEAST)
SCALE: 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
Ann Kelly 12/1/06

**HELICON
WORKS**
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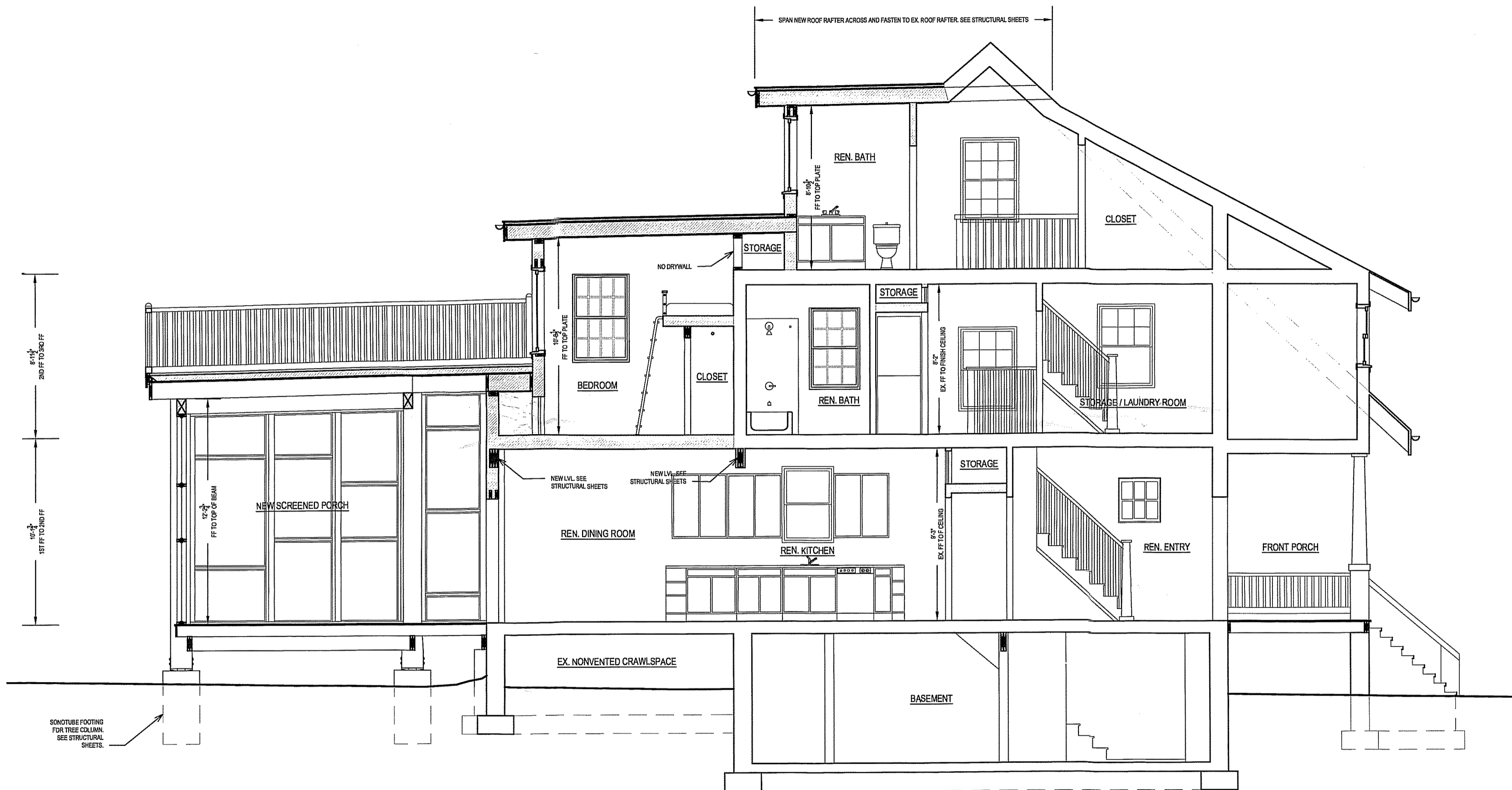
OWNER:
DINA BORZEKOWSKI
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ISSUES:

PERMIT	11/20/06
PERMIT - REVISED	
CD	

SHEET TITLE:
**SECTION:
SCREENED PORCH -
KITCHEN**

BY: ABT
DATE: 11/20/2006
SCALE: 1/4" = 1'-0"



A SECTION: SCREENED PORCH - KITCHEN (WITH TYPICAL NOTES)
SCALE: 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 12/1/06
A-12

**HELICON
WORKS**
ARCHITECTS

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TAKOMA PARK, MD 20912

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202.367.5649

PROJECT NAME:
**BORZEKOWSKI
RESIDENCE**
7400 MAPLE AVE
TAKOMA PARK, MD 20912

OWNER:
DINA BORZEKOWSKI
RON BORZEKOWSKI
7400 MAPLE AVE
TAKOMA PARK, MD 20912
301.270.4198

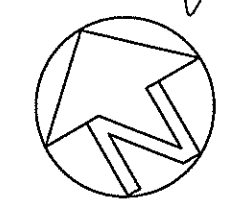
ISSUES:

PERMIT	11/20/06
PERMIT - REVISED	
CD	

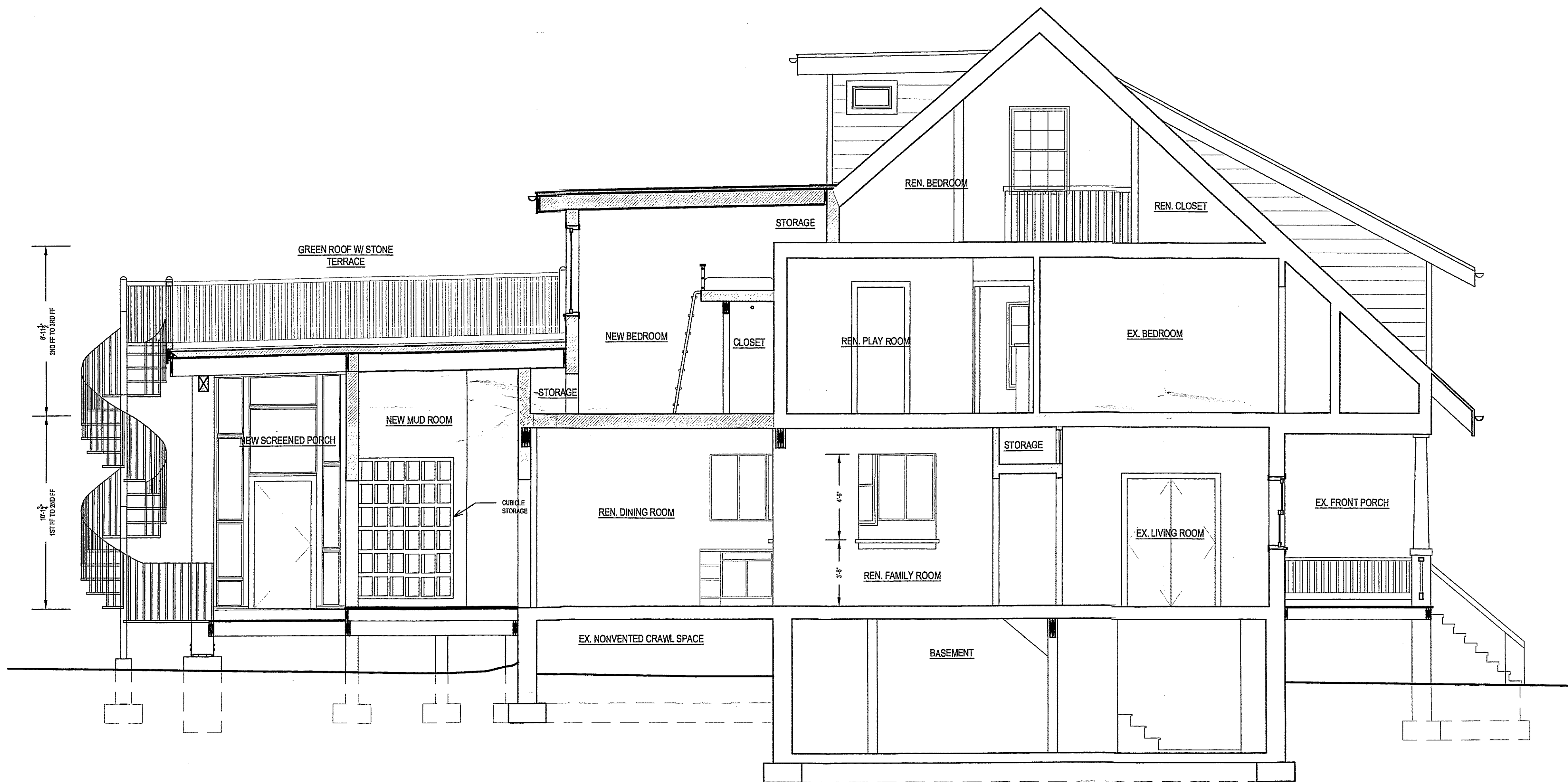
SHEET TITLE:
**SECTION:
MUD ROOM
- DINING
ROOM**

BY: ABT
DATE: 11/20/2006
SCALE: 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]



A-13



A SECTION: MUD ROOM - DINING ROOM
SCALE: 1/4" = 1'-0"

**HELICON
WORKS**
ARCHITECTS

7108 HOLLY AVENUE
TAKOMA PARK, MD 20912

W. WILLIAM HUTCHINS, AIA
301.404.5578
A. BAMB I TRAN, ASSOC. AIA
202.352.4563

STRUCTURAL ENGINEER:
D. ANTHONY BEALE, LLC
D. ANTHONY BEALE, P.E.
8634 TUTTLE RD
SPRINGFIELD, VA 22152
202.999.2272

CONSTRUCTION MANAGER:
WILLIAM UPDIKE
4202 32ND ST
MT. RAINIER, MD 20712
202.367.5649

PROJECT NAME:

**BORZEKOWSKI
RESIDENCE**
7400 MAPLE AVE
TAKOMA PARK, MD 20912

OWNER:

DINA BORZEKOWSKI
RON BORZEKOWSKI
7400 MAPLE AVE
TAKOMA PARK, MD 20912
301.270.4195

ISSUES:

PERMIT	11/20/06
PERMIT - REVISED	
CO	

SHEET TITLE:

