



37/03-06VV 511 NEW YORK AVE  
Takoma Park Historic District

# HERMAN PORCH ADDITION

511 NEW YORK AVENUE, TAKOMA PARK, MARYLAND 20912  
Project # 0619

## SPECIFICATIONS

### DIVISION 1: GENERAL REQUIREMENTS

- GENERAL CONDITIONS: THE GENERAL CONDITIONS OF THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR SHALL BE AS DOCUMENT A001 (1997 EDITION).
- CONTRACTORS LIABILITY INSURANCE: THE CONTRACTOR SHALL PURCHASE AND MAINTAIN SUCH INSURANCE AS WILL PROTECT THE CONTRACTOR FROM CLAIMS WHICH MAY ARISE OUT OF OR RESULT FROM THE CONTRACTOR'S OR SUBCONTRACTOR'S OPERATIONS UNDER THE CONTRACT.
- OWNER'S LIABILITY INSURANCE: THE OWNER SHALL BE RESPONSIBLE FOR PURCHASING AND MAINTAINING THE OWNER'S USUAL LIABILITY INSURANCE.
- PROPERTY INSURANCE: THE OWNER SHALL PURCHASE AND MAINTAIN PROPERTY INSURANCE IN THE AMOUNT OF THE INITIAL CONTRACT SUM (AS WELL AS SUBSEQUENT MODIFICATIONS) ON A REPLACEMENT COST BASIS. THE POLICY SHALL BE ON AN ALL-RISK POLICY FORM AND SHALL INSURE AGAINST THE PERILS OF FIRE AND EXTENDED COVERAGE AND LOSS OR DAMAGE INCLUDING THEFT, VANDALISM, MALICIOUS MISCHIEF, COLLAPSE AND FALSEWORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING THE DEDUCTIBLE FOR LOSSES ATTRIBUTABLE TO AN UNSECURED JOB-SITE.
- LICENSES: THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE LICENSED AND/OR REGISTERED TO PERFORM THEIR RESPECTIVE TRADES IN THE JURISDICTION OF THE PROJECT PROPERTY.
- PERMITS: OWNER SHALL OBTAIN GENERAL BUILDING PERMIT. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OTHER TRADE PERMITS.
- WARRANTY: ALL WORKMANSHIP AND MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.
- INTERPRETATION: THE ARCHITECT SHALL BE THE INTERPRETER OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. IF THE BUILDER OR SUBCONTRACTOR HAS ANY QUESTION ABOUT THE MEANING OF THE DRAWINGS OR SPECIFICATIONS FOR THE WORK, OR SHOULD HE FIND ANY DISCREPANCY OR OMISSION THEREIN, THE BUILDER/SUBCONTRACTOR SHALL IMMEDIATELY SO NOTIFY THE ARCHITECT.
- DIMENSIONS: VERIFY ALL DIMENSIONS. ALL DIMENSIONS ARE TO FRAMING, EXCEPT TO EXISTING CONSTRUCTION OR WHERE OTHERWISE NOTED. WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENINGS, ADD 2 1/2 TO SWINGING DOOR SIZES FOR ROUGH OPENINGS. DO NOT SCALE DRAWINGS.
- BUILDING PROTECTION: ALL PRECAUTIONS SHALL BE TAKEN BY SUBCONTRACTORS TO PROTECT EXISTING HARDWOOD FLOORS, TILE AND OTHER FINISHES TO REMAIN FOR THE PERIOD OF CONSTRUCTION. ANY DAMAGE SHALL BE RECTIFIED BY THE RESPONSIBLE SUBCONTRACTOR(S) OR GENERAL CONTRACTOR PRIOR TO COMPLETION OF WORK.
- DEBRIS: ALL SUBCONTRACTORS SHALL, AT REGULAR INTERVALS, REMOVE ALL THEIR RESPECTIVE CONSTRUCTION DEBRIS FROM SITE AND SHALL NOT ALLOW SUCH DEBRIS TO DRIFT, BE BLOWN OR OTHERWISE TRANSPORTED ONTO ADJACENT PROPERTY. SUBCONTRACTORS SHALL PLACE BARRICADES OR TAKE SUCH OTHER PRECAUTIONS AS NECESSARY TO PREVENT INJURY TO THE PUBLIC.
- CODES: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH INTERNATIONAL RESIDENTIAL CODE (2003 EDITION) AND IN ACCORDANCE WITH ALL APPLICABLE MONTGOMERY CO., MARYLAND AND FEDERAL RULES AND REGULATIONS (INCLUDING LOCAL AMENDMENTS TO MODEL CODES).
