

37/03-06Q 15 Montgomery Ave
Takoma Park Historic District, 37/03



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John Barrett
President

Montgomery County
8302 Brink Road
Laytonsville, MD 20882
(301) 926-3001
Fax (301) 963-0502
www.archadeck.com



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Fothergill, Anne

From: Fothergill, Anne
Sent: Thursday, April 27, 2006 8:46 AM
To: 'Brett Linkletter'
Cc: 'results@ppartners.com'
Subject: 15 Montgomery

hi Brett,

You will receive this approval in the mail but I wanted to let you know that last night the HPC approved a rear screen porch and deck at 15 Montgomery with the condition that the owner (Connie Meyer) get an approved tree protection permit with your office. I am copying the owner on this email as well.

Thanks,
Anne

>
> Anne Fothergill
> Historic Preservation Planner
> Montgomery County Park and Planning
> 1109 Spring Street, Suite 801
> Silver Spring, MD 20910
> 301-563-3400 phone
> 301-563-3412 fax
> <http://www.mc-mncppc.org/historic/>
>



HISTORIC PRESERVATION COMMISSION

Douglas M. Duncan
County Executive

Julia O'Malley
Chairperson

Date: 4/27/2006

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Anne Fothergill, Senior Planner *AF*
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #416716, deck replacement and screened porch construction

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with Conditions** at the 4/26/2006 meeting.

1. The tree protection permit must be approved by the City of Takoma Park and tree protection measures will be in place prior to the start of construction.
2. The screen door and exterior trim will be wood.

The HPC staff has reviewed and stamped construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED AND CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HISTORIC AREA WORK PERMIT (HAWP) CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER TOWN GOVERNMENT AGENCY BEFORE WORK CAN COMMENCE.

Applicant: Alden & Constance Meyer
Address: 15 Montgomery Ave, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
288 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20860
240/777-6370

DPS-#0

A

416716

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: CONNIE MEYER

Daytime Phone No.: 301-270-6768 240-354-4771 (cell)

Tax Account No.: 13-25-01067465

Name of Property Owner: ALOEN + CONSTANCE MEYER Daytime Phone No.: 301-270-6768

Address: 15 MONTGOMERY AVENUE, TAKOMA PARK, MD 20912
Street Number City Street Zip Code

Contractor: WCF, INC. DBA ARCHARDECK Phone No.: 301-926-3001

Contractor Registration No.: MHC #121329

Agent for Owner: _____ Daytime Phone No.: _____

Address: _____

LOCATION OF BUILDING/PREMISE

House Number: 15 Street: MONTGOMERY AVE.

Town/City: TAKOMA PARK Nearest Cross Street: PINE

Lot: 8 Block: 17 Subdivision: BF GILBERT ADDITION TO TAKOMA PARK

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

IA. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Teze
- Revision
- Repair
- Reworkable

CHECK ALL APPLICABLE:

- AC
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: SCREENED-IN PORCH

1B. Construction cost estimate: \$ 27,538

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

Approved: Julia O'Malley For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: approved with conditions Date: 4-27-06

Application/Permit No.: 416716 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

ELEVATED DECK OFF OF KITCHEN, WITH STRIKES TO GRADE,
CONSTRUCTED IN 1986 AS PART OF MAJOR RENOVATION TO THE HOUSE.
NO HISTORICAL FEATURES OR SIGNIFICANCE.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

REPLACEMENT OF EXISTING DECK WITH SCREENED-IN PORCH/DECK.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

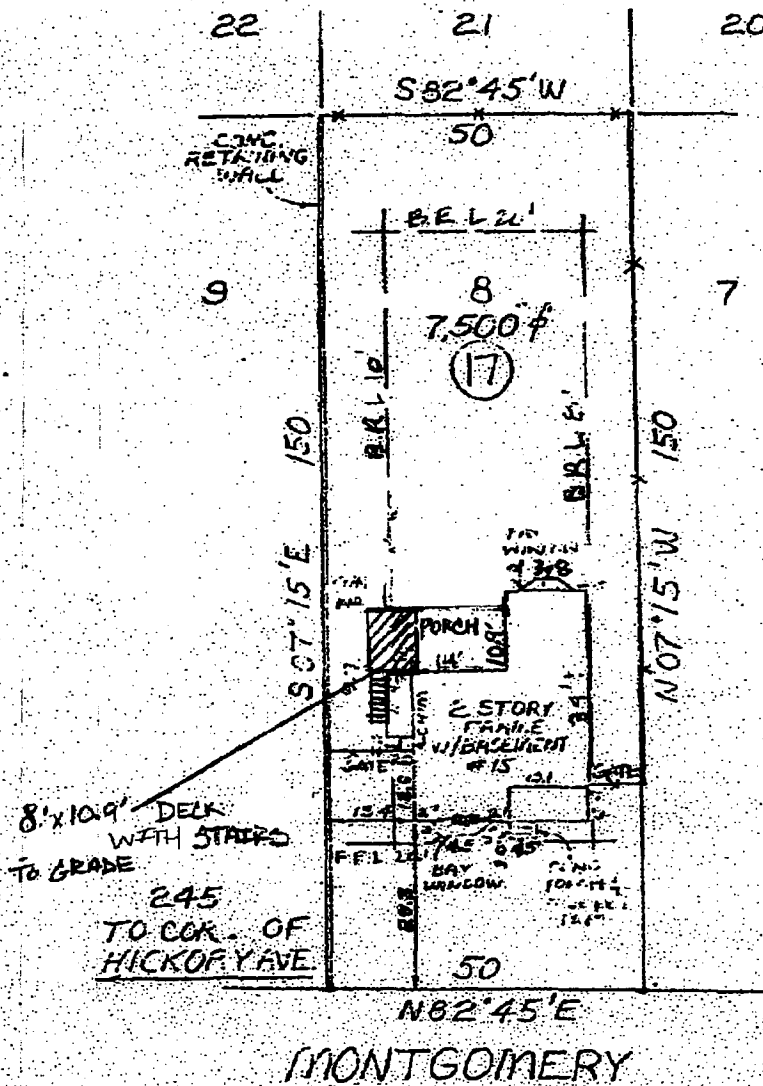
If you are proposing construction adjacent to or within the drip-line of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

REVISED

SCALE 1=30



APPROVED
 Montgomery County
 Historic Preservation Commission

4-27-06

ES: of the flood plain as per # 40192006
 to be used for construction.
 corners have not been set by this survey unless otherwise indicated.

REVISED: 7-7-87
 (Title Block)

11/11

I hereby certify that I have carefully
 examined the plans and specifications
 and find them to be in accordance with
 the requirements of the laws of
 the State of Maryland.

[Signature]
 MESSOR COOK, JR.
 Registered Professional Land Surveyor
 No. 1044

LIGHT ELLIOTT & ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS
 8006 ADELPHI ROAD
 ADELPHI, MARYLAND 20783
 422-6080

Book 1162-20
 Job no. R 2764
 Des. by YENT

CL. by Case no. 21876
 S.F.P.G.D.

HOUSE LOCATION SURVEY
 15 MONTGOMERY AVENUE
 Lot 8 Block 17 Section -
 OF GILBERTS
 ADDITION TO
 TAKOMA PARK

COLEVILLE
 MONTGOMERY

Election District
 County, Md.

Plot Book A
 Plot 2

File no. 111220



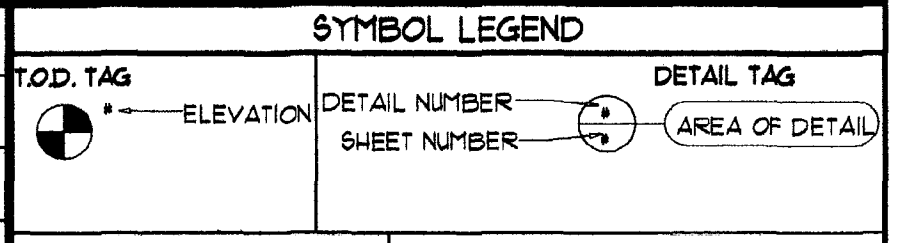
WCI, INC.
d.b.a. Archadeck of Montgomery County

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DESIGN LOAD CRITERIA			
DECK LOADS	P.S.F.	FLOOR LOADS	P.S.F.
LIVE LOAD	40	LIVE LOAD (LIVING) (SLEEPING)	40 30
DEAD LOAD	8	DEAD LOAD	10
LIVE LOAD DEFLECTION	L/240	LIVE LOAD DEFLECTION	L/360

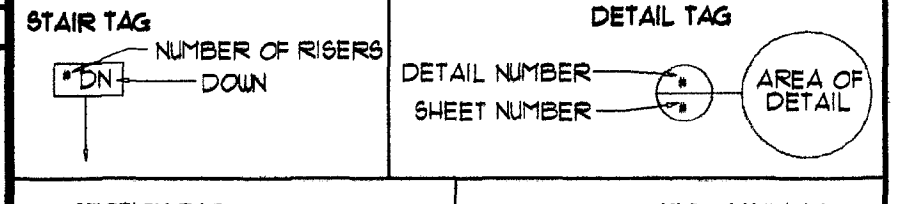
MEYER / 042995
15 MONTGOMERY AVE.
TAKOMA PARK, MD 20912



ROOF LOADS	P.S.F.	OTHER
CALCULATED TOTAL LOAD	40	PRESUMPTIVE SAFE SOIL BEARING CAPACITY IS 2000 PSF.
LIVE LOAD DEFLECTION	L/240	68 PSF. DECK FRAMING TOTAL DESIGN LOAD

ABBREVIATIONS:

*B	- BEAM	INT.	- INTERIOR
*BB	- BAND BOARD	IN.	- INCH
*C	- RAIL CAP LENGTH	JST.	- JOIST
*DB	- DOUBLE BAND	KB.	- KING BEAM
*DJ	- DOUBLE JOIST	LB.	- POUNDS
*DR	- DOUBLE RAFTER	LL.	- LIVE LOAD
*F	- FENCE CAP LENGTH	L.V.L.	- LAMINATED VENEER LUMBER
*HB	- HOUSE BAND	MAX.	- MAXIMUM
*HBE	- HOUSE BAND EXTENSION	MIN.	- MINIMUM
*RB	- RIDGE BEAM	N.T.S.	- NOT TO SCALE
*RF	- ROOF FLATE	O.C.	- ON CENTER
*TB	- TRIPLE BAND	OPT.	- OPTIONAL
*TJ	- TRIPLE JOIST	O.S.B.	- ORIENTED STRAND BOARD
ALT.	- ALTERNATE	P.L.	- POINT LOAD
ALUMN.	- ALUMINUM	P.L.F.	- POUNDS PER LINEAR FOOT
APPROX.	- APPROXIMATE	P.S.F.	- POUNDS PER SQUARE FOOT
BD.	- BOARD	P.S.I.	- POUNDS PER SQUARE INCH
C/L	- CENTER LINE	P.S.L.	- PARALLEL STRAND LUMBER
CJ	- CEILING JOIST	P.T.	- PRESSURE TREATED
CLG.	- CEILING	P.T.T.	- POUR TO TOP
CMU.	- CONCRETE MASONRY UNIT	P.V.C.	- POLY VINYL CHLORIDE
CONC.	- CONCRETE	RB.	- RIDGE BEAM
CONT.	- CONTINUOUS	RBA.	- RIDGE BAND
DBL.	- DOUBLE	RBD.	- RIDGE BOARD
DIA.	- DIAMETER	REQD.	- REQUIRED
DIM.	- DIMENSION	RO.	- ROUGH OPENING
D.L.	- DEAD LOAD	RSW	- RIDGE SUPPORT WALL
DN.	- DOWN	STRUCT.	- STRUCTURAL
DTL.	- DETAIL	SF.	- SQUARE FOOT/FEET
ELEC.	- ELECTRICAL	SQ.	- SQUARE
ELEV.	- ELEVATION (SEE T.O.D.)	T&G	- TONGUE & GROOVE
EQ.	- EQUAL	TL.	- TOTAL LOAD
EXT.	- EXTERIOR	T.O.D.	- TOP OF DECK
FIN.	- FINISH	TYP.	- TYPICAL
FLR.	- FLOOR	UNFIN.	- UNFINISHED
FND.	- FOUNDATION	UN.O.	- UNLESS NOTED OTHERWISE
FT.	- FOOT/FEET	W/	- WITH
F.V.	- FOUNDATION VENT	W/O	- WITHOUT
GLU.	- GLUELAM		
HDR.	- HEADER		



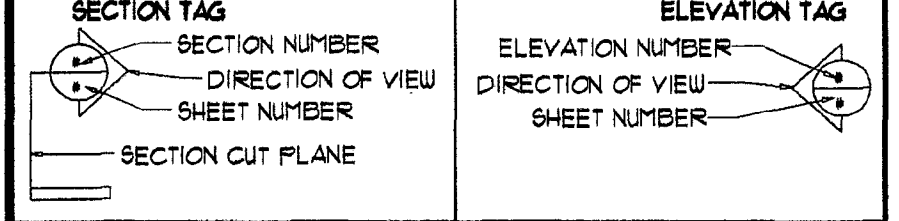
NOTES:

DESIGN CRITERIA:

- THIS PROJECT HAS BEEN DESIGNED FOLLOWING THE REGULATIONS OF THE 2003 IRC (INTERNATIONAL RESIDENTIAL CODE).
- ALL WORK TO MEET LOCAL, STATE AND APPLICABLE RULES AND REGULATIONS.
- ALL IN-GRADE DESIGN VALUES BASED ON AF&PA.
- PROVIDE JOIST HANGERS @ ALL FLUSH FRAME CONDITIONS. 1000* MINIMUM CAPACITY
- FROST LINE 24"
- ALL TABLES ARE FROM MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES (M.C.D.P.S.)
- ALL CONNECTIONS TO EXISTING STRUCTURE FLASHED PER LOCAL CODE

LUMBER:
ALL FRAMING LUMBER TO BE #2 S.Y.P. OR BETTER, TREATED FOR EXTERIOR USE, PER LOCAL CODE U.N.O.

CONCRETE:
MINIMUM 28 DAY COMPRESSIVE STRENGTH = 2500 PSI.



