

7401 MAPLE AVE
37103-0666 TAKOMA PARK HIST. DIST.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	7401 Maple Avenue, Takoma Park	Meeting Date:	07/26/06
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	07/19/06
Review:	HAWP	Public Notice:	07/12/06
Case Number:	37/03-06LL	Tax Credit:	None
Applicant:	Joshua Wright & Eliza Leighton (Paul Treseder, Architect)	Staff:	Michele Oaks

PROPOSAL: Alterations

RECOMMEND: Approve

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource
STYLE: Craftsman
DATE: c1915

The house located at 7401 Maple Avenue is a contributing resource within the Takoma Park Historic District. The building is a frame, Craftsman, two-story dwelling, detailed with 6/1 windows and large projecting eaves. The foundation walls are rusticated block and the main house has been covered with asbestos siding.

PROPOSAL:

The applicant is proposing to:

1. Replace an existing door on the rear elevation with a single, wood, 4/1 double-hung, window.
2. Remove existing, square, four light window on rear elevation and fill-in opening.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required.
- Alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

Secretary of the Interior's Standards for Rehabilitation

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION:

The proposed alterations are sympathetic to the architectural style of the historic resource and will be located at the rear and not visible from the public right-of-way, which is considered a secondary part of the façade. Staff feels that this proposal meets the criteria outlined in the *Takoma Park Guidelines*.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the Takoma Park District Guidelines adopted in August, 1992.

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall notify the Historic Preservation Office if **any** alterations to the approve plans are made prior to the implementation of such changes to the project.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
245 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

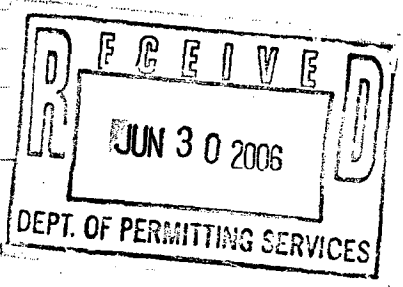
Contact Person: Josh Wright
Daytime Phone No.: 917 825-8323

Tex Account No.: 01076436
Name of Property Owner: Joshua Wright & Elita Leighton Phone No.: (917) 825-8323
Address: 7401 Maple Ave Takoma Park MD 20912
Street Number City State Zip Code

Contractor: N/A Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: Paul Treseder Daytime Phone No.: 301 320-1580

LOCATION OF BUILDING/PREMISE

House Number: 7401 Street: Maple Ave
Town/City: Takoma Park Nearest Cross Street: Tulip Ave
Lot: 34 1/2 Block: 87 Subdivision: 25
Liber: _____ Folio: _____ Parcel: _____



PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Reuse Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Well (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 85,000
1C. If this is a revision of a previously approved active permit, see Permit # NO

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

06/30/06
Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 426229 Date Filed: 6/30/06 Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Two story bungalow on Maple Ave in Takoma
Park Historic District. Street has an eclectic mix
of housing types.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

No changes to exterior except closing in one
small window and making a door into a
window on the back of the house. Materials
used will be historically accurate. No trees are affected

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the crown of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1351.

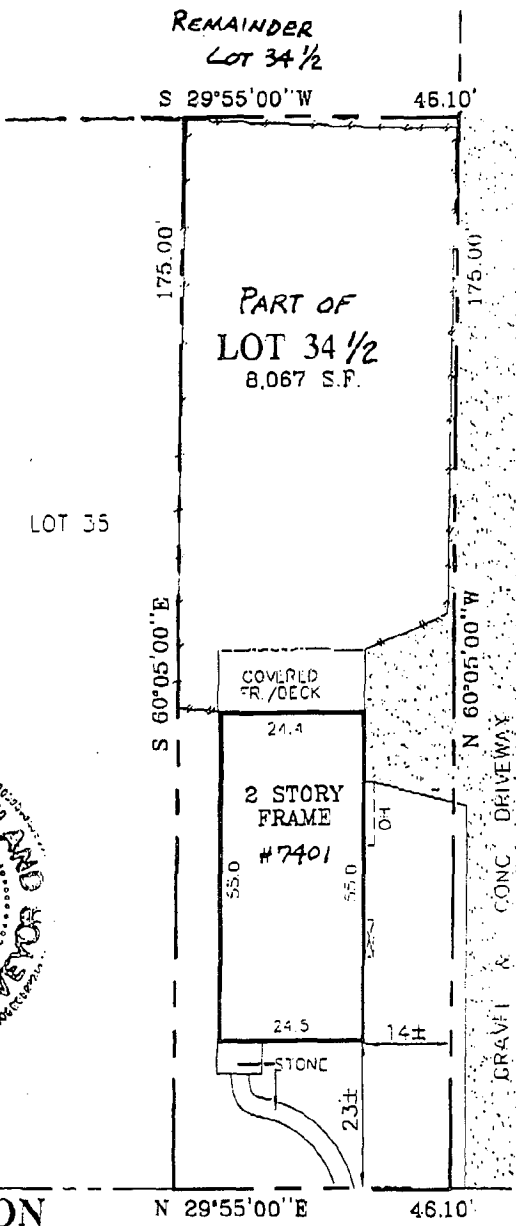
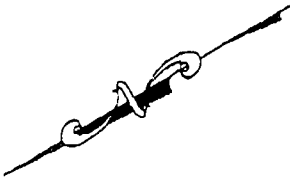
PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