- QUALITY: ALL WORK WILL BE PERFORMED IN A WORKMANLIKE FASHION IN CONFORMANCE WITH RULES OF ACCEPTED GOOD PRACTICE. ALL MATERIALS CONTAINED IN THESE DRAWINGS SHALL BE NEW AND OF GOOD QUALITY AND SHALL BE PROTECTED FROM WEATHER WHEN STORED ON THE BUILDING SITE.
- CHANGES IN WORK: THE OWNER WITHOUT INVALIDATING THE CONTRACT, MAY ORDER EXTRA WORK OR MAKE CHANGES BY ALTERING, ADDING OR DEDUCTING FROM THE WORK. THE CONTRACT SUM BEING ADJUSTED ACCORDINGLY BY A CHANGE ORDER. ALL SUCH WORK SHALL BE EXECUTED UNDER THE CONDITIONS OF THE ORIGINAL CONTRACT EXCEPT FOR CHANGES OR EXTENSION OF TIME CAUSED HEREBY WHICH SHALL BE ADJUSTED AT THE TIME OF CHANGE ORDER EXECUTION.
- CLAIMS FOR EXTRA WORK: IF A SUBCONTRACTOR CLAIMS THAT ANY INSTRUCTIONS BY DRAWINGS OR OTHER REQUESTS FOR CHANGES IN THE WORK INVOLVE EXTRA COST UNDER THE CONTRACT HE SHALL GIVE THE OWNER WRITTEN NOTICE THEREOF WITHIN A REASONABLE TIME AFTER RECEIPT OF SUCH INSTRUCTIONS AND IN ANY EVENT BEFORE PROCEEDING TO EXECUTE THE WORK.
- ALLOWANCES: ALL ALLOWANCES AND UNIT PRICES APPLY TO MATERIALS AND TAXES ONLY UNLESS OTHERWISE NOTED. THE COSTS ASSOCIATED WITH INSTALLATION, DELIVERY, OVERHEAD AND PROFIT SHALL BE INCLUDED IN THE BASE BID, NOT IN THE ALLOWANCE COST.
- MISS UTILITY: PRIOR TO ANY EXCAVATION AT THE SITE THE CONTRACTOR SHALL CONTACT MISS UTILITY, 1-800-287-7777 TO ASCERTAIN THE LOCATION OF ANY UTILITIES. AVOID UNNECESSARY DISTURBANCE, CONFLICT OR INTERRUPTION OF SERVICES WITH UNDERGROUND UTILITIES TO THE FULLEST EXTENT POSSIBLE.
- DEFINITIONS: THE CONTRACTOR SHALL UNDERSTAND THAT THE WORD "PROVIDE", AS USED IN THESE DOCUMENTS, INCLUDES THE PURCHASE OF THE ITEM SPECIFIED, INCLUDING TAXES AND ANY ASSOCIATED SHIPPING AND HANDLING CHARGES. ALSO INCLUDED SHALL BE THE PROCUREMENT AND PROVISION OF ALL MATERIALS, EQUIPMENT AND LABOR ASSOCIATED WITH THE COMPLETE INSTALLATION OF THE ITEM(S) SPECIFIED IN GOOD WORKING ORDER.
- CONSTRUCTION BY OWNER OR BY SEPARATE CONTRACTORS: THE OWNER RESERVES THE RIGHT TO PERFORM CONSTRUCTION OR OPERATIONS RELATED TO THE PROJECT WITH THE OWNER'S OWN FORCE. THE CONTRACTOR SHALL PROVIDE THE OWNER AND SEPARATE CONTRACTORS REASONABLE OPPORTUNITY FOR PLACEMENT AND STORAGE OF MATERIALS AND EQUIPMENT IN THE PERFORMANCE AND COMPLETION OF OTHER ACTIVITIES. THE CONTRACTOR SHALL COOPERATE AND COORDINATE ACTIVITIES AS PROVIDED WITHIN THE AGREEMENT BETWEEN THE OWNER AND THE CONTRACTOR.
- TEMPORARY UTILITIES: ELECTRICITY AND WATER SHALL BE PROVIDED TO THE GENERAL CONTRACTOR FROM THE EXISTING HOUSE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING PORTA POTTIES AND PROPANE FRIED HEATING AS NEEDED.
- COORDINATION BETWEEN DRAWINGS AND SPECIFICATIONS: SHOULD A CONFLICT EXIST BETWEEN THE DRAWINGS AND SPECIFICATIONS, THE MORE RESTRICTIVE OR COSTLY SHALL APPLY FOR PRICING. THE OWNER AND ARCHITECT SHALL BE CONSULTED TO DETERMINE THE DESIGN ALTERNATIVE. IF THE LESS RESTRICTIVE OR COSTLY ITEM IS SELECTED THE CONTRACTOR SHALL APPLY APPROPRIATE CREDIT TO THE OWNER UNDER THE CONTRACT.