- RAIL POST
- FENCE POST
- ROOF POST/ PERGOLA POST
- STUD LOCATION
- X - X BRACING
- PARTING BOARD LOCATION AND CENTER LINE
- EXTENTS

SHEET INDEX

DK-#	- DECK SHEETS
PR-#	- PORCH SHEETS
RM-#	- ROOM SHEETS
EV-#	- ELEVATION SHEETS
IS-#	- ISOMETRIC SHEETS
SD-#	- SECTION AND DETAIL SHEETS
SP-#	- SPECIFICATIONS AND FINISHES

CONTACT

FOR ANY QUESTIONS OR CONCERNS PLEASE CONTACT:
WCI, INC.
8302 Brink Road, Laytonsville, MD 20882
PHONE: (301) 926-3001

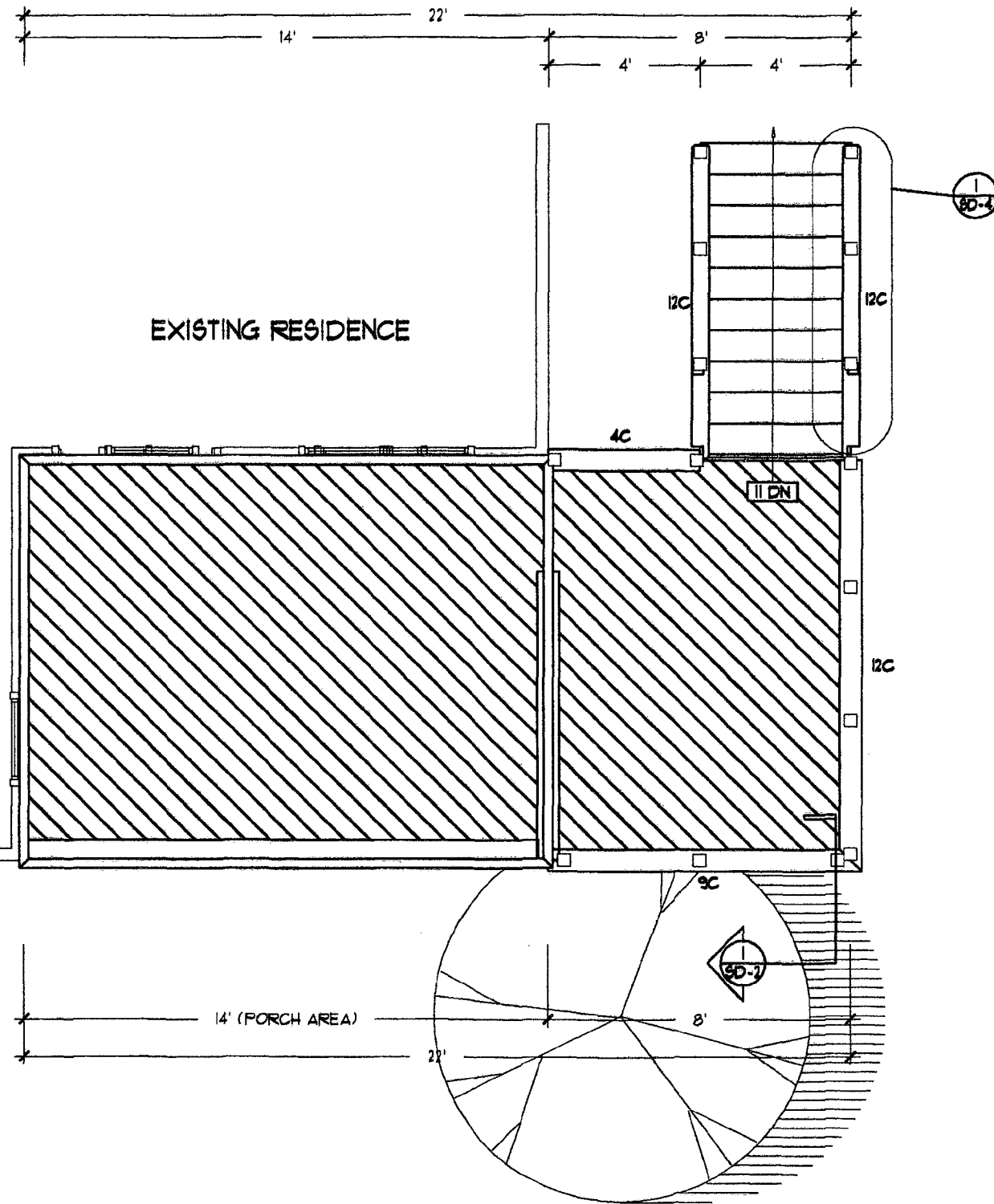
ENGINEER OF RECORD
(AS APPLICABLE)

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
04-27-06

DRAWINGS PREPARED BY:
U. S. STRUCTURES, INC.
CONSTRUCTION & DRAFTING 2112 W. LABURNUM AVE. SUITE 100 RICHMOND, VA 23221
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w/notes inside on PR-1 and SD-1

All dimensions are approximate. In the event of a difference between the drawn and written dimensions, the written dimension shall prevail. Due to local differences in building codes and regulations, and specific site conditions, these drawings may need to be modified by the builder to comply with such local codes and regulations, or site conditions.



EXISTING RESIDENCE

14' (PORCH AREA)

22'

12C

12C

4C

11 DN

12C

10'-9"

9C

8'

11'-9"

1
SD-4

1
SD-7



FLOOR PLAN
SCALE 1/4" = 1'

FINISH SCHEDULE - DECK		TOTALS
DECKING	1PE 1 X 6 SCREW FASTENED	231 SF
TRIM	1PE 1 X 6 PLUS RIPPED PIECE	42 LF
RAILING	STANDARD P.T. RAIL 36" HIGH W/ 1 X 6 1PE RAIL CAP, GRAB RAIL & STAIR	49 LF
PICKETS	P.T. 2 X 2	98
STAIRS	1PE STAIR W/ 1 X 6 TREADS, RIPPED 1 X 6 RIGERS & STRINGERS @ 16" O.C.	

SHEET

DK-1

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OF
MONTGOMERY COUNTY

SHEET DESCRIPTION

FLOOR PLAN

Date: 04/04/06

MEYER / 042995

15 MONTGOMERY AVE.

TAKOMA PARK, MD 20912

DRAWN BY: NBS ext. 410

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Richmond, VA 23221
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SHEET

DK-2

archaded
OF
MONTGOMERY COUNTY

SHEET DESCRIPTION

FLOOR FRAMING

Date: 04/04/06

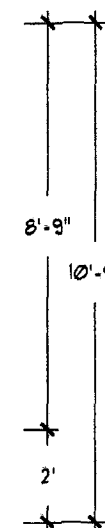
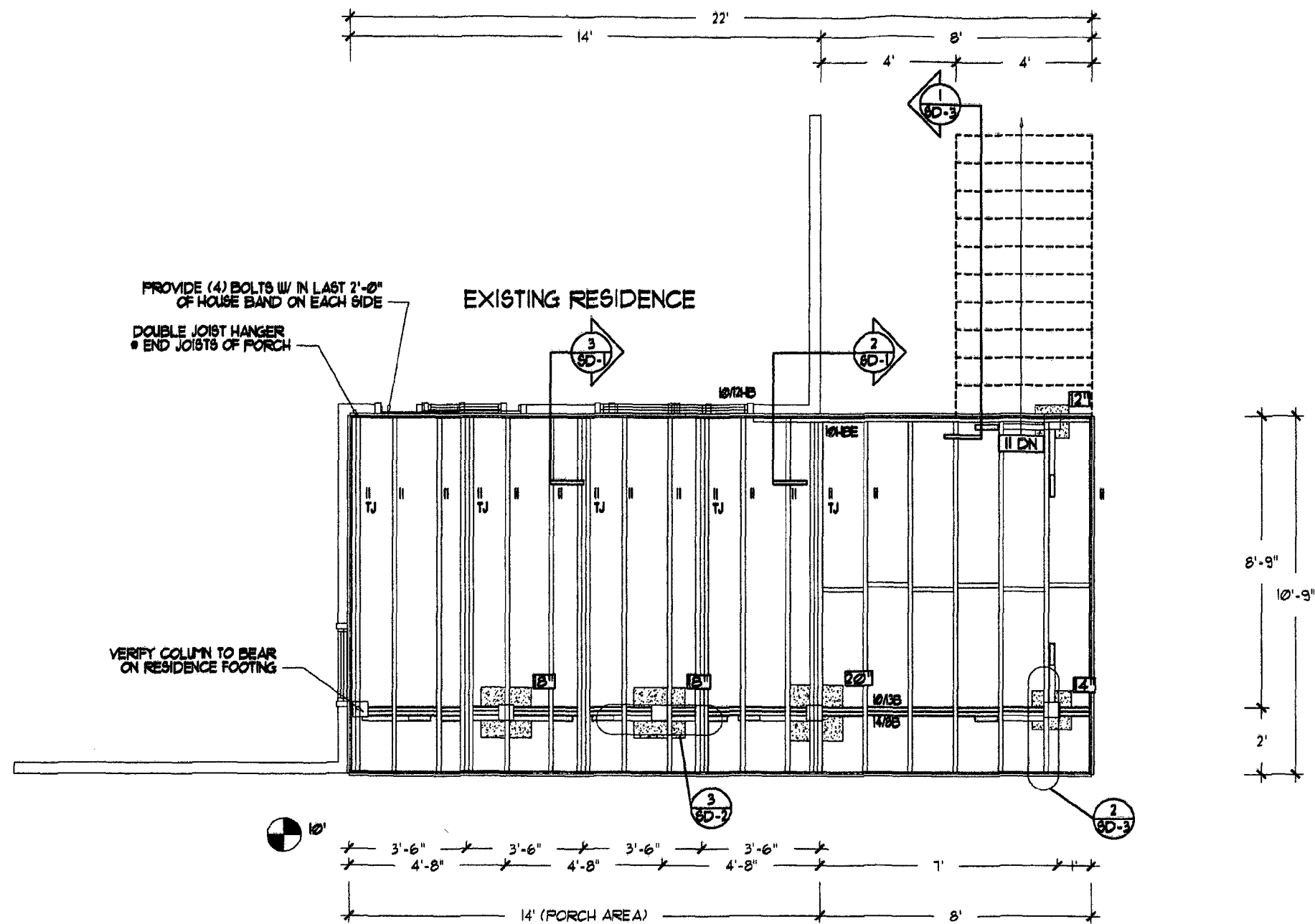
MEYER / 042995

15 MONTGOMERY AVE.

TAKOMA PARK, MD 20912

DRAWN BY: NBS ext. 410

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Richmond, VA 23221
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M.C.D.P.S. TABLE - 2
LAG SCREWS INSTALLED IN SINGLE BAND

NUMBER IN A ROW	SIZE	LENGTH IN.	MAX. SPACING S - IN.	MAX. JOIST SPAN - FEET
1	1/2"	AS REQUIRED	12	8
			9	10
			7	12
			6	14
			5	16
			5	18
			5	18
			4	20

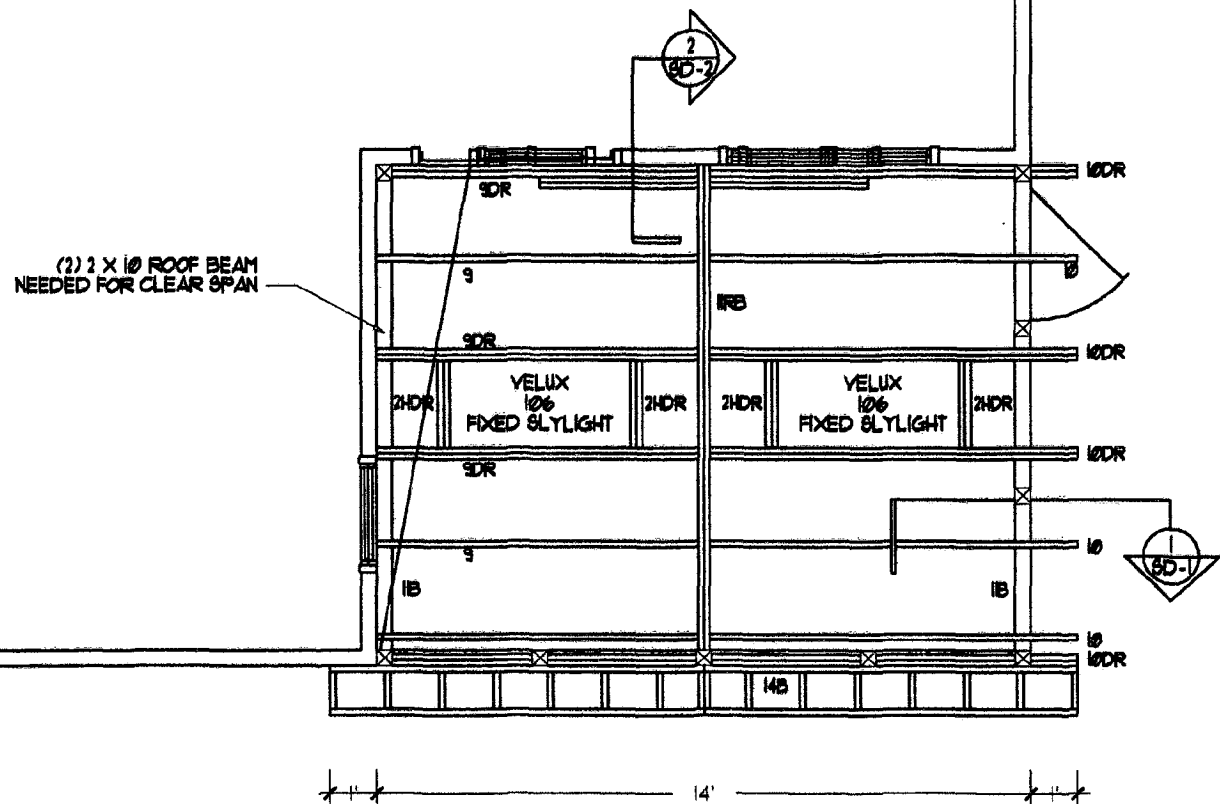
M.C.D.P.S. TABLE - 3
THROUGH - BOLTS INSTALLED IN SINGLE BAND JOIST,
MASONRY OR CONCRETE FOUNDATION WALL

NUMBER IN A ROW	SIZE	LENGTH IN.	MAX. SPACING S - IN.	MAX. JOIST SPAN - FEET
1	1/2"	AS REQUIRED	14	8
			13	10
			11	12
			9	14
			8	16
			8	18
			8	18
			7	20

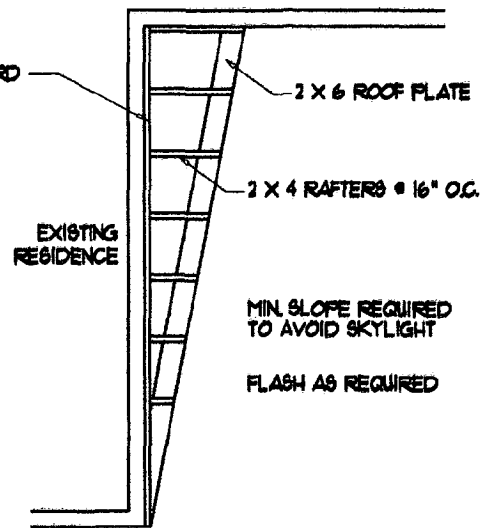
DECK SPECIFICATIONS	
1	8" THICK CAST IN PLACE FOOTING SIZE NOTED ON STRUCTURE PLAN, LOCATIONS AS SHOWN
2	2 X 8 HOUSE BAND EXTENSION
3	2 X 8 JOISTS @ 16" O.C.
4	2 X 8 BLOCKING CENTERED IN SPAN
5	2 X 8 DOUBLE EDGE BAND
6	2 X 8 HOUSE BAND W/ JOIST HANGERS
7	6 X 6 COLUMNS (TYP.)
8	BRACING AS SHOWN