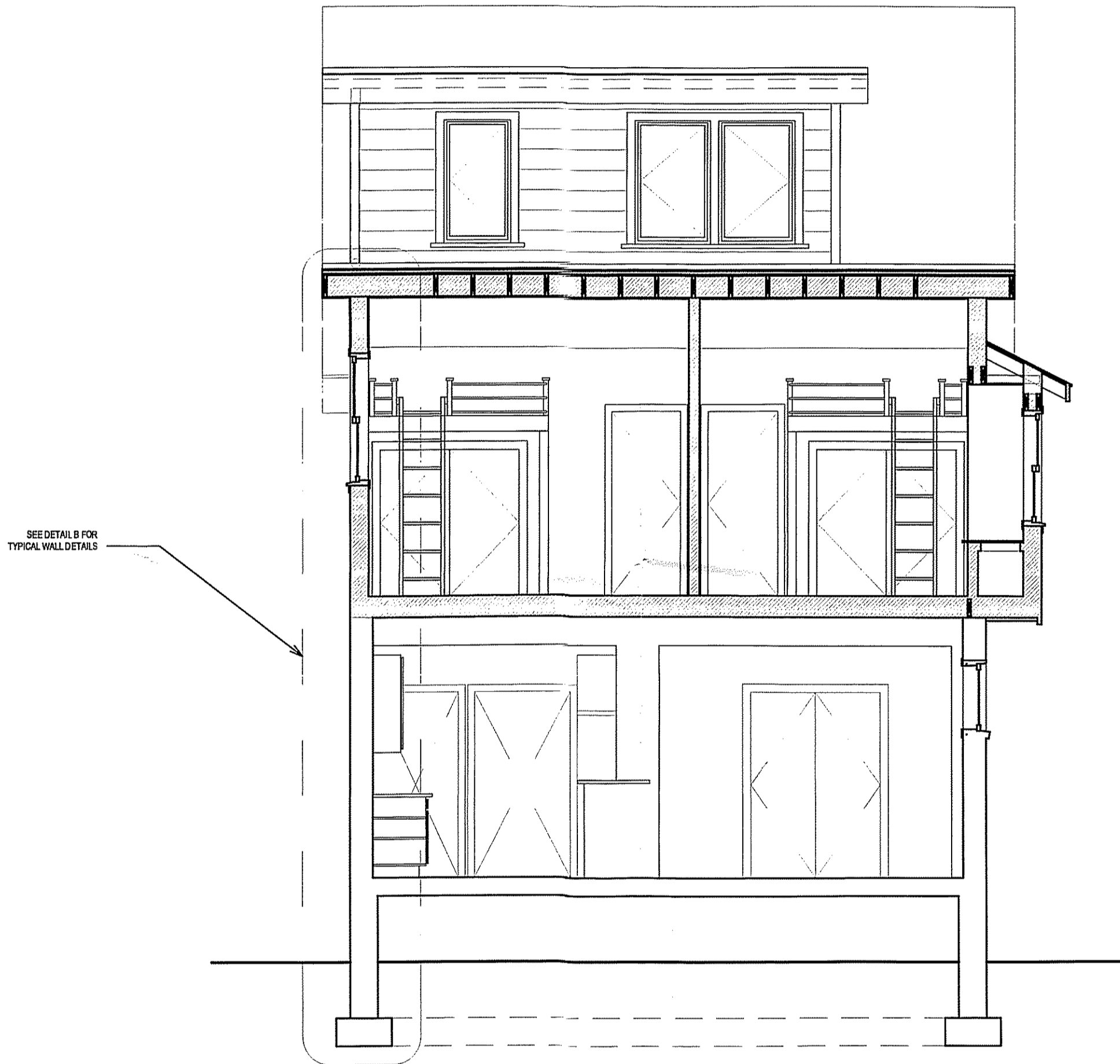
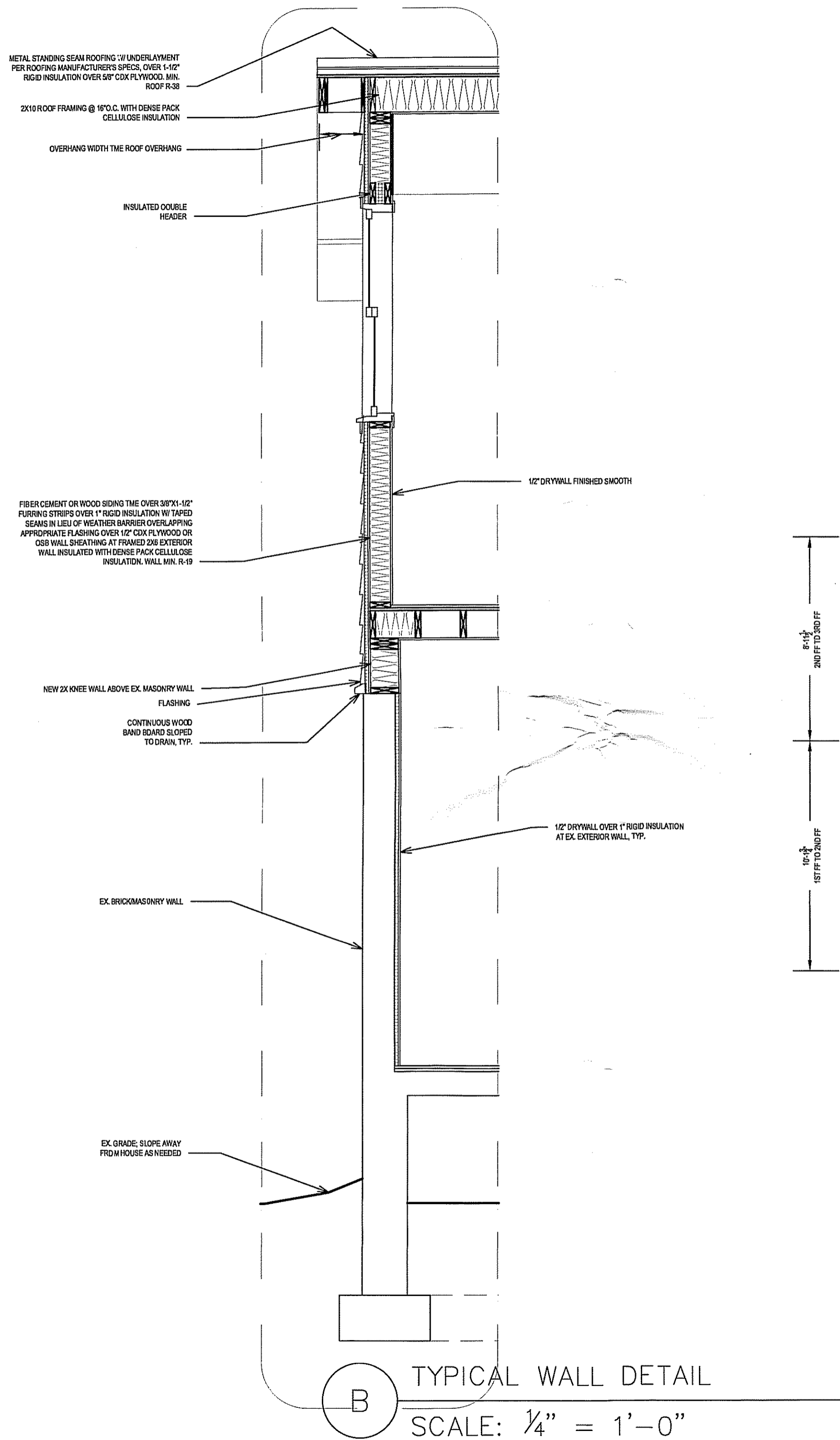
SECTION:
BEDROOM;
TYP. WALL
DETAIL

BY: ABT

DATE: 11/20/2006

SCALE: 1/4" = 1'-0"

A14



A SECTION: BEDROOM
SCALE: 1/4" = 1'-0"

B TYPICAL WALL DETAIL
SCALE: 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 12/1/06

FILE



HISTORIC PRESERVATION COMMISSION

Douglas M. Duncan
County Executive

Julia O'Malley
Chairperson

Date: ~~October 26, 2006~~
12/1/06

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Tania Tully, Senior Planner *TGT*
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #435081, rear addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was Approved with Conditions at the October 25, 2006 meeting.

1. *The applicants will work with the Takoma Park arborist to determine if a tree protection plan is needed for this project. If required, the plan will be implemented prior to any work beginning on the property.*
2. *All new window units and sashes with multiple lights must be wood simulated divided light, which contain muntins that are permanently bonded to the interior and exterior of the insulating glass simulating a divided light appearance.*
3. *All new windows must be wood or aluminum clad wood except for the north elevation gable-end replacement sashes, which may not be clad.*
4. *The applicants will work with, and obtain staff approval for minor design changes including redesigning windows so that they have the same proportions as those in the historic house.*
5. *The specifications for the windows will be included in the permit sets of drawings submitted to staff at the time of stamping.*

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED AND CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HISTORIC AREA WORK PERMIT (HAWP) CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER TOWN GOVERNMENT AGENCY BEFORE WORK CAN COMMENCE.

Applicant: Ron & Dina Borzekowski
Address: 7400 Maple Ave, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.