For 7401 Maple Avenue

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING [Owner, Owner's Agent, Adjacent and Confronting Property Owners]	
Owner's mailing address Joshua L. Wright & Elita Layton 7401 Maple Avenue Takoma Park, MD 20912	Owner's Agent's mailing address Paul Treseder 6320 Wiscasset Rd. Bethesda, MD 301220 - 20816
Adjacent and confronting Property Owners mailing addresses	
Adjacent: Lot 35 Nicolien G. Van Schoonen 7403 Maple Avenue Takoma Park, MD 20912	Adjacent (Behind) Joyce Schocppach 1 Austin Place (Lot 60) Takoma Park, MD 20912-4343
Confronting: Ron & Dina Borzekowski 7400 Maple Ave Takoma Park, MD 20912-4316	Adjacent: Lot 33 Bruce Weddle & Dorothy Darrach 7315 Maple Ave Takoma Park, MD 20912
Confronting: Ted Howard 7402 Maple Ave Takoma Park, MD 20912	

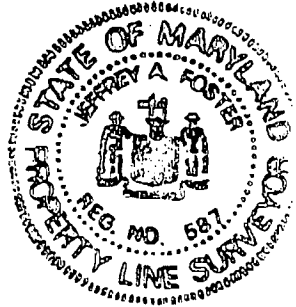
CONSUMER INFORMATION NOTES:

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.
5. No Title Report furnished.



Notes

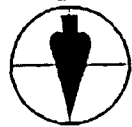
1. Flood zone "C" per H.U.D panel No. 0200C.
2. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus **2 FEET**. Fences, if shown, have been located by approximate methods.