FLOOR FRAMING
SCALE 1/4" = 1'

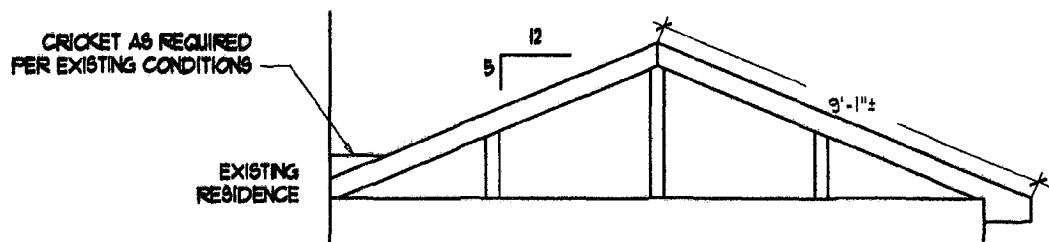
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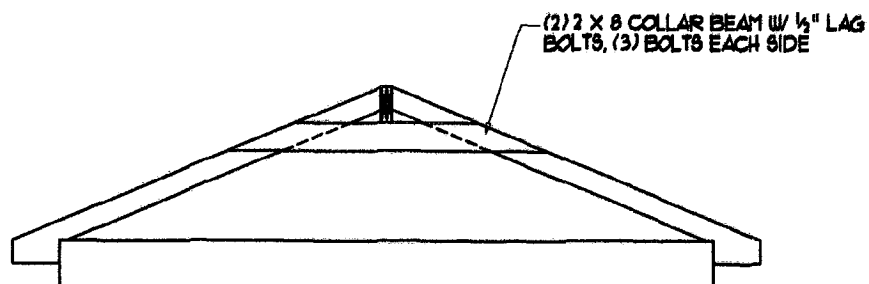
ROOF FRAMING
SCALE 1/4" = 1'



CRICKET FRAMING
SCALE 1/4" = 1'



GABLE END
SCALE 1/4" = 1'



GABLE SIDEWALL
SCALE 1/4" = 1'

ROOF SPECIFICATIONS	
1	5:12 GABLE ROOF W/ SIDE WALL CONNECTION
2	(2) 2 X 10 RIDGE BEAM
3	2 X 6 RAFTERS @ 24" O.C., PLYWOOD CLIPS @ SHEATHING
4	CATHEDRAL CEILING W/ ENCLOSED RAFTERS W/ VELUX 106 SKYLIGHTS & T1-11 CEILING FINISH
5	1 X 6 VINYL FASCIA W/ 12" OVERHANG
6	T1-11 ENCLOSED SOFFIT
7	8'-0" FROM TOD TO BOTTOM OF EXISTING SOFFIT
8	(2) 2 X 10 ROOF BEAMS W/ 2 X 4 TOP & BOTTOM PLATES, UNLESS NOTED

wood fascia per HPC approval

9	2 X 4 FLY RAFTERS & 2 X 4 LOOKOUTS
10	CRICKET FRAMING AS SHOWN, VERIFY PER EXISTING CONDITIONS
11	(2) 2 X 8 COLLAR BEAM W/ (2) 1/2" LAG BOLTS EACH SIDE
12	OPEN GABLE END W/ SCREEN
13	4 X 4 ROOF POSTS
14	STANDARD RAIL W/ SCREEN EZE SYSTEM & 1 X 4 VINYL TRIM AND 1 X 6 IPE CAP (VERIFY)
15	(1) 36" X 80" VINYL DOOR W/ (2) 2 X 4 @ HINGE SIDE & (2) 2 X 6 HEADER, VERIFY DIRECTION OF DOOR SWING

wood trim per HPC approval door

SHEET

PR-1

archaded
OF
MONTGOMERY COUNTY

SHEET DESCRIPTION

ROOF FRAMING

Date: 04/04/06

MEYER / 042995

15 MONTGOMERY AVE.

TAKOMA PARK, MD 20912

DRAWN BY: NBS ext. 410

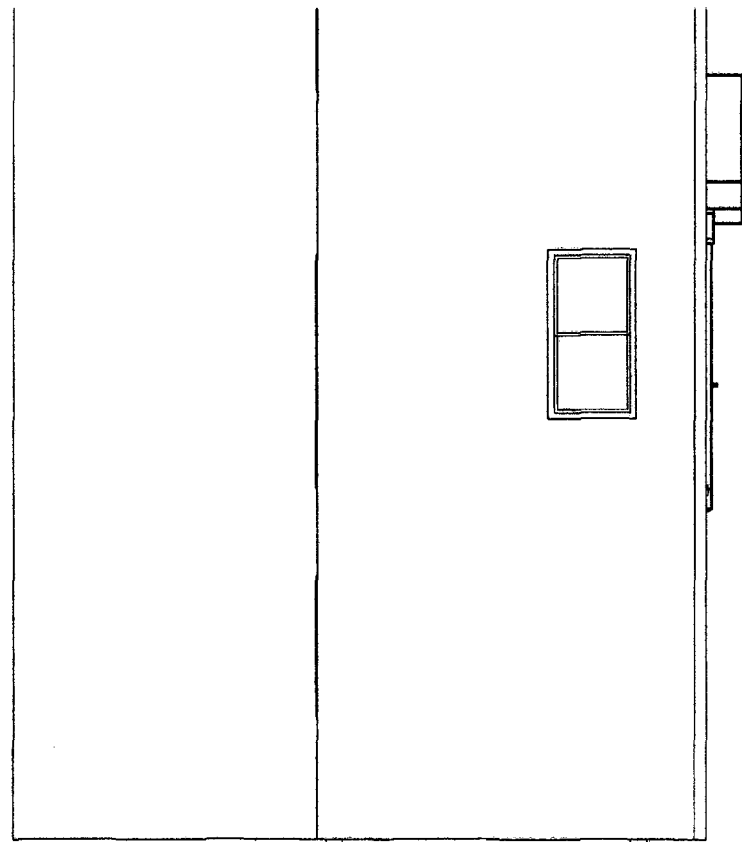
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wood trim per HPC approval

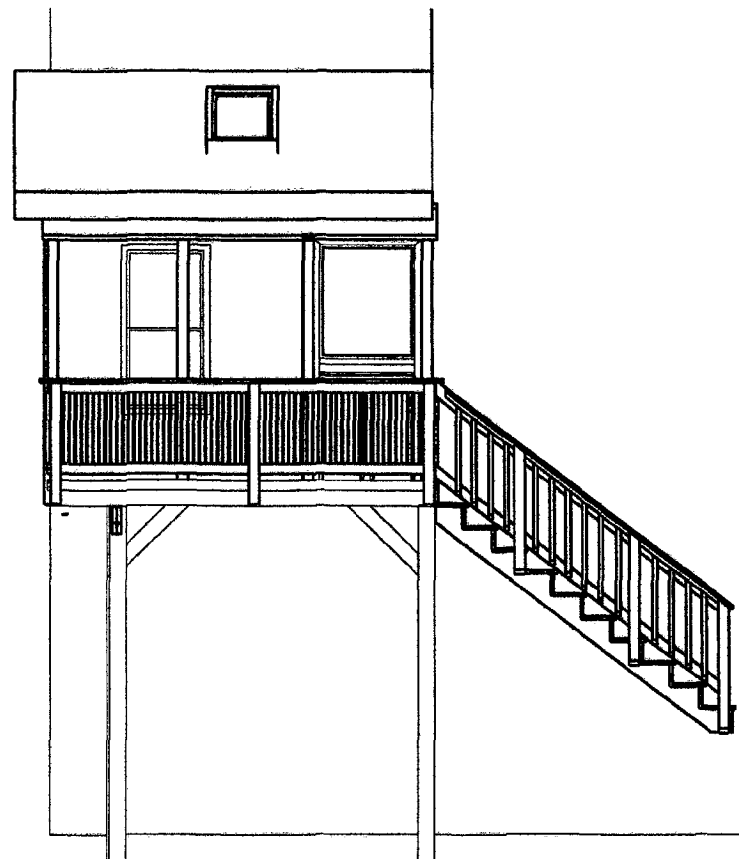
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A FRONT ELEVATION
EV-1 SCALE 3/16" = 1'



B LEFT SIDE ELEVATION
EV-1 SCALE 3/16" = 1'



C RIGHT SIDE ELEVATION
EV-1 SCALE 3/16" = 1'

SHEET

EV-1

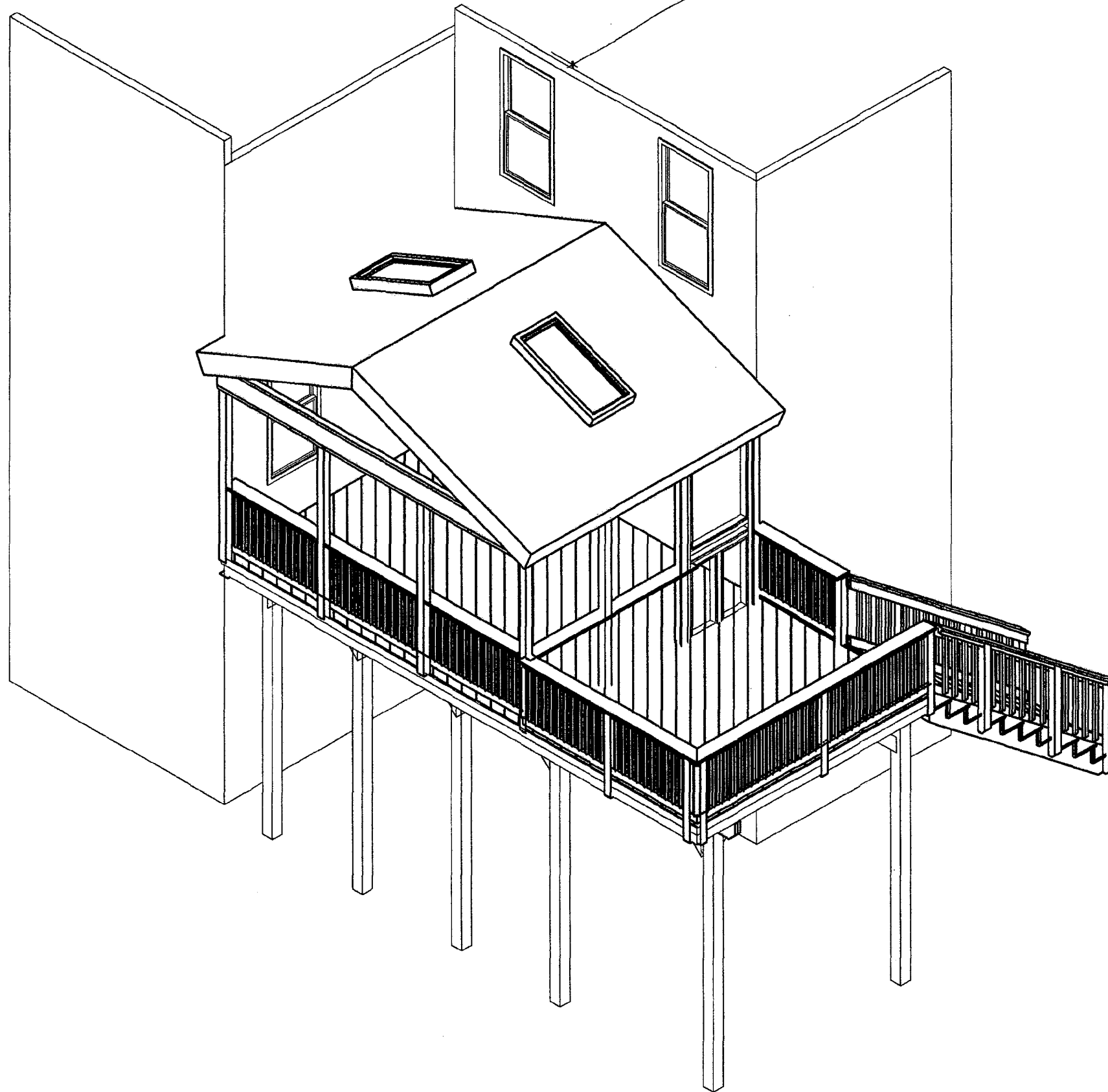
archadeck[®]
OF
MONTGOMERY COUNTY

SHEET DESCRIPTION
CUSTOM ELEVATIONS

Date: 04/04/06
MEYER / 042995
15 MONTGOMERY AVE.
TAKOMA PARK, MD 20912
DRAWN BY: NBS ext. 410

Prepared by U.S. Structures, Inc.
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CUSTOM ISOMETRIC
SCALE 1/4" = 1'

SHEET

13-1

archadeck[®]
OF
MONTGOMERY COUNTY

SHEET DESCRIPTION

CUSTOM ISOMETRIC

Date: 04/04/06

MEYER / 042995

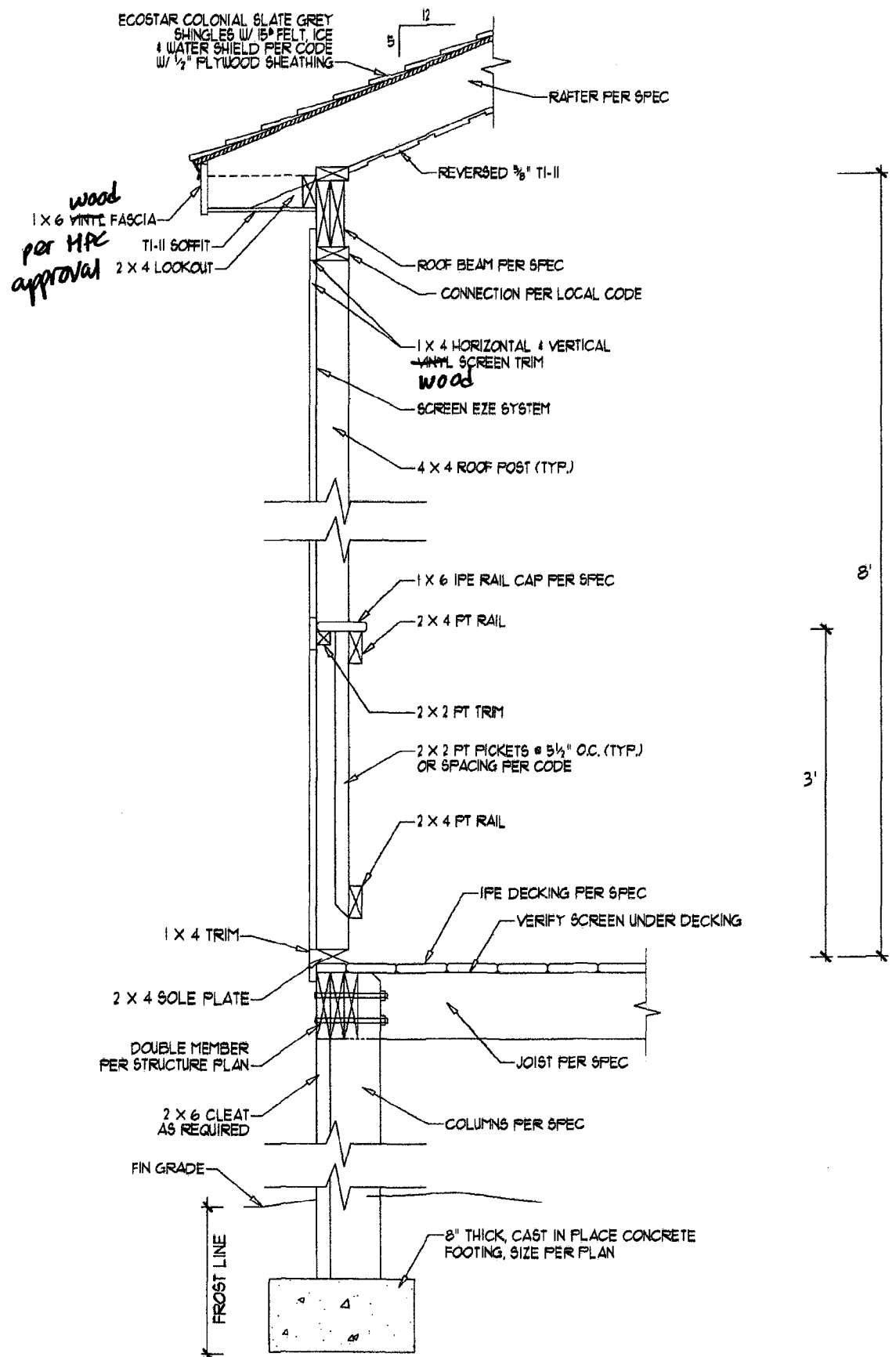
15 MONTGOMERY AVE.