Applicants will obtain windows through Community Forklift. They will contact staff for approval as each window (s) is selected.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Dina Borzekowski

Daytime Phone No.: 301-523-2386

Tax Account No.: 01059090

Name of Property Owner: Ron and Dina Borzekowski Daytime Phone No.: 301-523-2386

Address: 7400 Maple Ave Takoma Park MD 20912
Street Number City State Zip Code

Contractor: TBD Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 7400 Street: Maple Ave

Town/City: Takoma Park Nearest Cross Street: Philadelphia Ave

Lot: P17 Block: 5 Subdivision: B.F. Gilbert's

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- | | | | | | | | | |
|---|---|--|--|------------------------------------|---|---|--|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input checked="" type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input checked="" type="checkbox"/> Room Addition | <input checked="" type="checkbox"/> Porch | <input checked="" type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input checked="" type="checkbox"/> Install | <input checked="" type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input checked="" type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] _____ 10/4/06 _____
Signature of owner or authorized agent Date

Approved: WITH CONDITIONS For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: [Signature] Date: 10/25/06

Application/Permit No.: 435081 Date Filed: 10-4-06 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Three-story wood framed craftsman cottage with single story brick extension located on heavily wooded lot. House is located in Takoma Park historic district.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Project involves replacing deck in rear of house with new screened porch and mudroom, the addition of two rooms above the current home addition, and the construction of a third-floor dormer. All work is being done at the rear of the house and will not impact any of the historic resources of the house nor the district. Planned construction is environmentally focused and new construction is specifically designed to integrate with environmental setting.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	7400 Maple Ave, Takoma Park	Meeting Date:	10/25/2006
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	10/18/2006
Applicant:	Ron & Dina Borzekowski	Public Notice:	10/11/2006
Review:	HAWP	Tax Credit:	Partial
Case Number:	37/03-06EEE	Staff:	Tania Tully
PROPOSAL:	rear addition		

RECOMMENDATION: Approve with Conditions

STAFF RECOMMENDATION:

Staff is recommending that the HPC approve this HAWP application with the following conditions:

1. The applicants will work with the Takoma Park arborist to determine if a tree protection plan is needed for this project. If required, the plan will be implemented prior to any work beginning on the property.
2. All new window units and sashes with multiple lights must be wood simulated divided light, which contain muntins that are permanently bonded to the interior and exterior of the insulating glass simulating a divided light appearance.
3. All new windows must be wood or aluminum clad wood except for the north elevation gable-end replacement sashes, which may not be clad.
4. The applicants will work with, and obtain staff approval for minor design changes including redesigning windows so that they have the same proportions as those in the historic house.
5. The specifications for the windows will be included in the permit sets of drawings submitted to staff at the time of stamping.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the **Takoma Park Historic District**
STYLE: Bungalow
DATE: c1910-20

HISTORIC CONTEXT

The following are excerpts from *Places from the Past: The Tradition of Gardez Bien in Montgomery County, Maryland*.

“Takoma Park is historically significant as both an early railroad suburb and a streetcar community. It was the second railroad suburb of Washington, platted ten years after Linden. The opening of streetcar lines led to the development of new subdivisions, expanding the Takoma Park community in the early 20th century.

“Takoma Park was platted in 1883. Developer Benjamin Franklin Gilbert promoted the property for its natural environment and healthy setting. The site offered fresh water, trees, and a high elevation to escape the malaria-ridden District of Columbia. In 1883, Gilbert purchased a 90-acre farm and platted a subdivision with picturesque, winding streets named for native trees, including Sycamore, Chestnut, Hickory, and Oak. Equally reflective of Gilbert’s promotion of the natural setting is the use of the Native American “Takoma”, meaning “exalted” or “near heaven.” Later he added the “Park” appellation to draw attention to its healthy environment.”

PROPOSAL:

- Remove existing deck (Circle 20).
- Construct a screened porch and mudroom at deck location. These rooms will have a living roof.
- Add a second level to the existing non-contributing addition. (10-15)
- Add a rear dormer.
- Replace the four 1970s windows in the front dormer with wood 1/1 windows (Circle 8).
- Replace the rotted and unrepairable 3rd floor window in the north gable (Circle 14)
- Remove the vinyl siding.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior’s Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

Some of the factors to be considered in reviewing HAWPs on Contributing Resources include:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required
- Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged, but not automatically prohibited
- While additions should be compatible, they are not required to be replicative of earlier architectural styles
- Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition
- Alterations to features that are not visible from the public right-of-way should be allowed as a matter of course
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code; Chapter 24A

- A HAWP permit should be issued if the Commission finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

STAFF DISCUSSION

This proposal meets all applicable *Standards and Guidelines*. The addition, while adding space on three levels is still quite small and adds minimally to the lot coverage. The new dormer is appropriate in size, scale, and sits below the ridgeline of the historic house and the 2nd level addition sits on an existing non-historic brick addition. The proposed design has clean lines and utilizes “green” features such as tree columns on the screened porch and the living roof, which will be accessible via a spiral stair at the rear. The horizontal siding and 6/1 windows draw from the design of the house while the “green” elements make the transition to the back yard. The addition will be minimally visible from the public-right-of way and will not negatively affect the streetscape of the historic district.

Other proposed changes, including removing the vinyl siding and replacing the 1970s windows, will improve the character of the house and are tax credit eligible expenses. Staff examined the 3rd floor window proposed for replacement, agrees that the sash is beyond repair, and recommends approving its replacement. On the north-side elevation at the rear of the house, there is another proposed window change. A narrow second level window is proposed to be replaced by a wider window. This window is minimally visible from the public right-of-way, but is not a major character-defining feature of the house. Because of its location and because of the leniency afforded Contributing Resources in the Takoma Park Historic District, staff is recommending approval of this change. However, the proportions of this window are inconsistent with the historic house. Either the window should be resized to match the other two windows on the north elevation or it should be changed to a pair of compatible casement windows.

Because of the location, massing and scale, the proposed addition is compatible with the historic house; however, staff is recommending a few minor design changes that should help enhance compatibility with the historic house. Currently the addition contains a mix of contemporary and traditional window designs. Because the intent of the addition is to use features from the historic house, the Staff suggests that the dimensions and proportions of the windows be evaluated for proportionality. For example, the bay window on the south elevation is too squat for a 6/1 light pattern. A pair of windows with the same proportions of those in the historic house would be more compatible. Although the addition will not have much visibility from the public right-of-way, these minor changes will increase the compatibility of the addition.

Staff is recommending approval with conditions.