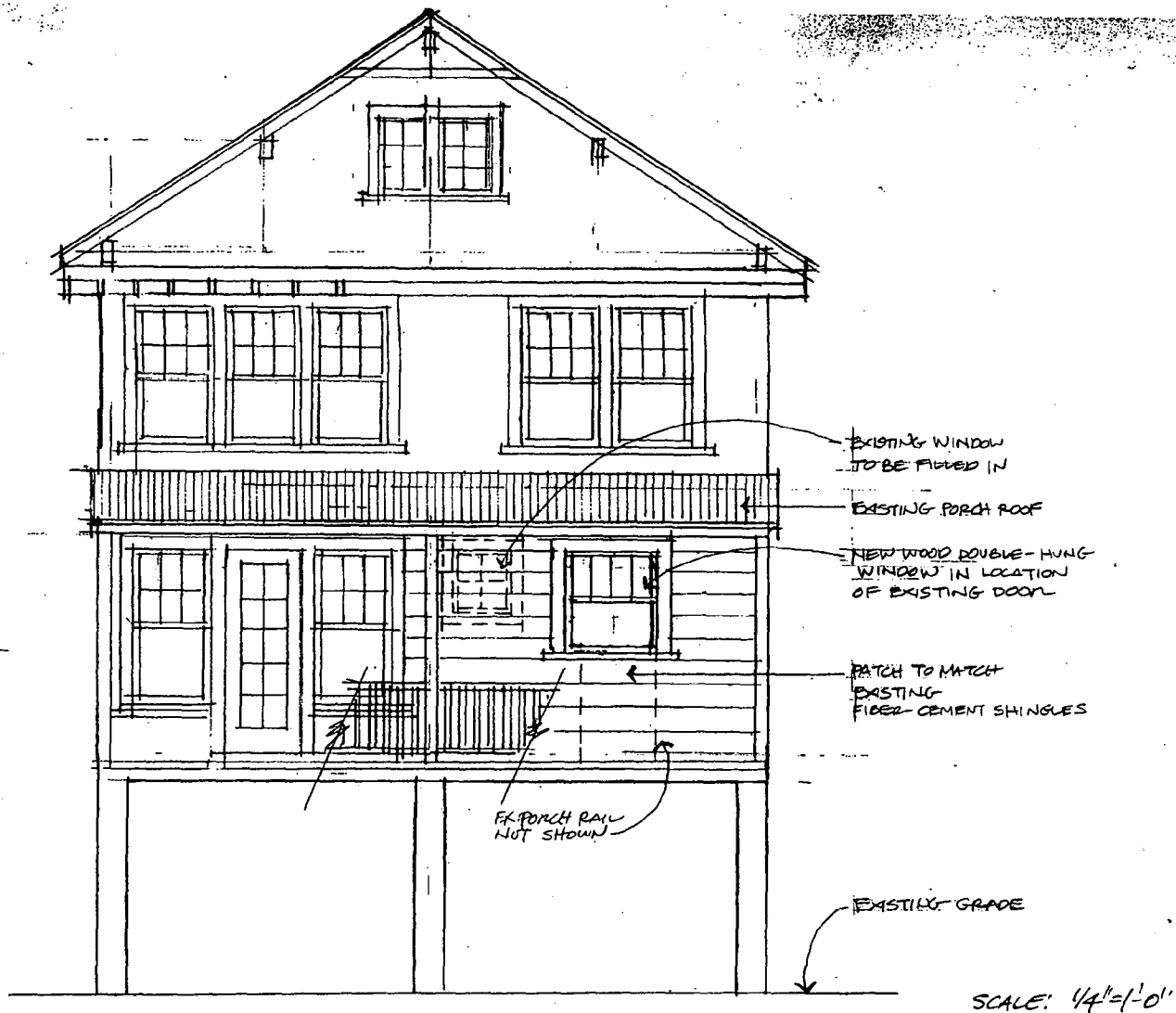
LOCATION DRAWING
PART OF LOT 34 1/2 BLOCK 87

HOLMES AND AUSTIN'S SUBDIVISION
OF PART OF TAKOMA PARK
MONTGOMERY COUNTY, MARYLAND

MAPLE AVENUE

SURVEYOR'S CERTIFICATE		REFERENCES	 <p>SNIDER & ASSOCIATES SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 2 Professional Drive, Suite 216 Gaithersburg, Maryland 20879 301/948-5100, Fax 301/948-1286</p>
"THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION."		PLAT BK. 3	
		PLAT NO. 223	
LIBER		DATE OF LOCATIONS <i>3/2/06</i>	
FOLIO		WALL CHECK:	DRAWN BY: P Y
MARYLAND PROPERTY LINE SURVEYOR REG. NO. <i>587</i>		HSE. LOC.: 02-10-08	JOB NO.: 06-0850