TAKOMA PARK, MD 20912

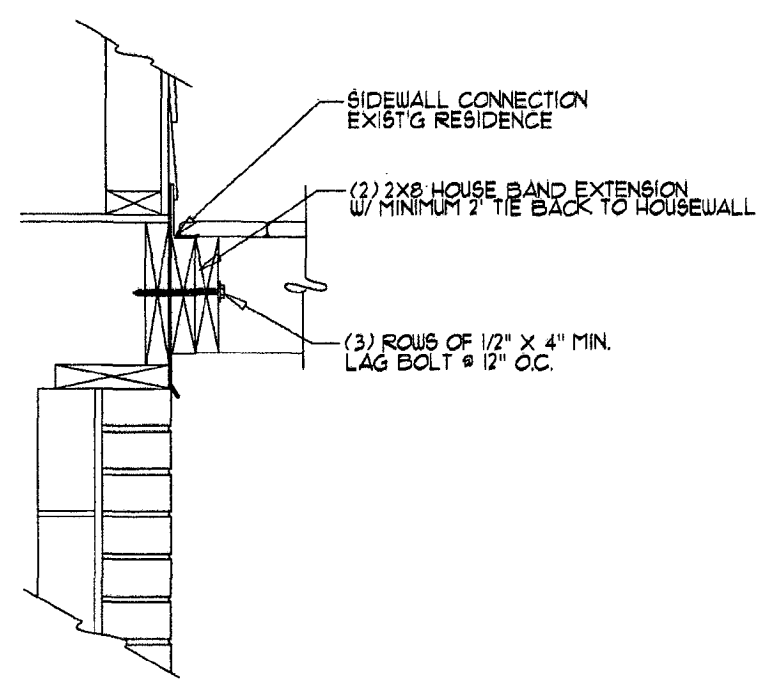
DRAWN BY: NBS ext. 410

Prepared by U.S. Structures, Inc.
2112 W. Laburnum Ave Suite #200
Richmond, VA 23221
Construction & Drafting
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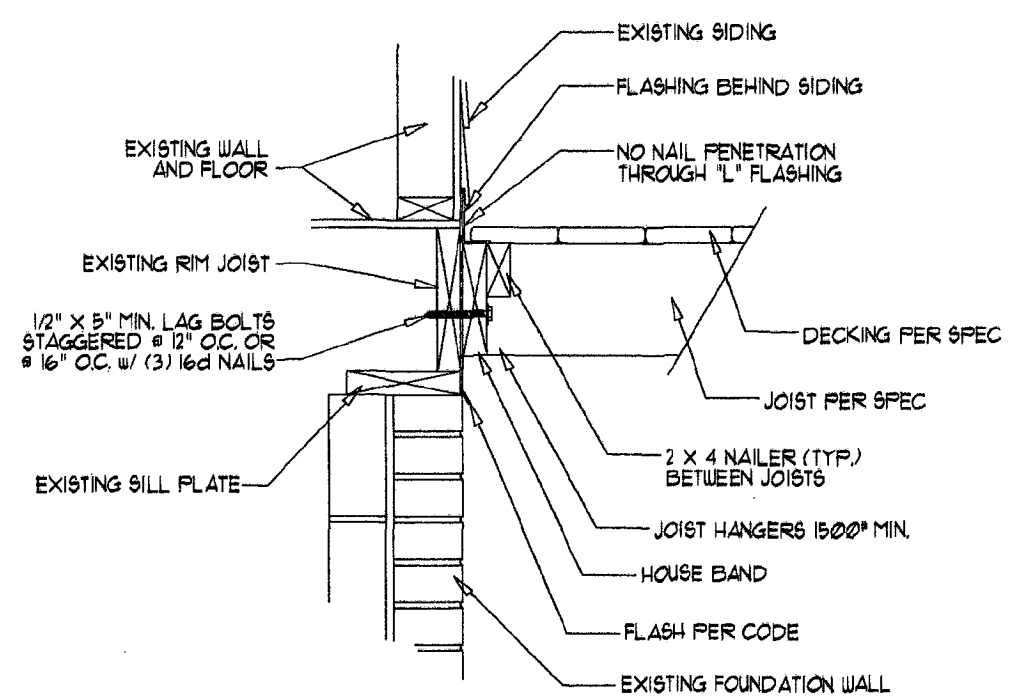
All dimensions are approximate. In the event of a difference between the drawn and written dimensions, the written dimension shall prevail. Due to local differences in building codes and regulations, and specific site conditions, these drawings may need to be modified by the builder to comply with such local codes and regulations, or site conditions.



1 SECTION - WALL
SD-1 SCALE 3/4" = 1'



2 SECTION - HOUSE BAND EXTENSION
SD-1 SCALE 1" = 1'



3 SECTION - HOUSE BAND CONNECTION
SD-1 SCALE 1" = 1'

SHEET
SD-1

archadeck
OF
MONTGOMERY COUNTY

SHEET DESCRIPTION
SECTIONS & DETAILS

Date: 04/04/06
MEYER / 042995
15 MONTGOMERY AVE.
TAKOMA PARK, MD 20912
DRAWN BY: NBS ext. 410

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SHEET

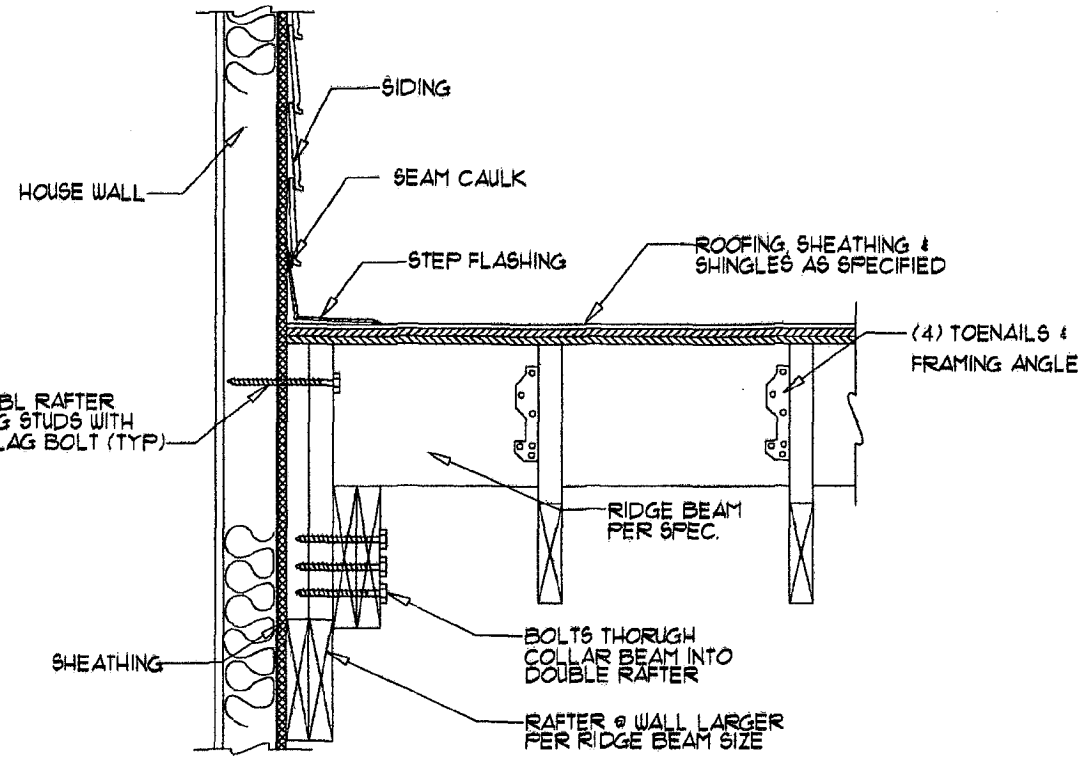
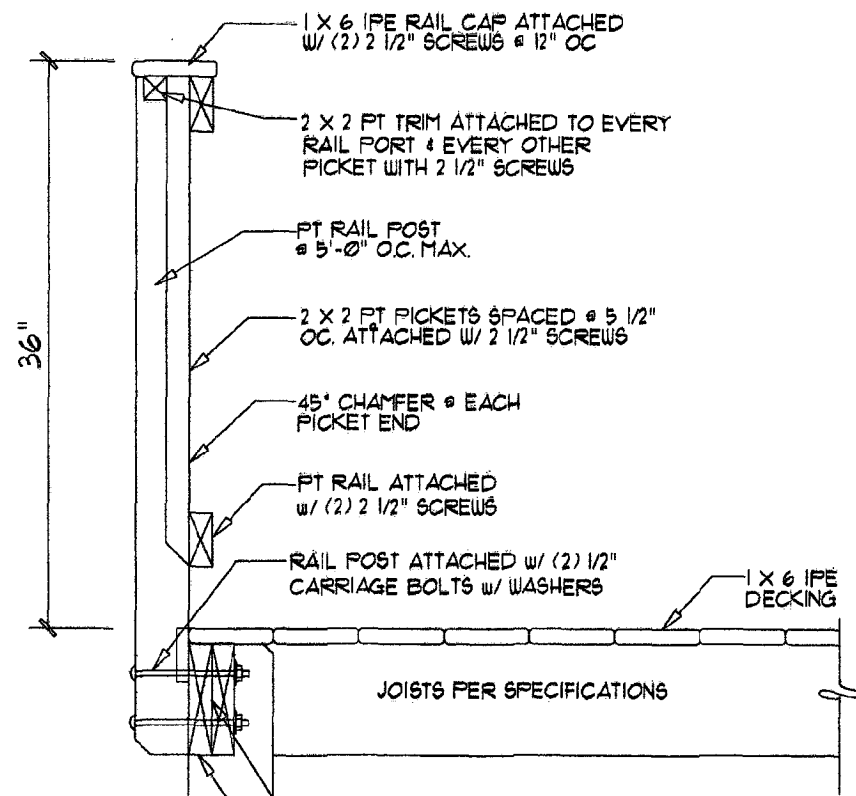
SD-2

archadeck
OF
MONTGOMERY COUNTY

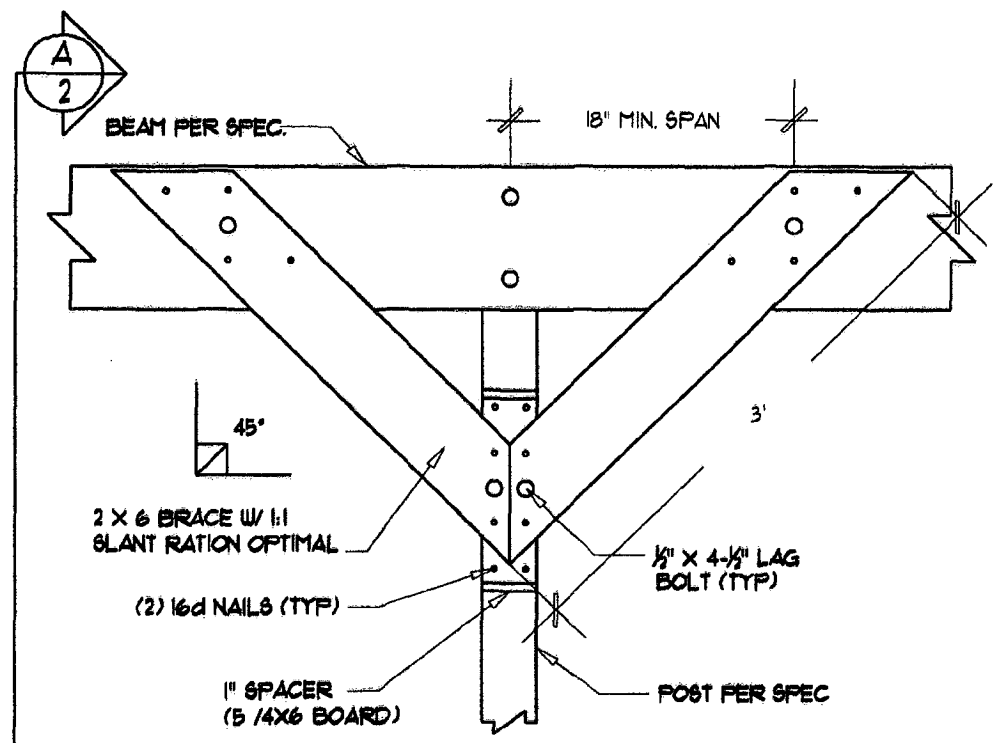
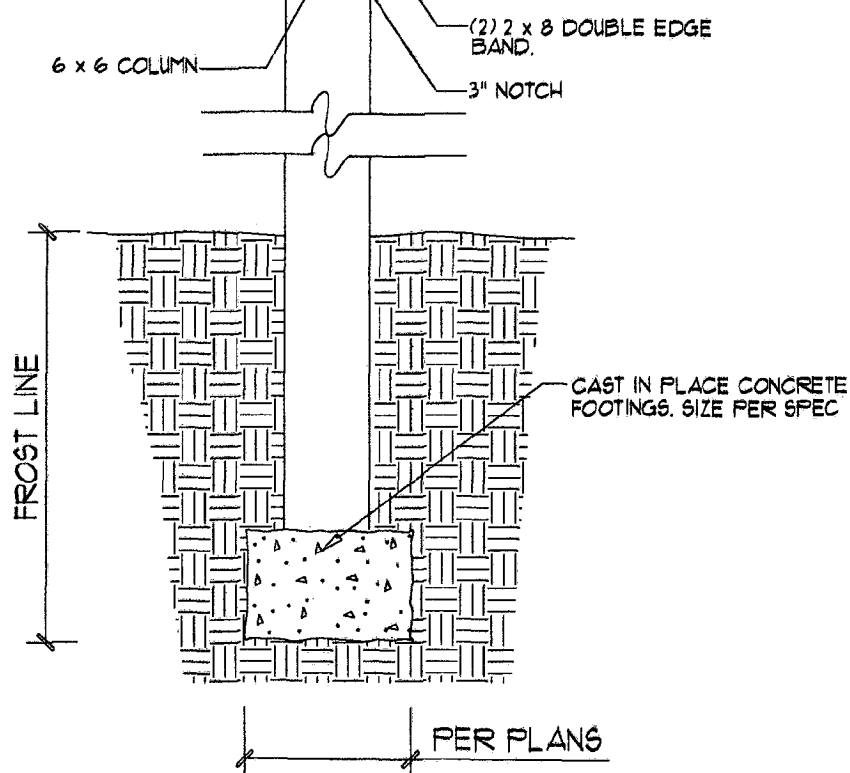
SHEET DESCRIPTION
SECTIONS & DETAILS