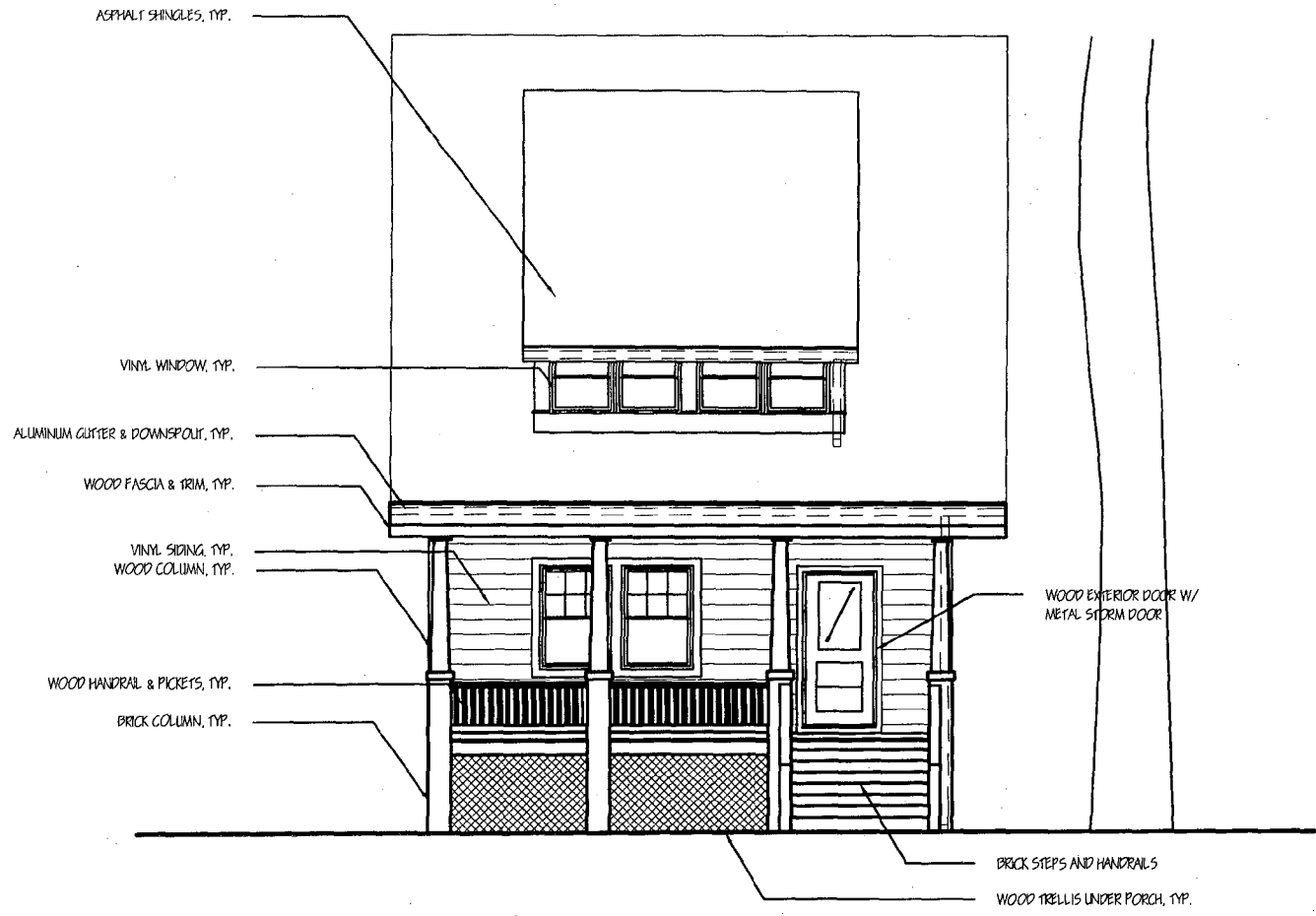
STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application **with the conditions specified on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

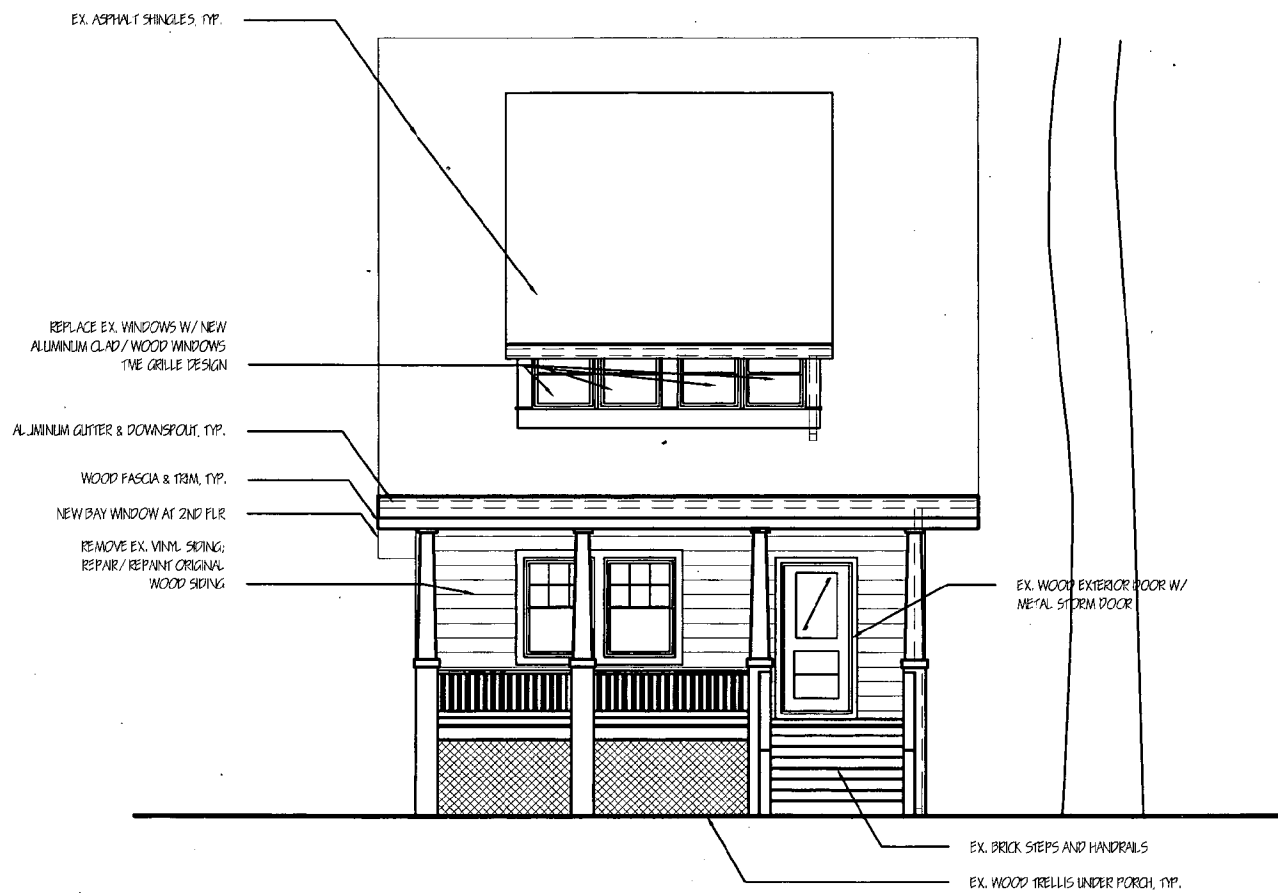
and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