Paul Treseeder

6320 Wicassett Road
 Bethesda, MD 20818
 301-320-1580
 Fax— 301-320-1581
 Paul.Treseeder@verizon.net

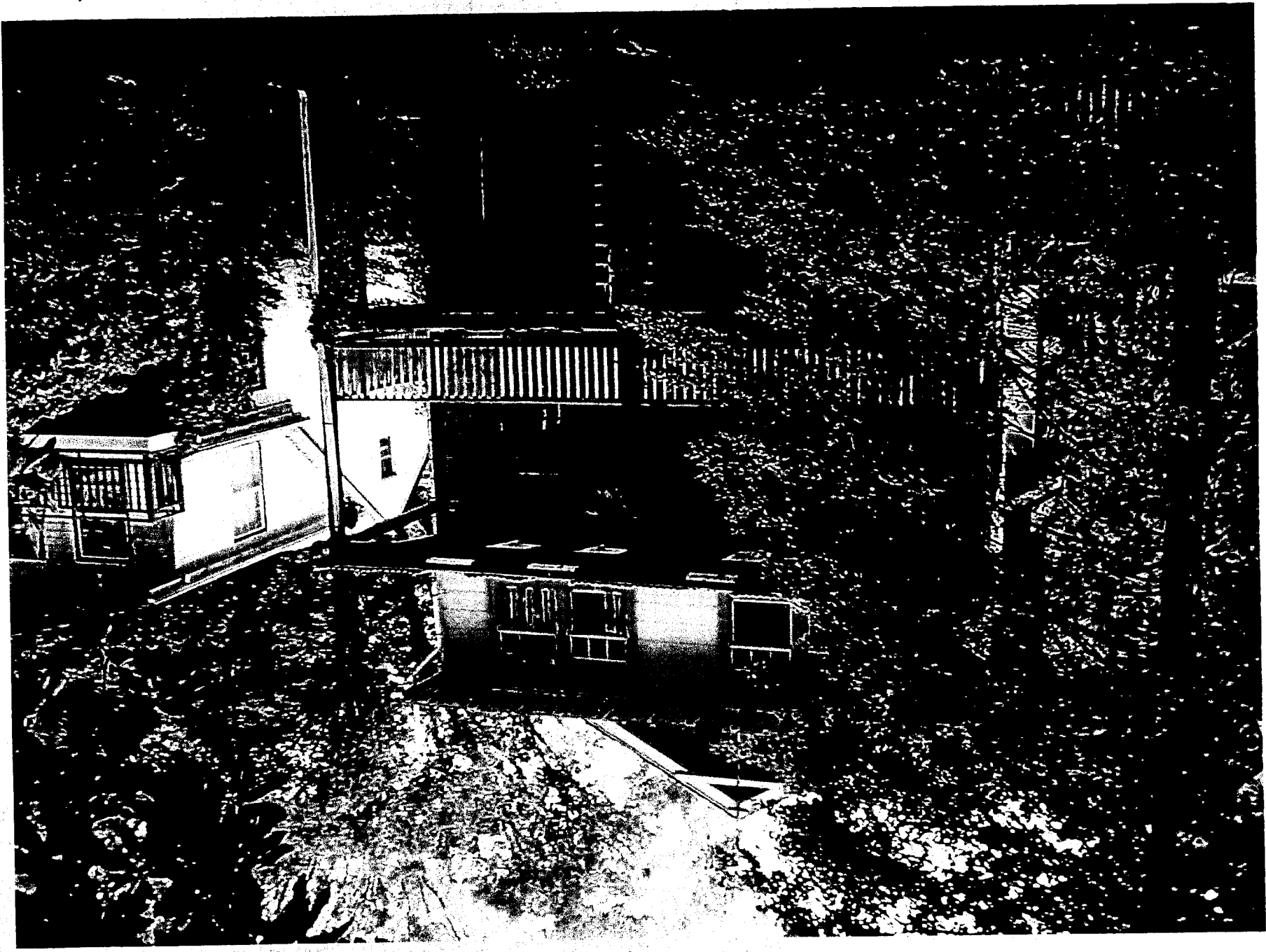


PROPOSED CHANGES TO REAR OF
7401 MAPLE AVENUE, TAKOMA PARK, MD.
 JOSEPH WHITE & ELIZA LEIGHTON

7

Existing REAR ELEVATION

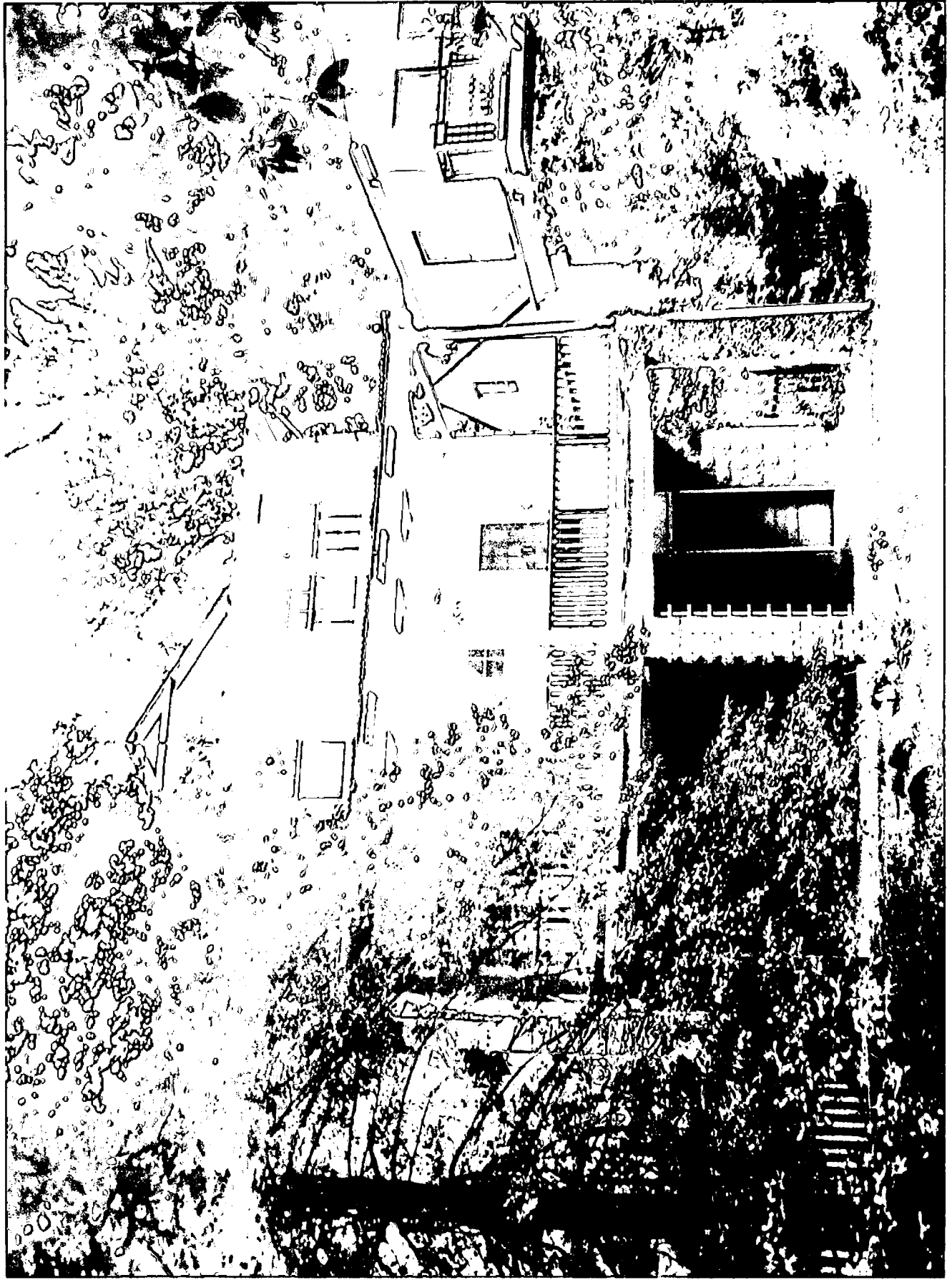
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For 7401 Maple Avenue

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Existing REAR ELEVATION



HISTORIC PRESERVATION COMMISSION


Douglas M. Duncan
County Executive

Julia O'Malley
Chairperson

Date: July 31, 2006

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Michele Oaks, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #426229, Alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the July 26, 2006 meeting.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED AND CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HISTORIC AREA WORK PERMIT (HAWP) AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER TOWN GOVERNMENT AGENCY BEFORE WORK CAN COMMENCE.

Applicant: Joshua Wright and Eliza Leighton (Paul Treseder, Architect)

Address: 7401 Maple Avenue Avenue, Takoma Park Historic District

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will contact the Historic Preservation Office if they propose to make any alterations to the approve plans.



M



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

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Daytime Phone No.: 917 825-8323

Tax Account No.: 01076436
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Street Number City State Zip Code

Contractor: N/A Phone No.: _____

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LOCATION OF BUILDING/PREMISE

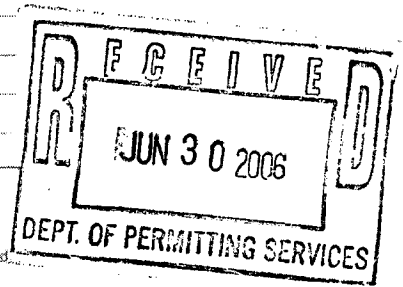
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 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 85,000

1C. If this is a revision of a previously approved active permit, see Permit # NO



PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: [Signature] Date: 06/30/06

Approved: X For Chairman, Historic Preservation Commission
Disapproved: _____ Signature: Julia O'Malley Date: 7/26/06
Application/Permit No.: 426229 Date Filed: 6/30/06 Date Issued: _____