Date: 04/04/06
MEYER / 042995
15 MONTGOMERY AVE.
TAKOMA PARK, MD 20912
DRAWN BY: NBS ext. 410

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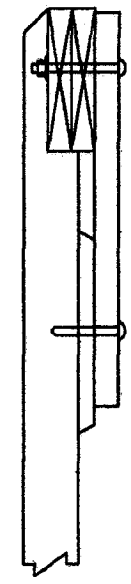
2 DETAIL - SIDEWALL CONNECTION
SD-2 SCALE 1" = 1'



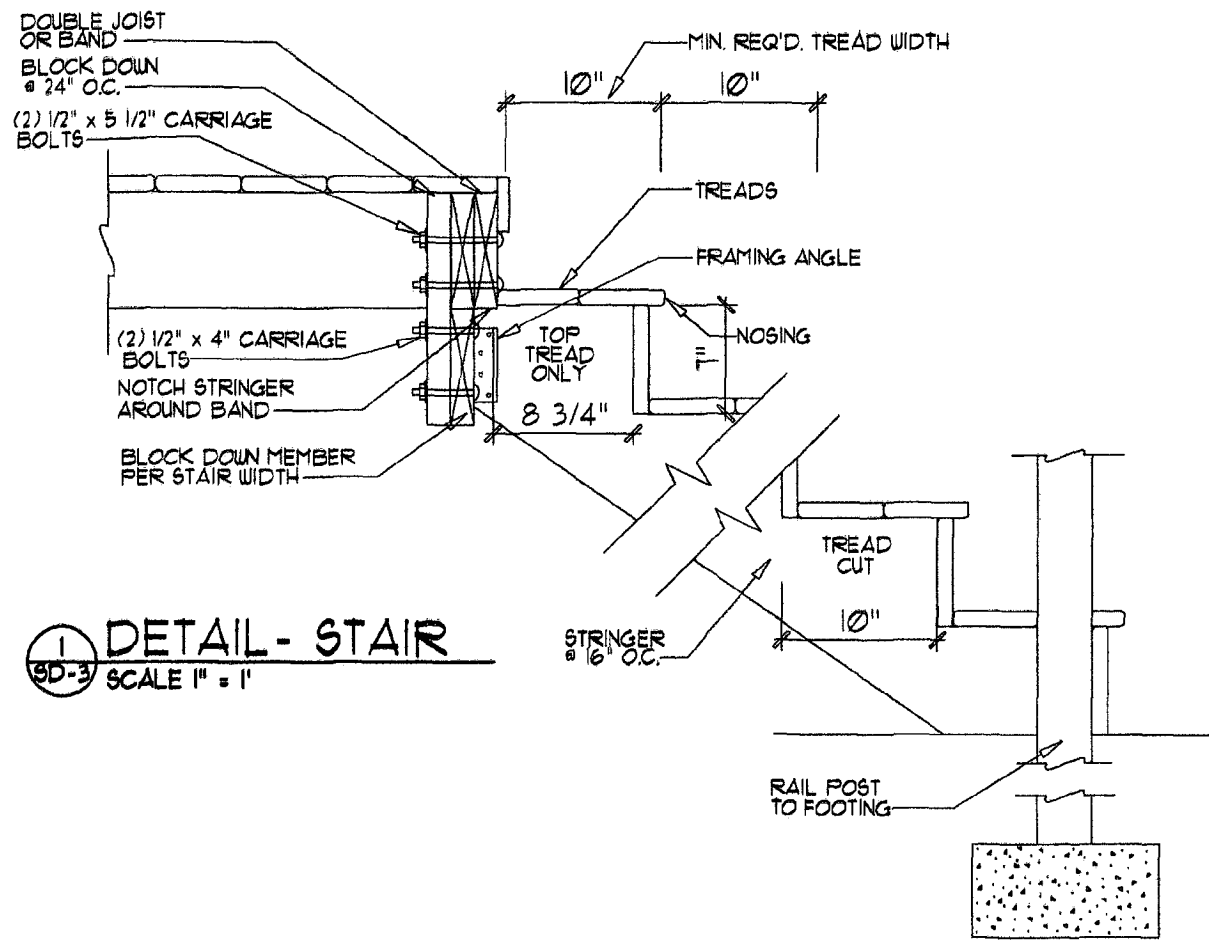
3 DETAIL - Y-BRACING
SD-2 SCALE 1" = 1'

1 DECK SECTION
SD-2 SCALE 1" = 1'

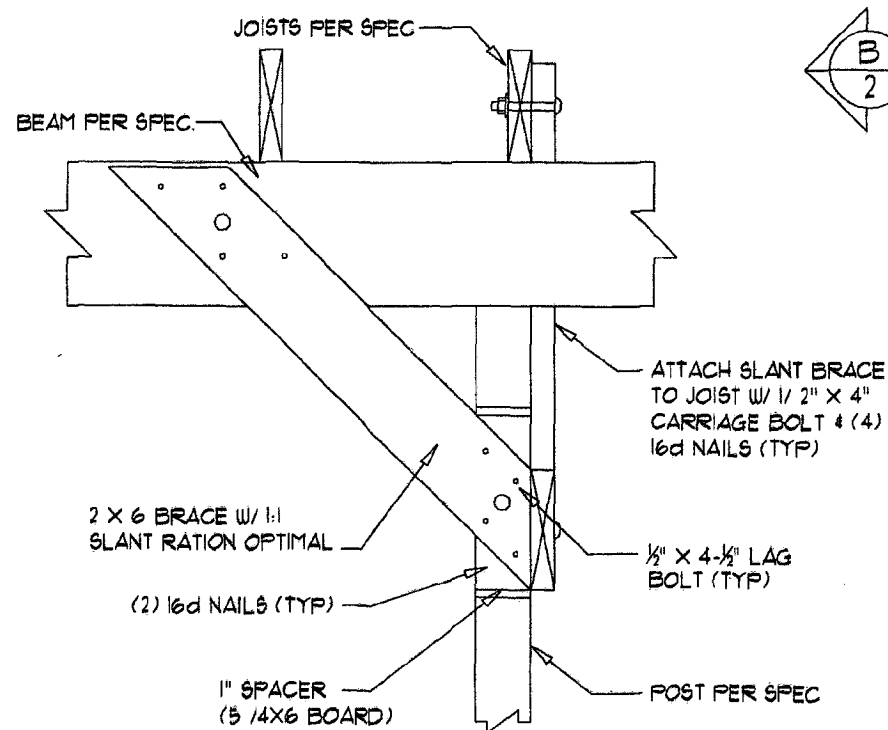
A
2



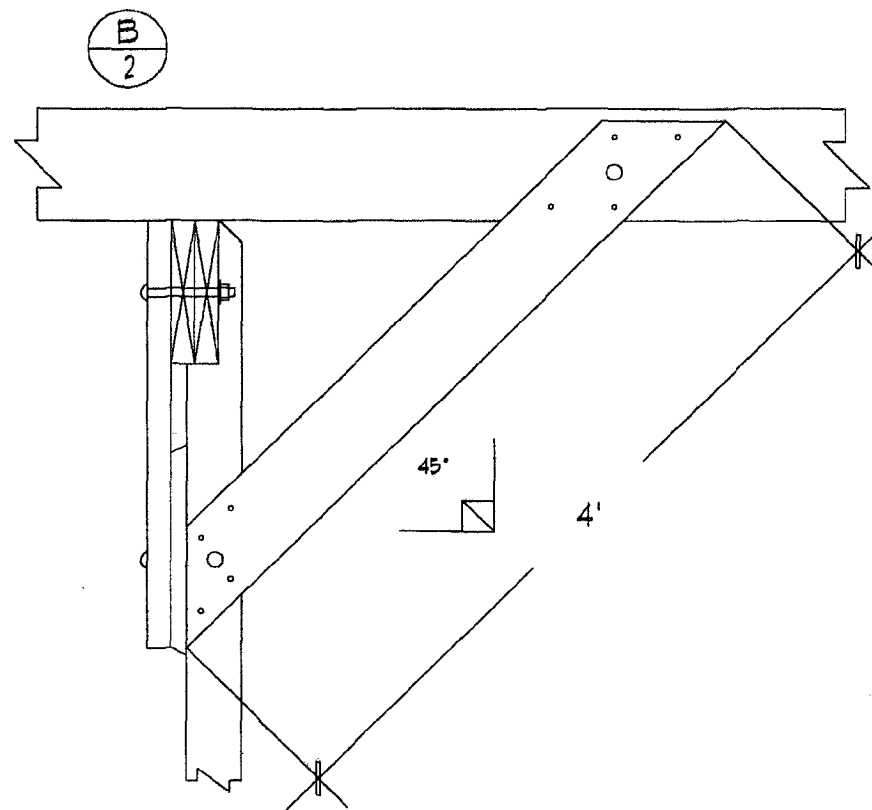
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1 **DETAIL - STAIR**
SD-3 SCALE 1" = 1'



2 **DETAIL - SLANT BRACING**
SD-3 SCALE 1" = 1'



SHEET

SD-3

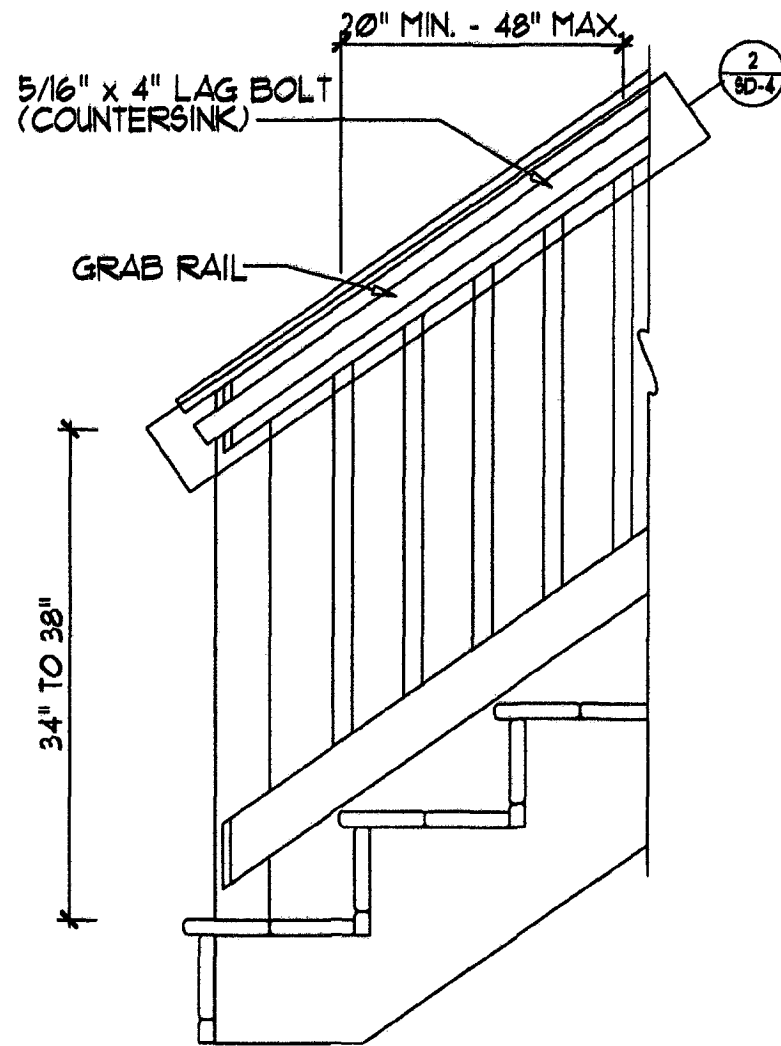
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OF
MONTGOMERY COUNTY

SHEET DESCRIPTION
SECTIONS & DETAILS

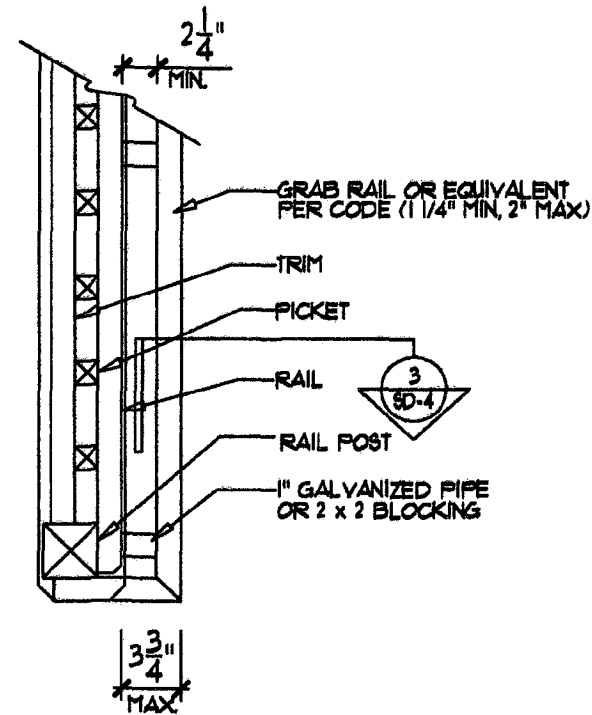
Date: 04/04/06
MEYER / 042995
15 MONTGOMERY AVE.
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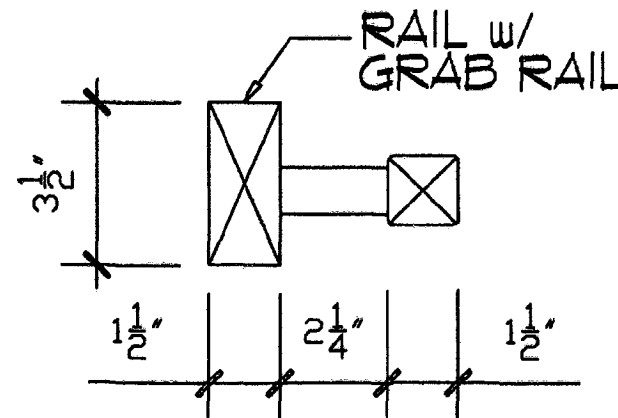
All dimensions are approximate. In the event of a difference between the drawn and written dimensions, the written dimension shall prevail. Due to local differences in building codes and regulations, and specific site conditions, these drawings may need to be modified by the builder to comply with such local codes and regulations, or site conditions.