A

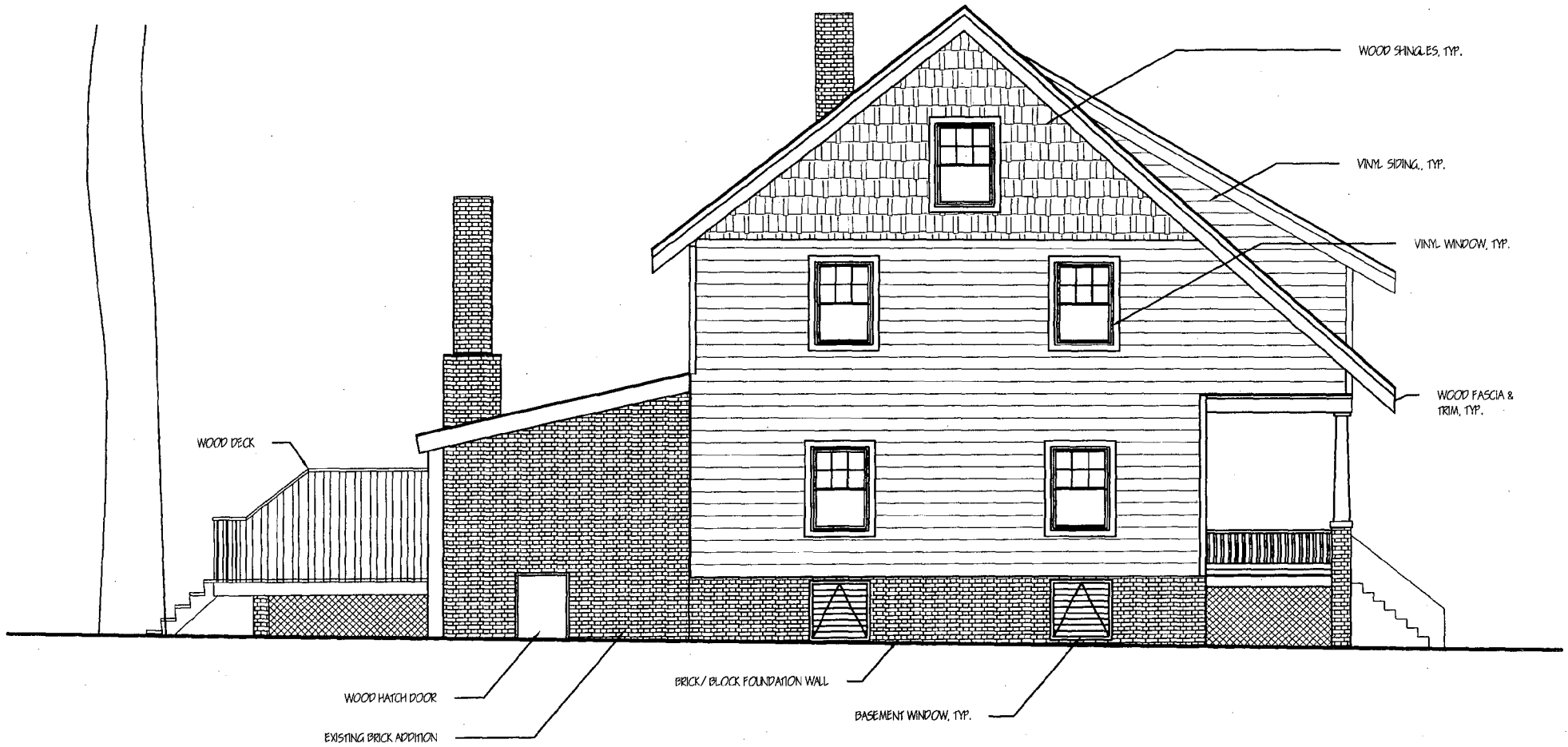
BORZEKOWSKI RESIDENCE 7400 MAPLE AVE TAKOMA PARK, MD 20912 RON & DINA BORZEKOWSKI 301-270-4198		EXISTING FRONT ELEVATION	
HELICON WORKS 7108 HOLLY STREET TAKOMA PARK, MD 20912 W. WILLIAM HUTCHINS, AIA 301-404-5578		DRAWN BY: ABT DATE: 04 OCT 2006 SCALE: 1/8" = 1'-0"	A-2

A. BAMBI TRAN
202-352-4563



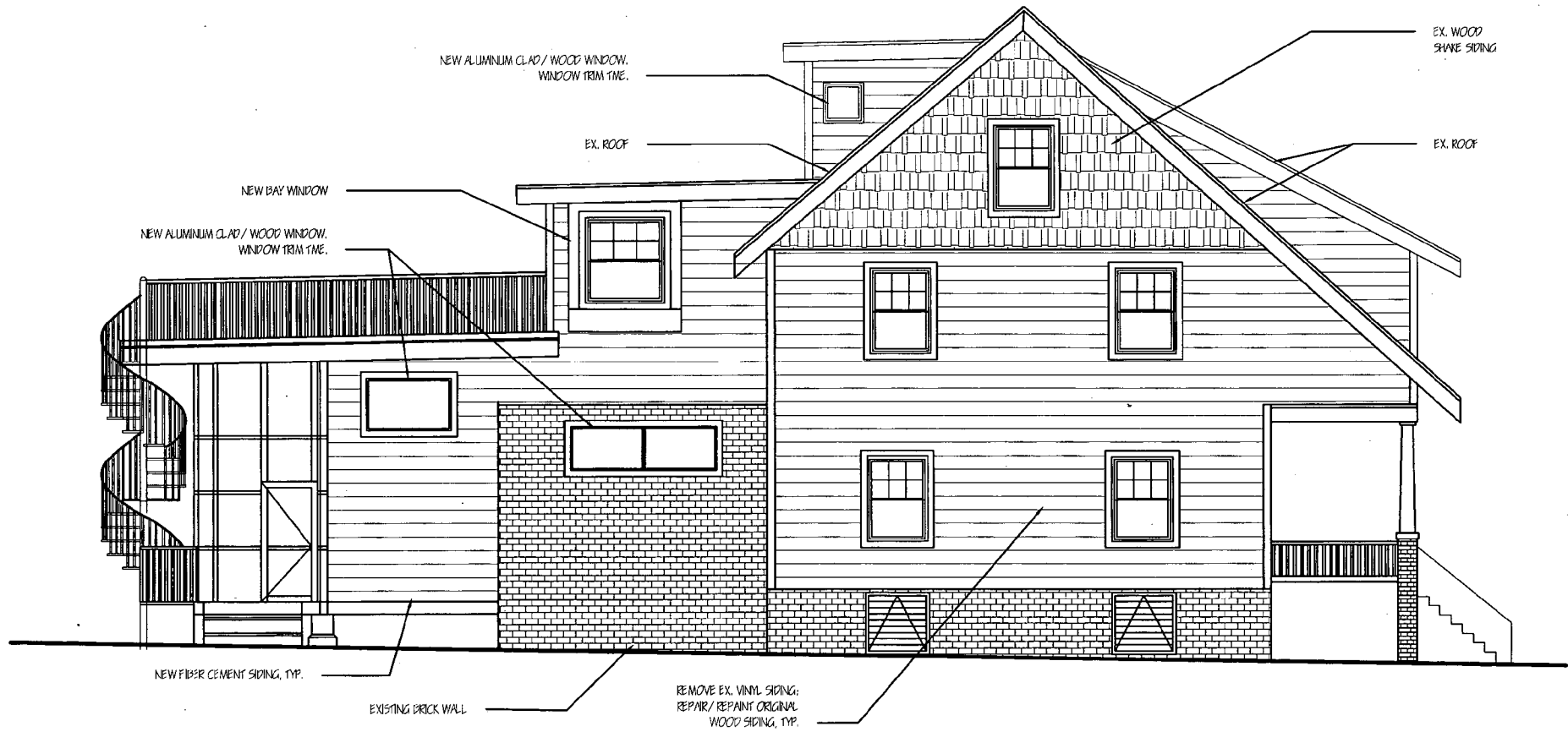
BORZEKOWSKI RESIDENCE 7400 MAPLE AVE TAKOMA PARK, MD 20912 RON & DINA BORZEKOWSKI 301-270-4198		PROPOSED FRONT ELEVATION	
HELICON WORKS 7108 HOLLY STREET TAKOMA PARK, MD 20912 W. WILLIAM HUTCHINS, AIA 301-404-5578		DRAWN BY: ABT DATE: 16 OCT 2006 SCALE: 1/8" = 1'-0"	A-9