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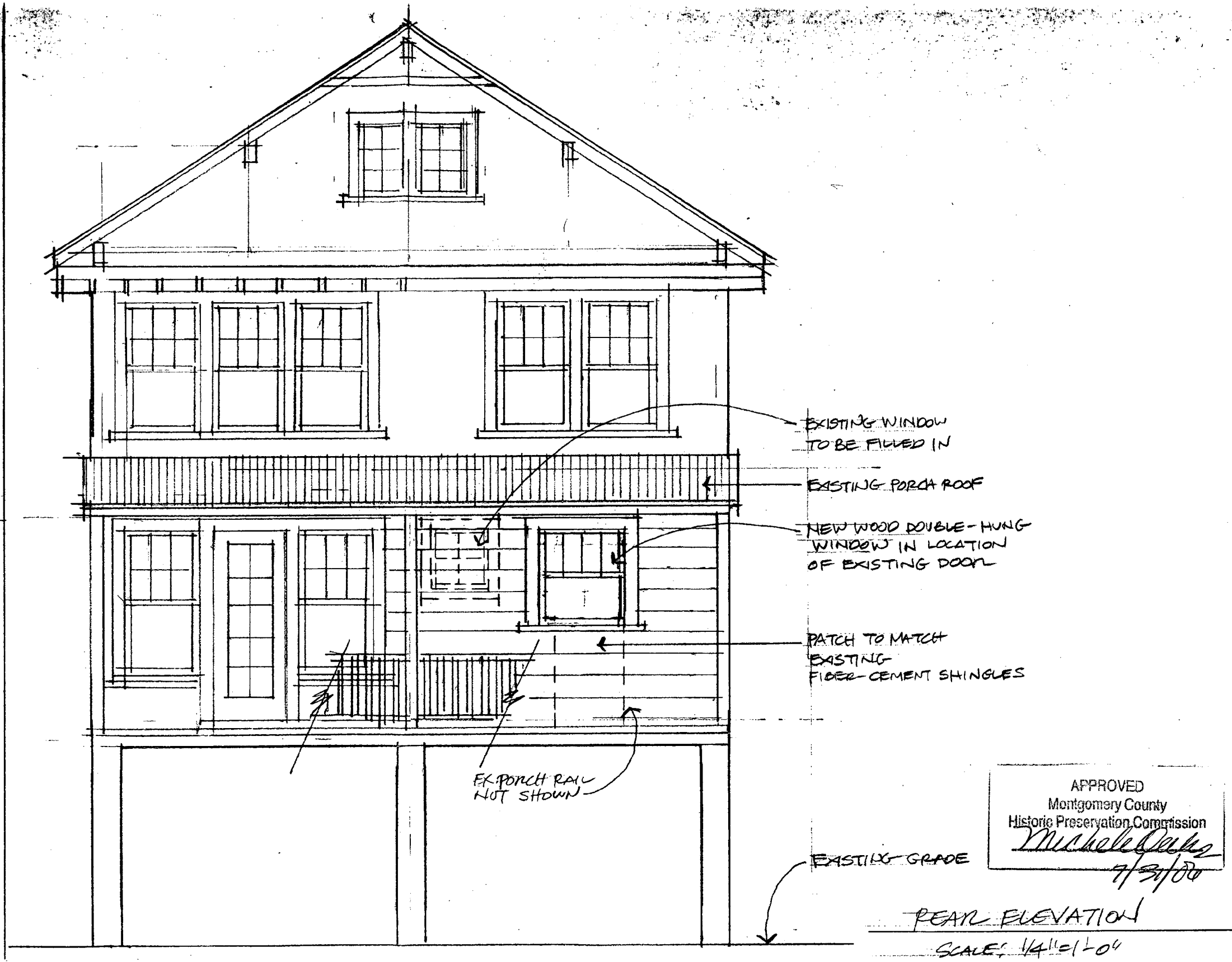