1
SD-4
SCALE 1" = 1'



2
SD-4
SCALE 1" = 1'



3
SD-4
SCALE 1" = 1'

SHEET

SD-4

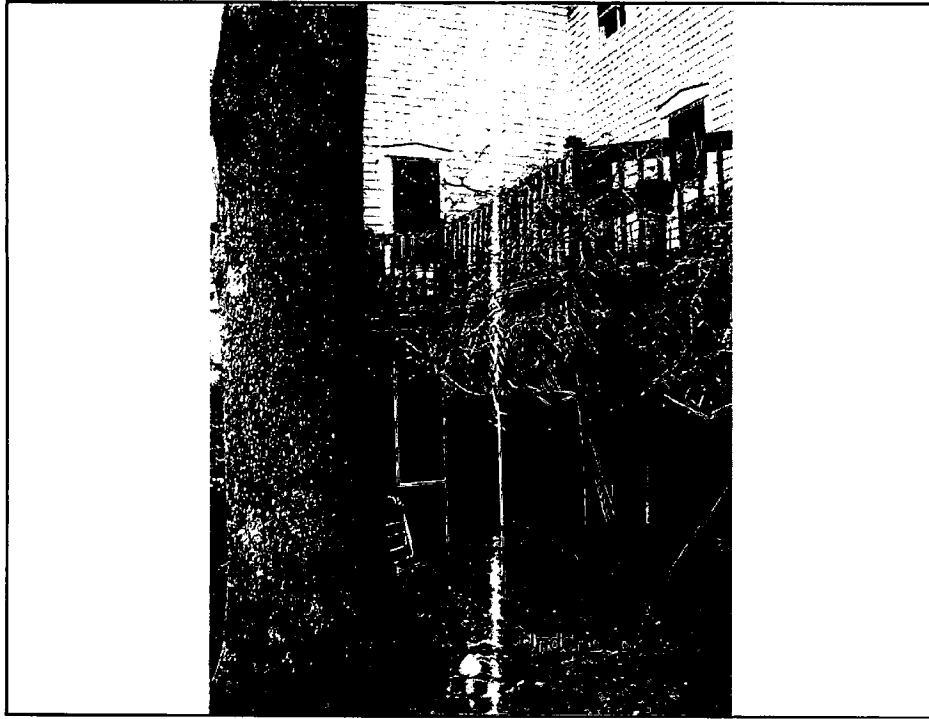
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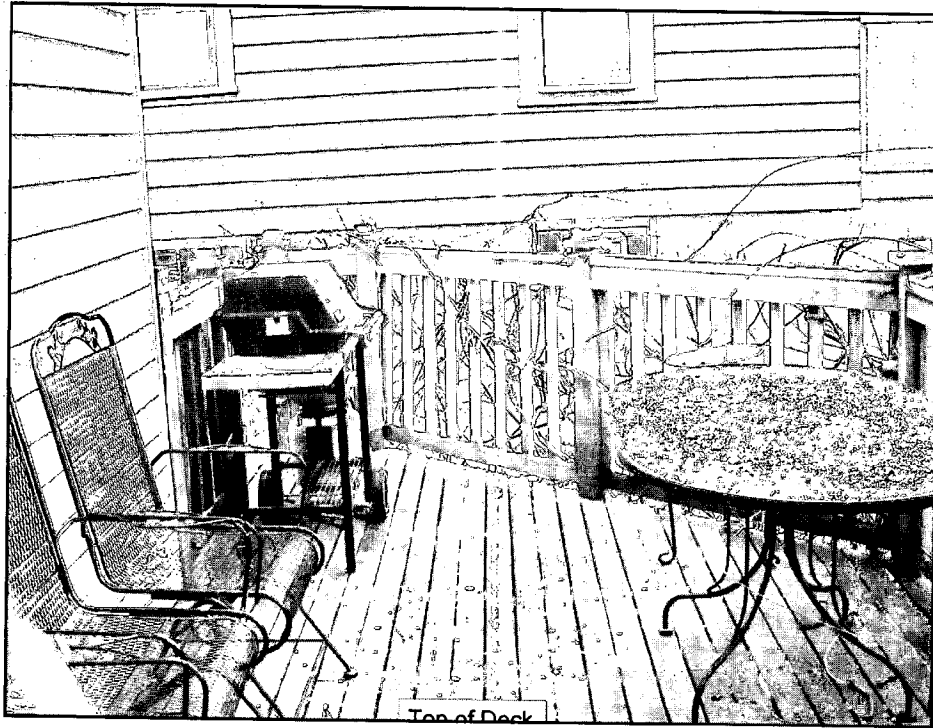
SHEET DESCRIPTION
SECTIONS & DETAILS

Date: 04/04/06
MEYER / 042995
B MONTGOMERY AVE.
TAKOMA PARK, MD 20912
DRAWN BY: NBS ext. 410

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HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	15 Montgomery Ave, Takoma Park	Meeting Date:	4/26/2006
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	4/19/2006
Applicant:	Alden and Constance Meyer	Public Notice:	4/12/2006
Review:	HAWP	Tax Credit:	None
Case Number:	37/03-06Q	Staff:	Anne Fothergill

PROPOSAL: Deck replacement and screened porch construction

RECOMMENDATION: Approve with two conditions

STAFF RECOMMENDATION

Staff is recommending that the HPC approve this HAWP application with the following conditions:

1. The tree protection permit must be approved by the City of Takoma Park and tree protection measures will be in place prior to construction.
2. The screen door and the exterior trim will be wood.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Vernacular
DATE: c. 1880-1890

PROPOSAL

The applicants are proposing to remove the existing rear deck and replace it with a screened porch in the location of the existing deck and a new Ipe deck extending off the porch. The screened porch is 14' x 10.9' and the deck is 8' x 10.9' with stairs to grade. The design for the screened porch and deck shows two skylights, an inset picket wood railing, wood steps to grade, a vinyl screen door, PVC exterior trim, and a synthetic slate roof.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District

According to the *Takoma Park Guidelines*, Contributing Resources in the Takoma Park Historic District are subject to a more lenient level of design review as “they are more important to the overall character of the district and the streetscape due to their size, scale, and architectural character, rather than for their particular architectural features.”

The *Guidelines* state that the following factors are to be considered in reviewing Contributing Resources:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required.
- Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible from the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition.
- Alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course.
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior’s Standards for Rehabilitation:

#9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

According to the *Takoma Park Guidelines*, Contributing Resources in the Takoma Park Historic District are subject to a more lenient level of design review as “they are more important to the overall character of the district and the streetscape due to their size, scale, and architectural character, rather than for their particular architectural features”....and that...“all changes and additions should respect existing environmental settings, landscaping, and patterns of open space.”

The applicants are proposing alterations that are entirely at the rear of the house. The proposed screened porch and deck are compatible with this resource and their location and design will not adversely affect this house or the streetscape. Staff supports this proposal and the only recommendations staff has included are for tree protection, and the applicants have already begun to work with the City arborist on this, and for a change in materials from vinyl and PVC products to wood. While the *Guidelines* do allow for case-by-case consideration of synthetic materials, the HPC generally approves only wood for trim and doors on Contributing Resources, even at the rear of the house.

Staff is recommending approval with two conditions.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application **with the conditions listed on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
288 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-9370

DPS - #8

A

4/16/16

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: CONNIE MEYER

Daytime Phone No.: 301-270-6768 240-354-4771 (cell)

Tax Account No.: 13-25-01067465

Name of Property Owner: ALOEN + CONSTANCE MEYER Daytime Phone No.: 301-270-6768

Address: 15 MONTGOMERY AVENUE, TAKOMA PARK, MD 20912
Street Number City Street Zip Code

Contractor: WCF, INC. DBA ARCHADECK Phone No.: 301-926-3001

Contractor Registration No.: MHIC #121329

Agent for Owner: _____ Daytime Phone No.: _____

Address: _____

LOCATION OF BUILDING/PREMISE

House Number: 15 Street: MONTGOMERY AVE.

Town/City: TAKOMA PARK Nearest Cross Street: PINE

Lot: 8 Block: 17 Subdivision: BF GILBERT ADDITION TO TAKOMA PARK

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

I.A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- | | | | | | | | | |
|------------------------------------|--|--|--|------------------------------------|---|--|--|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> AC | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input checked="" type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Tear | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input checked="" type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input checked="" type="checkbox"/> Other: <u>SCREENED-IN PORCH</u> | | | |

I.B. Construction cost estimate: \$ 27,538

I.C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

(4)

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

ELEVATED DECK OFF OF KITCHEN, WITH STAIRS TO GRADE,
CONSTRUCTED IN 1986 AS PART OF MAJOR RENOVATION TO THE HOUSE.
NO HISTORICAL FEATURES OR SIGNIFICANCE.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

REPLACEMENT OF EXISTING DECK WITH SCREENED-IN PORCH/DECK.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, screens, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.

PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

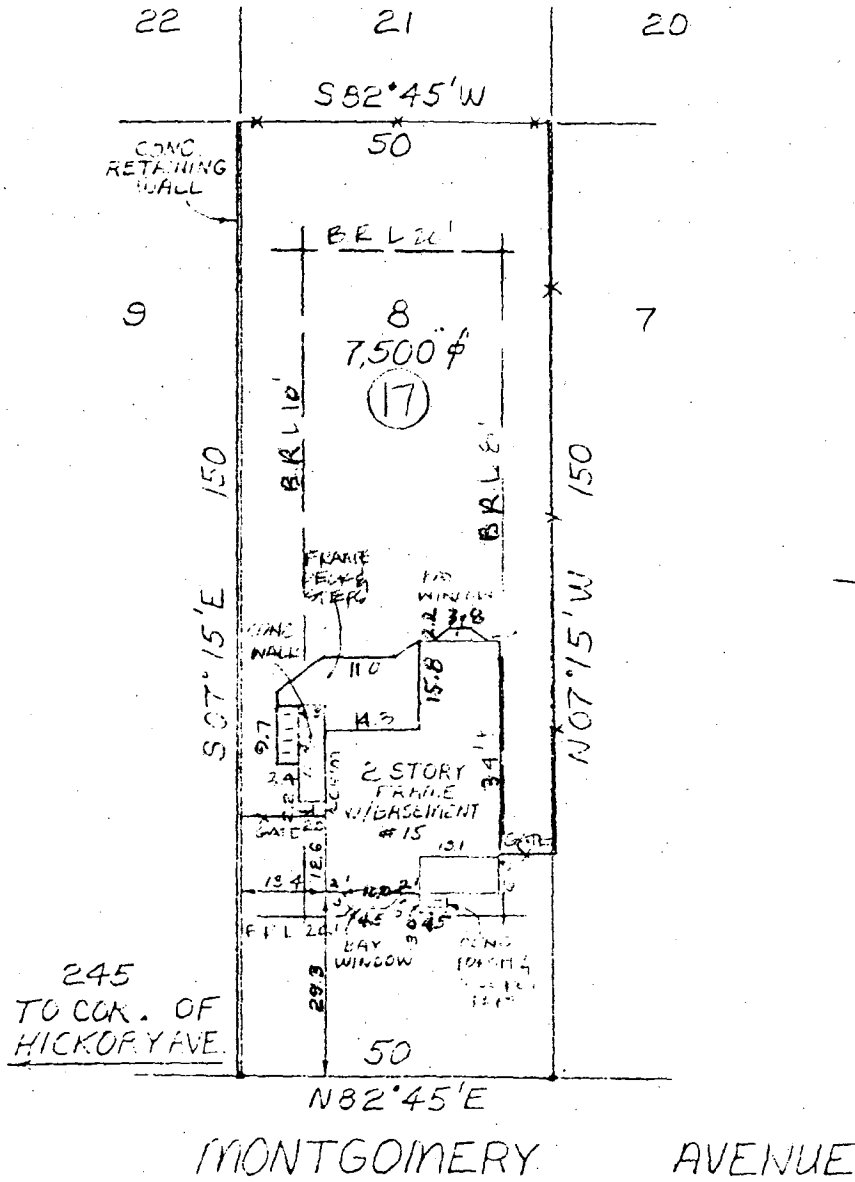
HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
15 MONTGOMERY AVE. TAKOMA PARK, MD 20912	
Adjacent and confronting Property Owners mailing addresses	
JOHN COLLINS 13 MONTGOMERY AVE. TAKOMA PARK, MD 20912	
KERRY RICHTER 17 MONTGOMERY AVE. TAKOMA PARK, MD 20912	
JOHN SALMEN 16 MONTGOMERY AVE TAKOMA PARK, MD 20912	

g-addresses: noticing table

ORIGINAL

SCALE 1=30



NOTES: Not in flood plain as per *As of 12/20/07*
 Not to be used for construction.
 Lot corners have not been set by this survey unless otherwise indicated.