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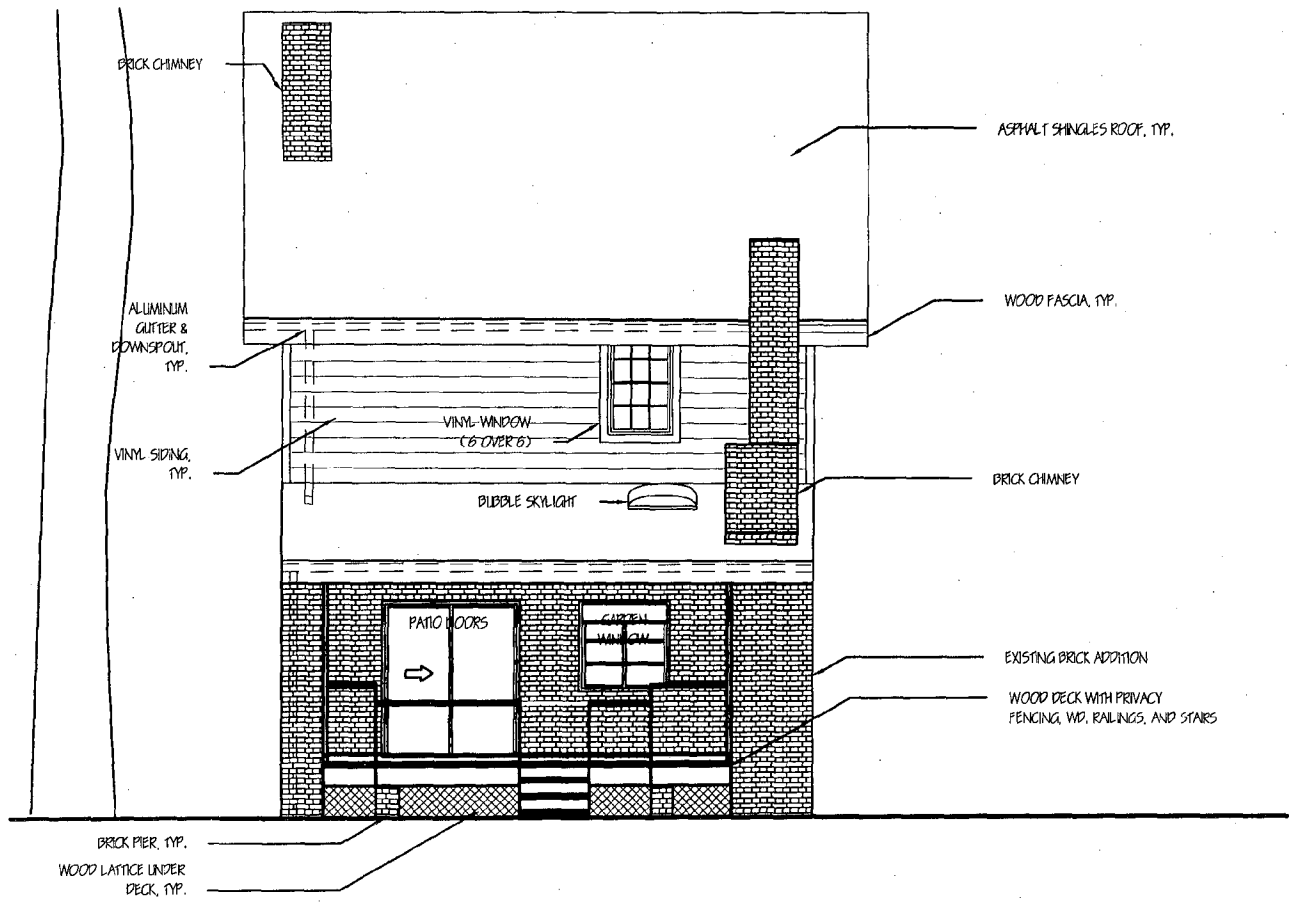
BORZEKOWSKI RESIDENCE 7400 MAPLE AVE TAKOMA PARK, MD 20912 RON & DINA BORZEKOWSKI 301-270-4198		EXISTING SIDE ELEVATION (SOUTHWEST)	
HELICON WORKS 7108 HOLLY STREET TAKOMA PARK, MD 20912 W. WILLIAM HUTCHINS, AIA 301-404-5578		DRAWN BY: ABT DATE: 04 OCT 2006 SCALE: 1/8" = 1'-0"	A-4
A. BAMBI TRAN 202-352-4563			