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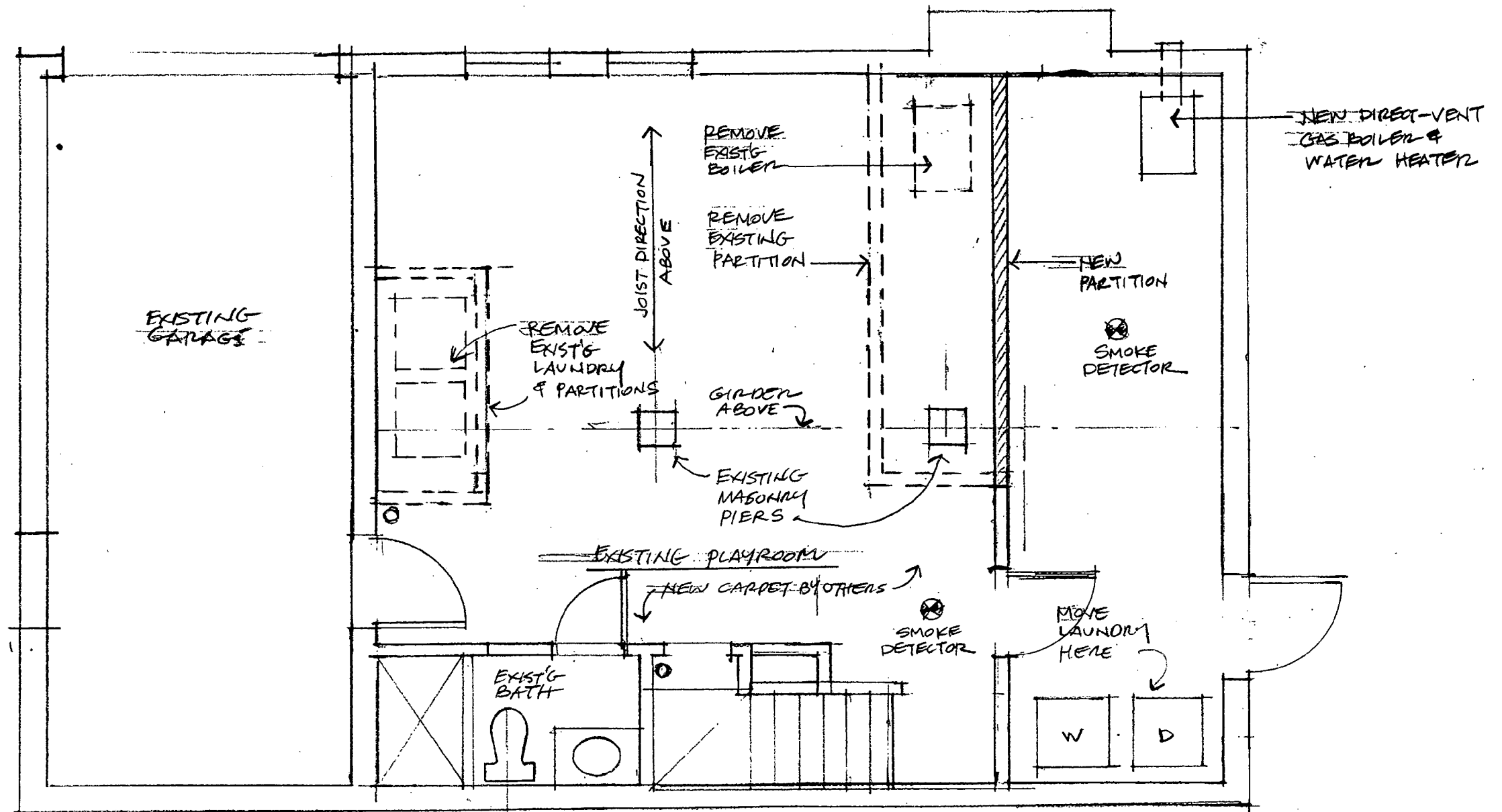
GENERAL NOTES