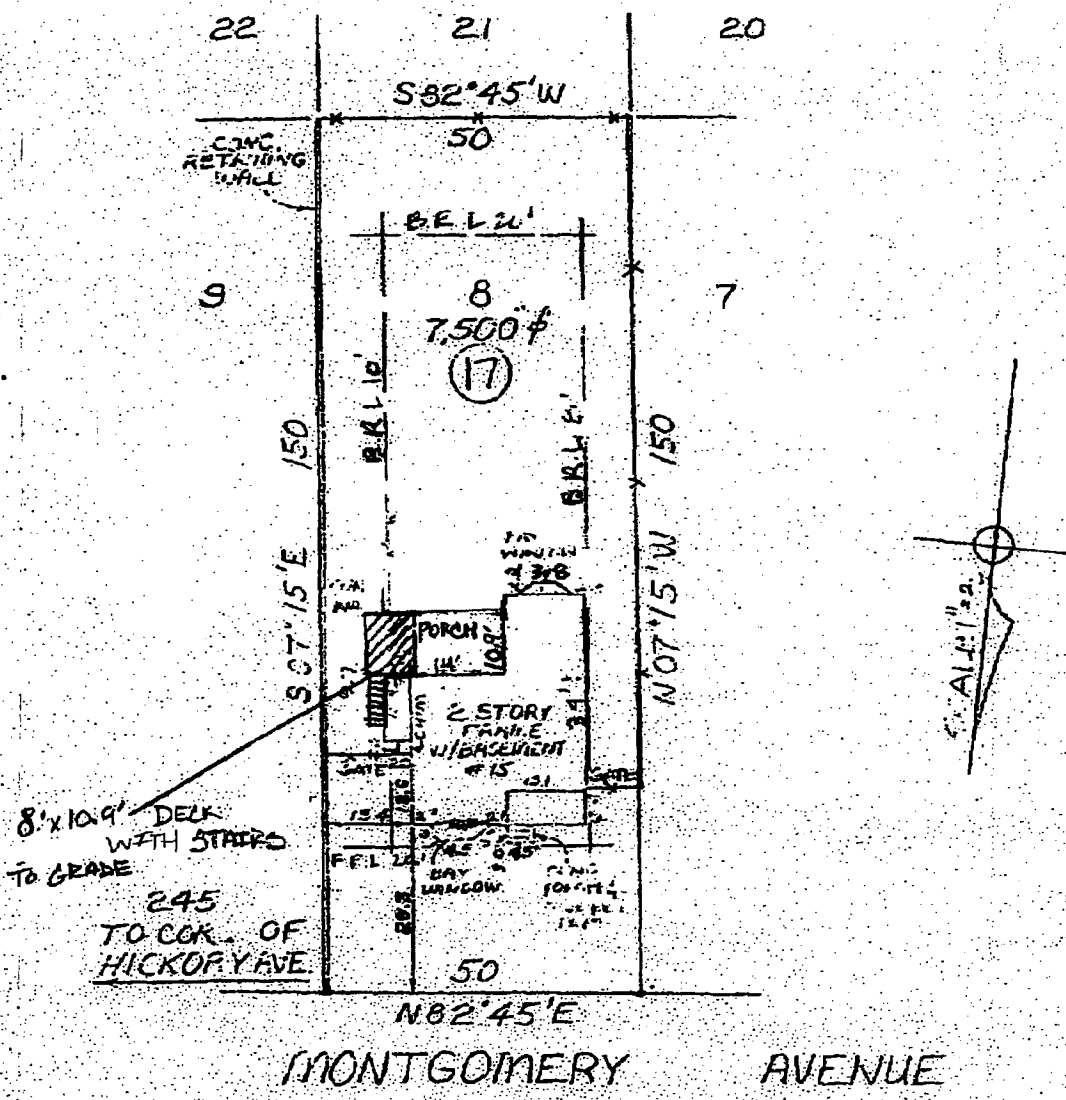
REVISED: 7-9-87
 (Title Block) **E&V**

<p>I hereby certify that I have carefully located the improvements as shown hereon in accordance with required property description, and that there are no encroachments except as indicated.</p> <p>Date <i>1/11/87</i> WESSON COOK, JR. Registered Professional Land Surveyor Maryland B244</p>	<p>LIGHT, ELLIOTT & ASSOCIATES, INC. ENGINEERS, PLANNERS, SURVEYORS 6006 ADELPHI ROAD ADELPHI, MARYLAND 20783 422-6080</p> <p>Book <i>1102-20</i> Job no. <i>K-2709</i> Orig. by <i>JT</i></p> <p>Ch. by <i>JT</i> Case no. <i>1876</i> Date <i>11-87</i></p>	<p>HOUSE LOCATION SURVEY 15 MONTGOMERY AVENUE Lot E Block 17 Section - OF GILBERTS ADDITION TO TAKOMA PARK COLLEVILLE MONTGOMERY Election District County Maryland</p> <p>Plot Book A Plot 12</p> <p>File no. <i>CH 10000</i></p>
--	--	--

7

REVISED

SCALE 1=30



ES: [unclear] in flood plain as per [unclear] [unclear]
 (c) to be used for construction.
 (d) corners have not been set by this survey unless otherwise indicated.

REVISED: 7-9-87
 (Title Block)

I hereby certify that I have carefully
 examined the records as shown here-
 in and find that there are no as-
 sessments or taxes as indicated.

[Signature]
MESSON COOK, JR.
 Registered Professional Land Sur-
 veyor License No. 3344

LIGHT ELLIOTT & ASSOCIATES, INC
 ENGINEERS, PLANNERS, SURVEYORS
 8008 ADELPHI ROAD
 ADELPHI, MARYLAND 20783
 422-6080

Book 1102-20
 Job no. R-176A
 Dwg. by YENT

Ch. by
 Case no. 21ETG
 GIFFORD

HOUSE LOCATION SURVEY
 15 MONTGOMERY AVENUE
 Lot 8 Block 17 Section -
 OF GILBERTS
 ADDITION TO
 TAKOMA PARK

COLEVILLE
 MONTGOMERY

Election District
 County MONTGOMERY

Plot Block A
 Plot 2

File no. 1112200

9

Meyer Residence
15 Montgomery Ave.
Takoma Park, MD

Material List

- All framing lumber is to be pressure treated Southern yellow pine
- Decking and rail cap are to be Ipe

-Project will also include the following

- Closed T1-11 soffit
- White PVC exterior trim
- Screen Eze, screening system
- Lafayette style vinyl screen door
- All hardware will be ACQ rated for use with Pressure treated lumber
- Roof shingle will be Eco Star Colonial style, Majestic Slate, to match existing

All dimensions are approximate. In the event of a difference between the drawn and written dimensions, the written dimension shall prevail. Due to local differences in building codes and regulations, and specific site conditions, these drawings may need to be modified by the builder to comply with such local codes and regulations, or site conditions.

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OF

Montgomery County

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Job Name: Connie & Aiden Meyer

Address: 15 Montgomery Avenue

Tecoma Park, MD 20912

Customer Signature: _____

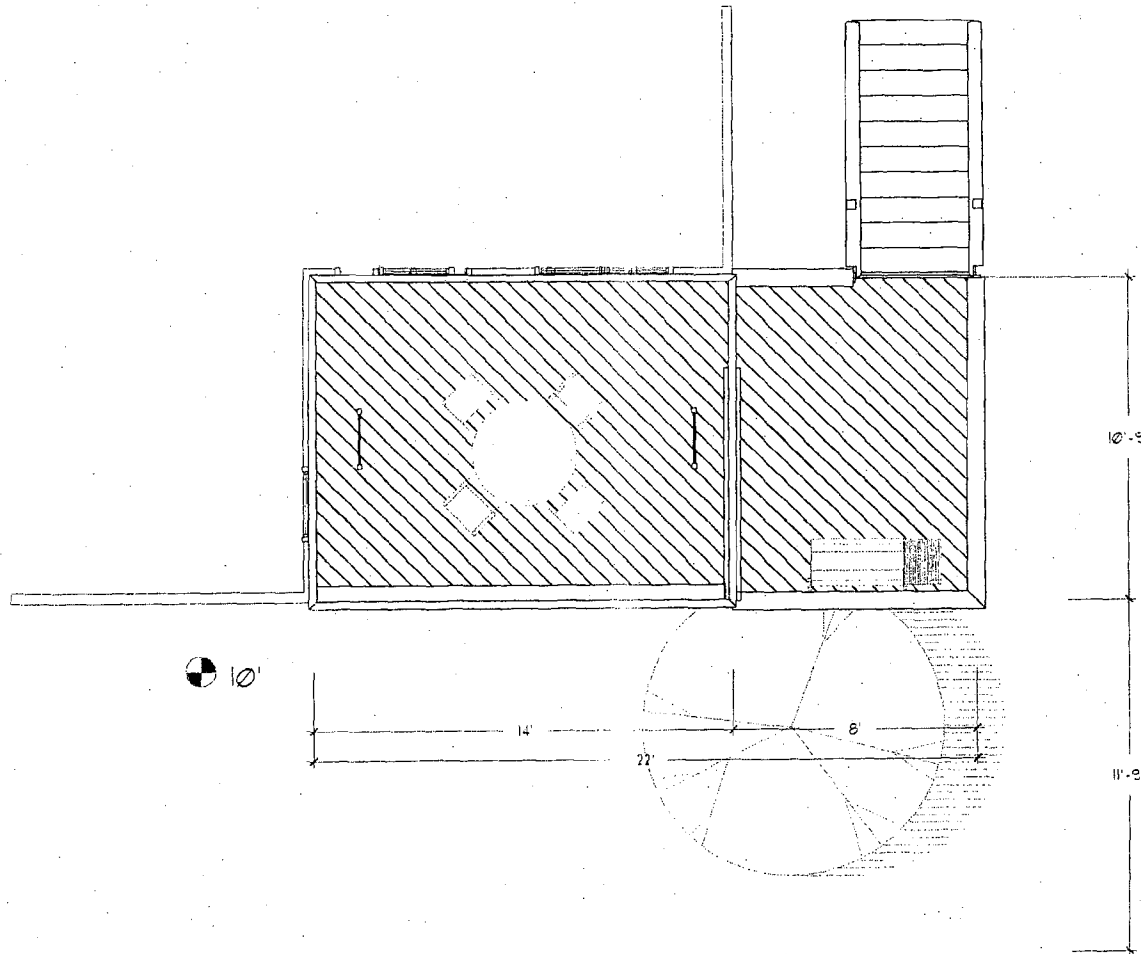
Sales Representative: John Barrett

Date: 01/27/06

Contract Number: 02-

Draftsman: xxx

GENERAL NOTES:



CUSTOM PLAN FINAL

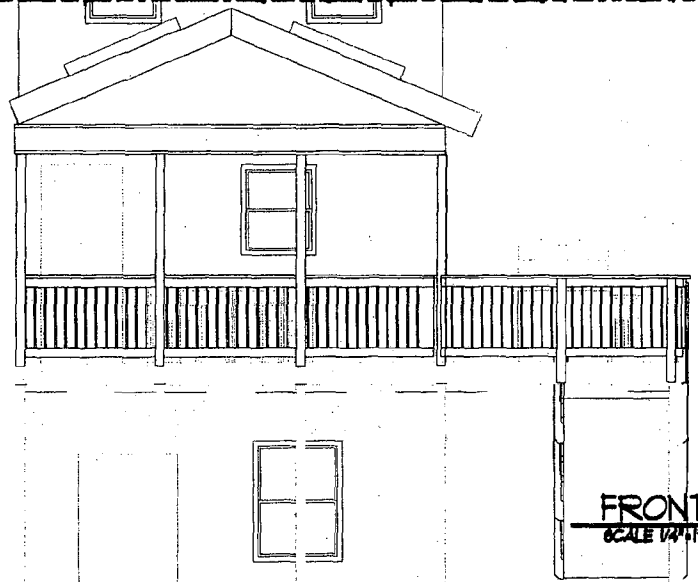
SCALE 1/4" = 1'-0"

10

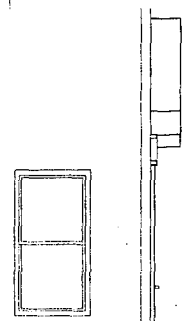
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Job Name: Connie & Alden Meier
Address: 15 Montgomery Avenue
Tacoma Park, MD 20912
Customer Signature: _____
Sales Representative: John Barrett
Date: 02/27/06
Contract Number: 63-
Draftsman: xxx

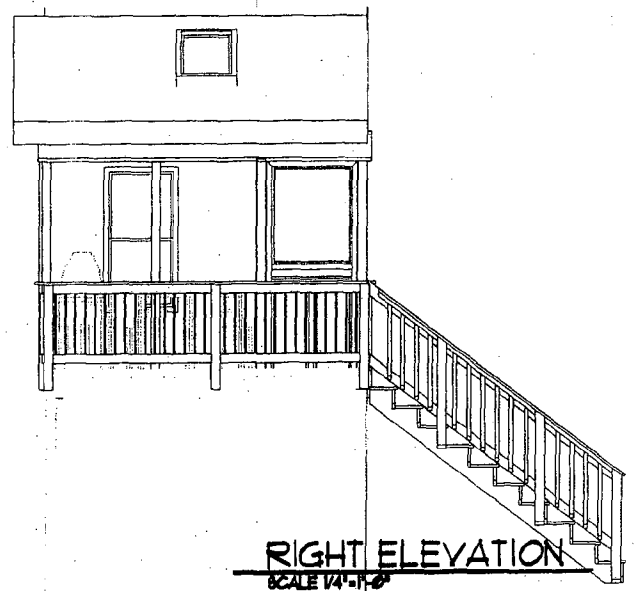
GENERAL NOTES:



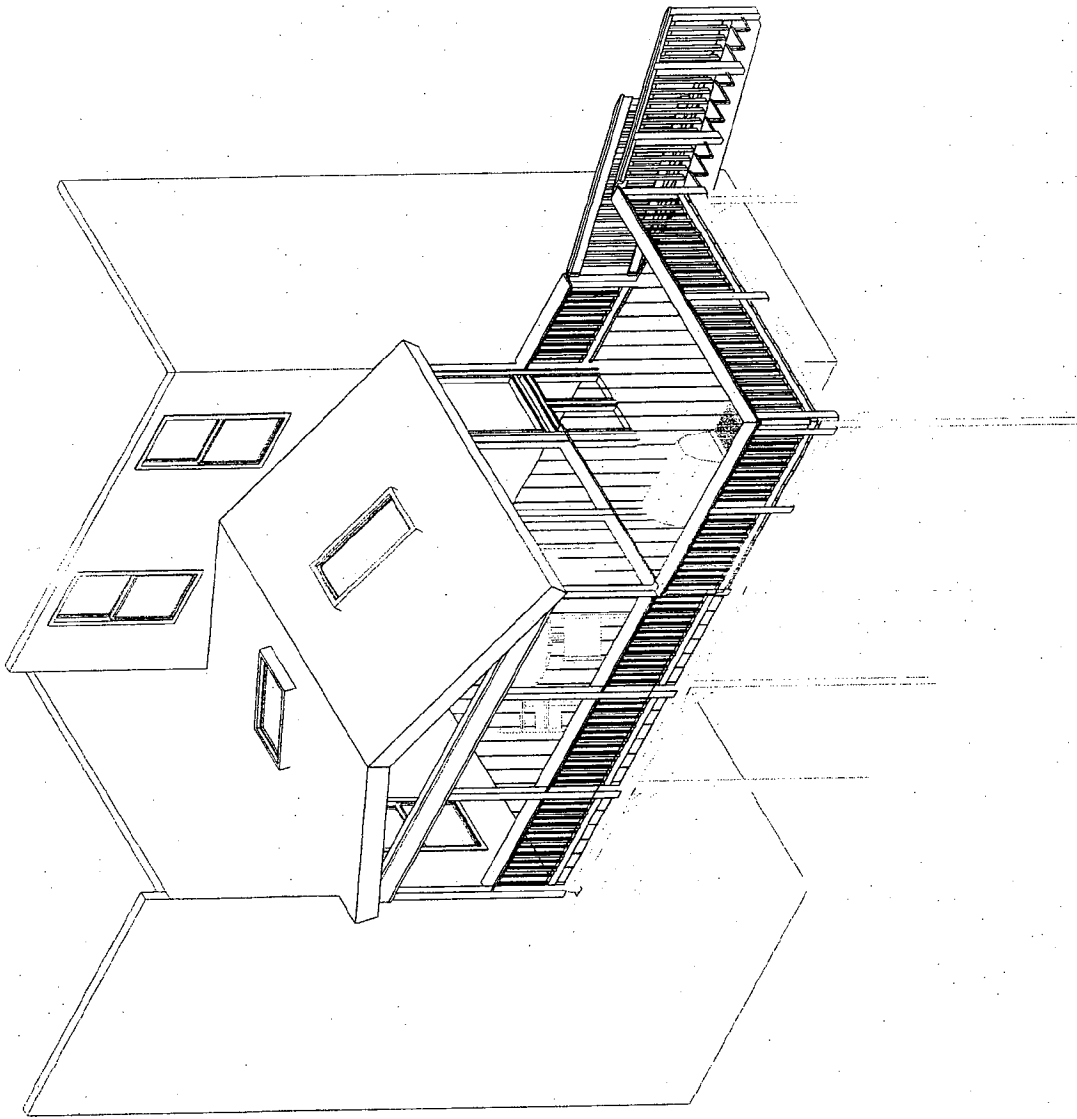
FRONT ELEVATION
SCALE 1/4"=1'-0"