10



BORZEKOWSKI RESIDENCE 7400 MAPLE AVE TAKOMA PARK, MD 20912 RON & DINA BORZEKOWSKI 301-270-4198		PROPOSED SIDE ELEVATION (SOUTHWEST)	
HELICON WORKS 7108 HOLLY STREET TAKOMA PARK, MD 20912 W. WILLIAM HUTCHINS, AIA 301-404-5578		DRAWN BY: ABT DATE: 16 OCT 2006 SCALE: 1/8" = 1'-0"	A-11
A. BAMBI TRAN 202-352-4563			

(11)



12

BORZEKOWSKI RESIDENCE 7400 MAPLE AVE TAKOMA PARK, MD 20912 RON & DINA BORZEKOWSKI 301-270-4198		EXISTING BACK ELEVATION	
HELICON WORKS 7108 HOLLY STREET TAKOMA PARK, MD 20912 W. WILLIAM HUTCHINS, AIA 301-404-5578		DRAWN BY: ABT DATE: 04 OCT 2006 SCALE: 1/8" = 1'-0"	A-3



13

BORZEKOWSKI RESIDENCE 7400 MAPLE AVE TAKOMA PARK, MD 20912 RON & DINA BORZEKOWSKI 301-270-4198		PROPOSED BACK ELEVATION	
HELICON WORKS 7108 HOLLY STREET TAKOMA PARK, MD 20912 W. WILLIAM HUTCHINS, AIA 301-404-5578		DRAWN BY: ABT DATE: 16 OCT 2006 SCALE: 1/8" = 1'-0"	A-10



WOOD DOOR TO BASEMENT

BORZEKOWSKI RESIDENCE

7400 MAPLE AVE
 TAKOMA PARK, MD 20912
 RON & DINA BORZEKOWSKI
 301-270-4198

**EXISTING SIDE
 ELEVATION
 (NORTHEAST)**

HELICON WORKS
 7108 HOLLY STREET
 TAKOMA PARK, MD 20912
 W. WILLIAM HUTCHINS, AIA
 301-404-5578

A. BAMBI TRAN
 202-352-4563

DRAWN BY: ABT

DATE: 04 OCT 2006

SCALE: 1/8" = 1'-0"

A-5

(71)

REPLACE EX. WINDOW W/
NEW ALUMINUM CLAD / WOOD
WINDOW TRIM GRILLE DESIGN

EX. WOOD SHAKE SIDING

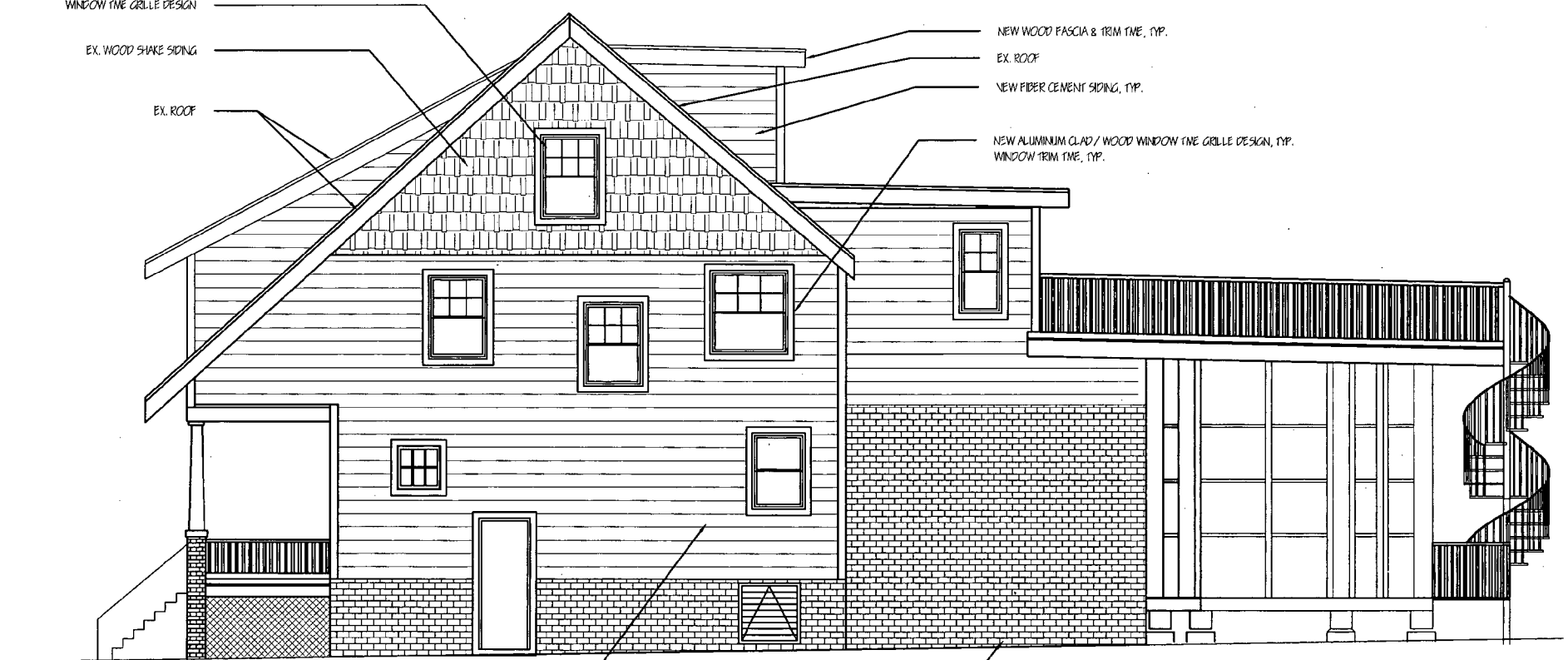
EX. ROOF

NEW WOOD FASCIA & TRIM T&E, TYP.

EX. ROOF

NEW FIBER CEMENT SIDING, TYP.

NEW ALUMINUM CLAD / WOOD WINDOW TRIM GRILLE DESIGN, TYP.
WINDOW TRIM T&E, TYP.



REMOVE EX. VINYL SIDING;
REPAIR / REPAINT ORIGINAL
WOOD SIDING, TYP.

EX. BRICK WALL

PROPOSED RENOVATION / EXISTING HOUSE

PROPOSED RENOVATION / NEW CONSTRUCTION

BORZEKOWSKI RESIDENCE

7400 MAPLE AVE
TAKOMA PARK, MD 20912
RON & DINA BORZEKOWSKI
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**PROPOSED
SIDE ELEVATION
(NORTHEAST)**

HELICON WORKS
7108 HOLLY STREET
TAKOMA PARK, MD 20912
W. WILLIAM HUTCHINS, AIA
301-404-5578

A. BAMBI TRAN
202-352-4563

DRAWN BY: ABT
DATE: 16 OCT 2006
SCALE: 1/8" = 1'-0"

A-12

15