- ALL NEW WORK SHALL CONFORM TO THE 2003 EDITION OF THE I.P.C. AS AMENDED BY MONTGOMERY COUNTY, MARYLAND.
- NEW BEAMS ARE LAMINATED VENEER LUMBER, $F_b = 2,600 \text{ psi}$, $E = 1.6 \times 10^6 \text{ psi}$
- LOADS: LIVE FLOOR LOAD - 40 PSF
LIVE BEDROOM FLOOR - 30 PSF
LIVE ROOF SNOW LOAD - 30 PSF
- WIND LOADS: BASIC WIND SPEED - 90 MPH
IMPORTANCE FACTOR - 1.0
EXPOSURE FACTOR - B
DESIGN PRESSURE - 9.9 PSF

DRAWING INDEX

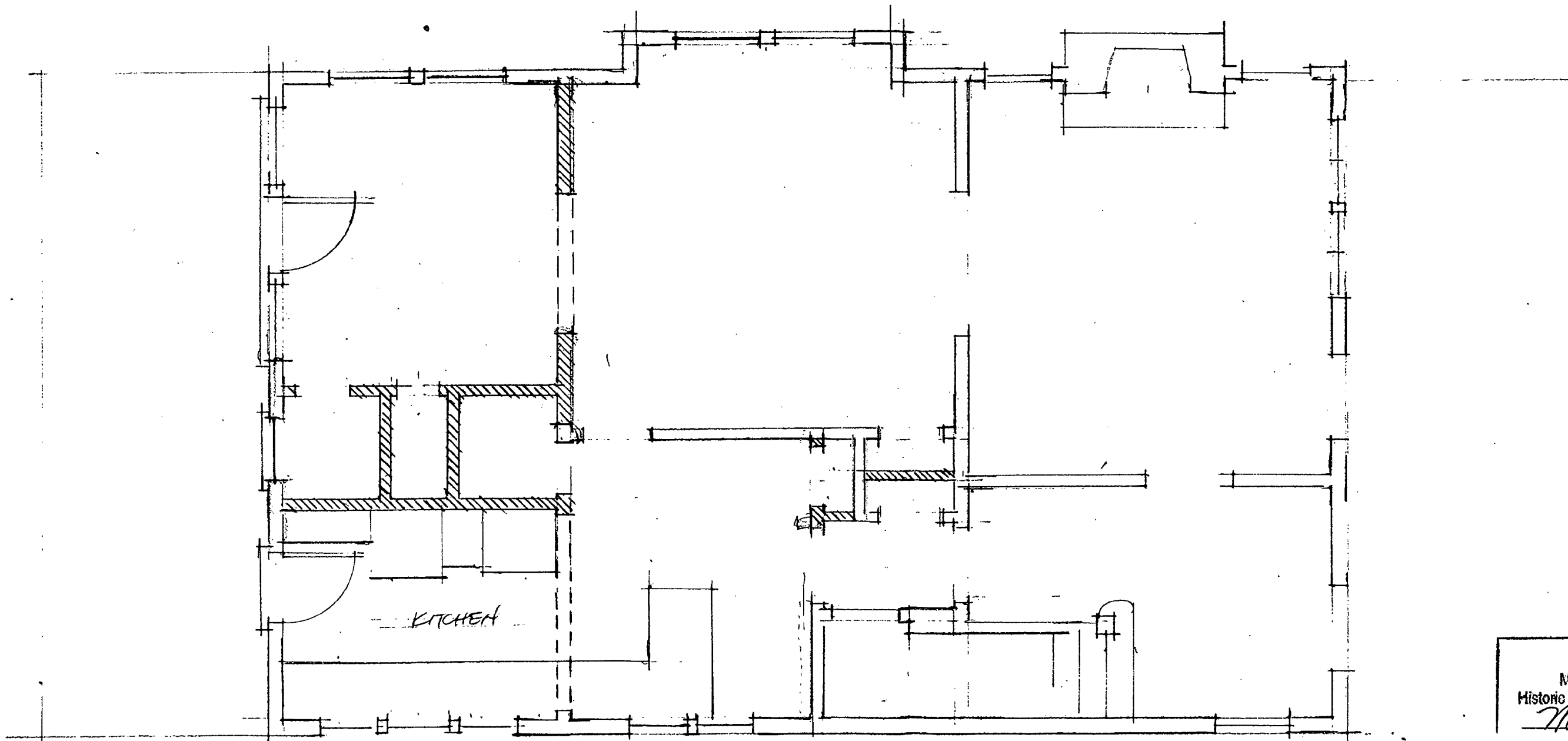
1. COVER SHEET, EXTERIOR ELEVATION
2. BASEMENT PLAN
3. FIRST FLOOR DEMOLITION PLAN
4. FIRST FLOOR PLAN
5. SECOND FLOOR PLAN






APPROVED
 Montgomery County
 Historic Preservation Commission
Michelle Parks
 9/31/80

BASEMENT PLAN
 SCALE: 1/4" = 1'-0"



APPROVED
Montgomery County
Historic Preservation Commission
Nichole Oaks
7/21/00

 - WALLS TO BE REMOVED

1ST FLOOR DEMOLITION PLAN

SCALE 1/4" = 1'-0"

5

NOTE: INSTALL NEW HARDWIRED INTERCONNECTED SMOKE DETECTORS IN LOCATIONS INDICATED THUS: (Symbol)

(NO CHANGES)

LEIGHTON - 2ND FLOOR EXIST'G

APPROVED
Montgomery County
Historic Preservation Commission
7/21/00