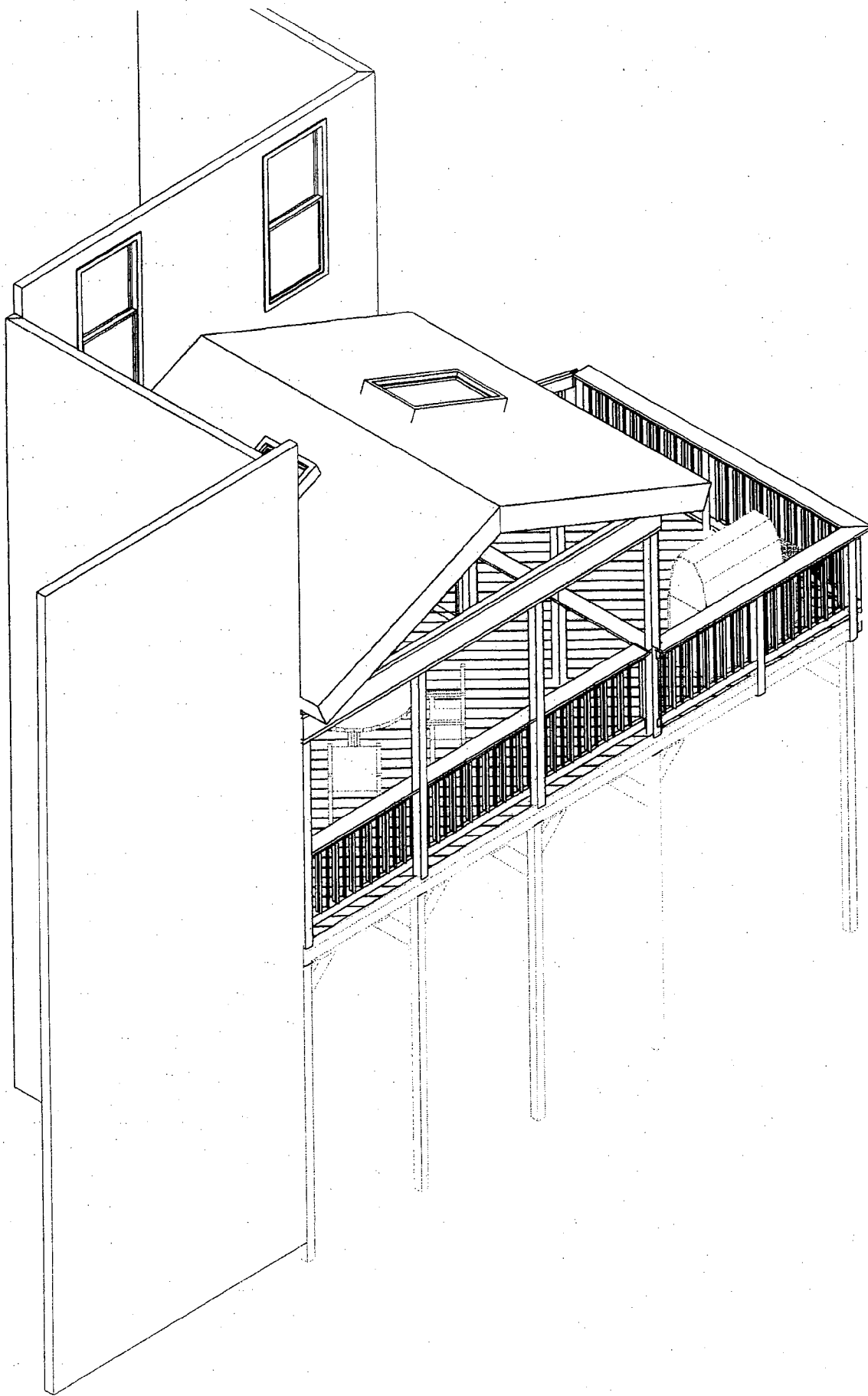


LEFT ELEVATION
SCALE 1/4"=1'-0"



RIGHT ELEVATION
SCALE 1/4"=1'-0"





Pictures of Existing Deck (Built in 1986)

Proposed deck would be in exact location (just slightly larger)

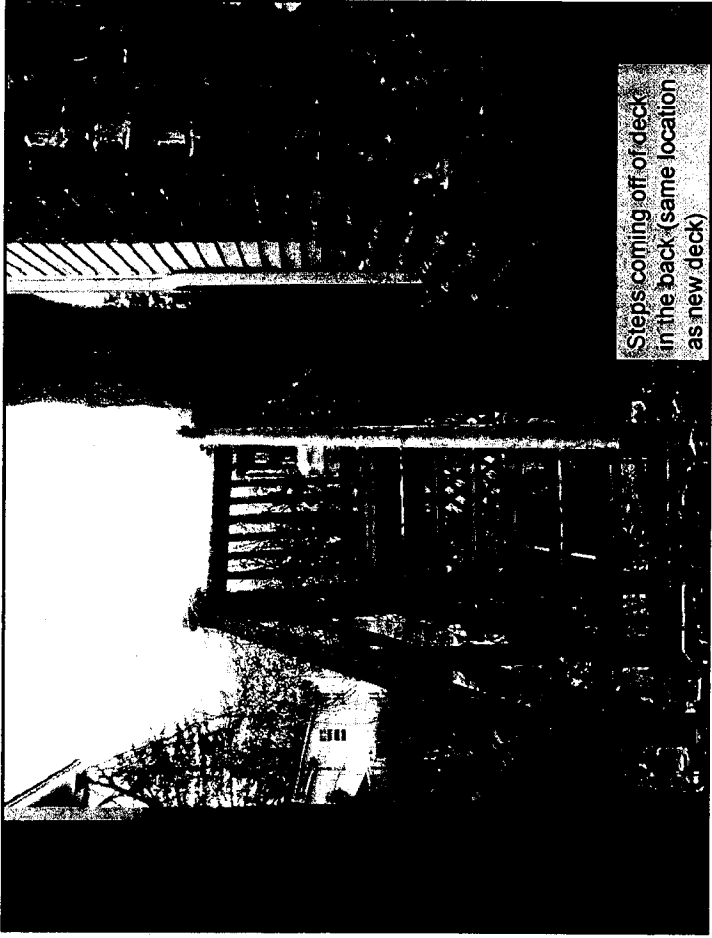
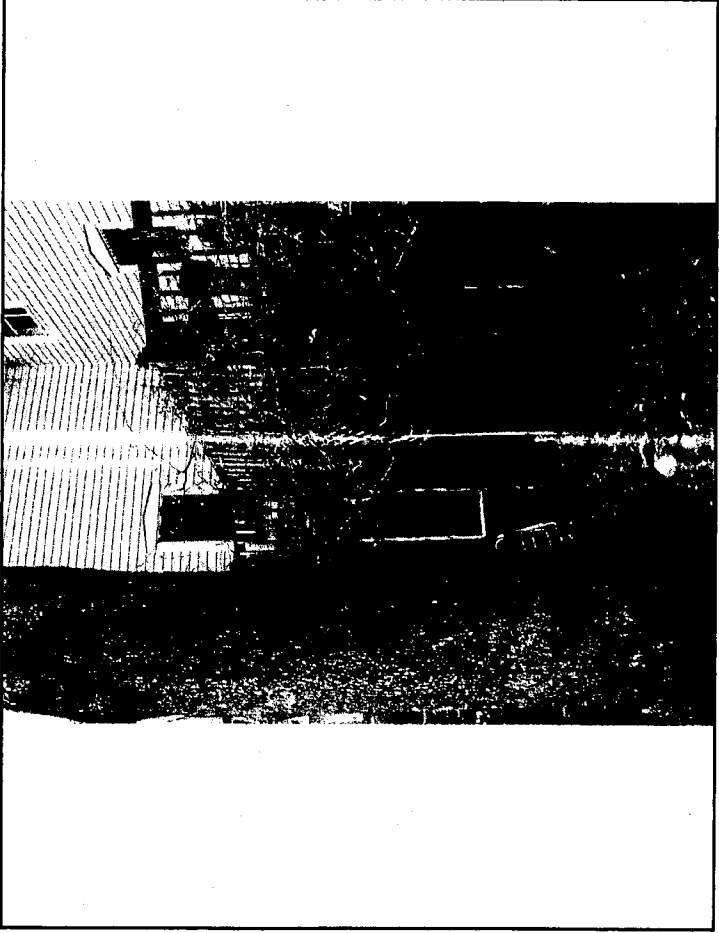
Connie & Alden Meyer

15 Montgomery Ave.

Takoma Park, MD 20912

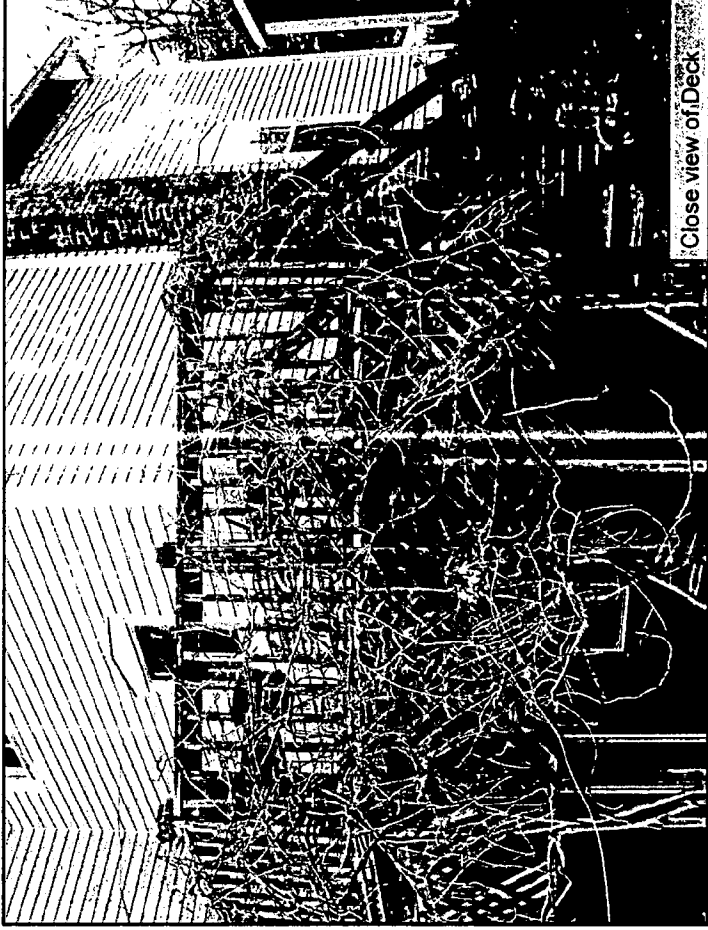
Phone: 301-270-6768

Email: Connie @ppartners.com

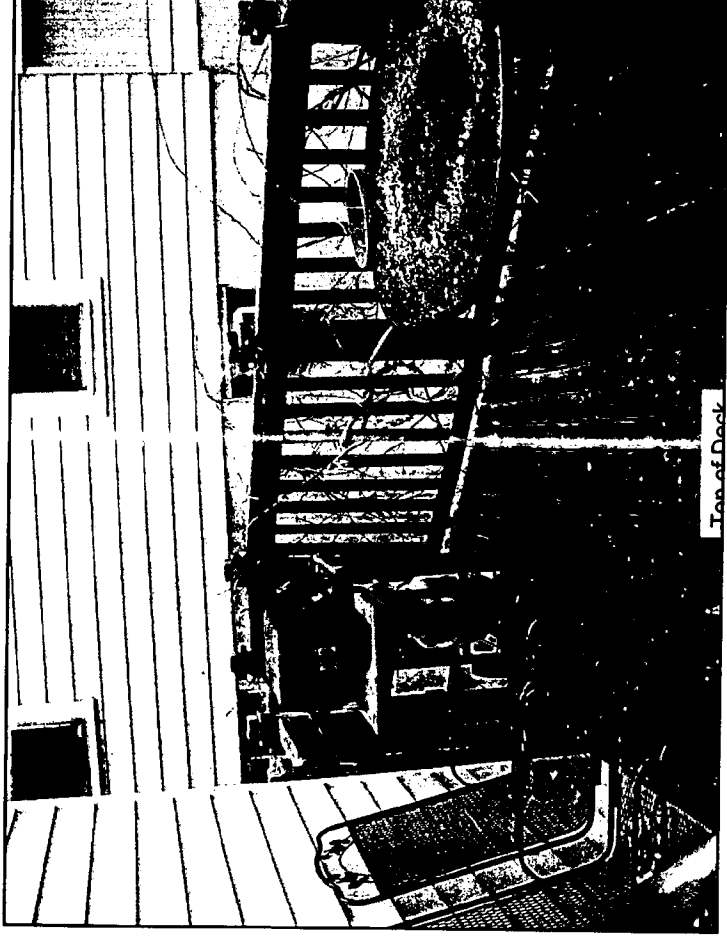




Back View of House



Close view of Deck



Top of Deck

15 Montgomery