### DIVISION 2: SITEWORK AND DEMOLITION

- UTILITIES: WATER, SEWER, GAS, ELECTRIC, TELEPHONE AND CATV UTILITIES ON SITE ARE TO REMAIN AND BE EXTENDED AS REQUIRED. VERIFY SIZE AND CONDITION AND REPLACE, UPGRADE AS NECESSARY. LOCATE ALL UNDERGROUND UTILITIES. SEE NOTE ABOVE REGARDING CONTACT WITH MISS UTILITY.
- PROTECTION OF EXISTING: PROTECT FROM PHYSICAL DAMAGE EXISTING TREES AND VEGETATION THAT ARE TO REMAIN. CONSULT WITH OWNER PRIOR TO REMOVING ANY TREES. VEGETATION OR OBSTRUCTIONS AS INDICATED OR WHICH WOULD INTERFERE WITH NEW CONSTRUCTION. FEEDER ROOT ZONES BELOW ALL TREE CANOPIES SHALL BE RESPECTED. THAT NO HEAVY EQUIPMENT STORAGE/PARKING OR REGRADING SHALL OCCUR WITHOUT THE PERMISSION OF THE OWNER.  
TREE PROTECTION: PROTECT FROM PHYSICAL DAMAGE EXISTING TREES AND VEGETATION THAT ARE TO REMAIN. CONSULT WITH OWNER AND CITY ARBORIST (301-891-7612) TO FORMULATE TREE PROTECTION PLAN (TPP). FAILURE TO CREATE AND ABIDE BY AN APPROVED TPP IS FAILURE BY A FINE OF \$1,000. TPP REQUIREMENTS MAY INCLUDE PRECAUTIONS SUCH AS ROOT PROTECTING, FENCING OFF CRITICAL ROOT ZONES (TO PROTECT THEM FROM HEAVY EQUIPMENT STORAGE/PARKING OR REGRADING) OR OTHER MEASURES AS RECOMMENDED BY THE ARBORIST.
- LANDSCAPE: LANDSCAPE WORK SHALL BE LIMITED TO FINISH GRADING AND SEEDING OF DISTURBED AREAS. REDISTRIBUTE AVAILABLE TOPSOIL. PROVIDE FINISH GRADE WHICH SLOPES APPROXIMATELY 1/4" PER FOOT AWAY FROM PERIMETER OF THE BUILDING.

### DIVISION 2: CONTINUED

- EROSION CONTROL: PROVIDE STAKED HAY BALES AND/OR SILTATION FENCE, OR OTHER MEANS AS NECESSARY TO PROVIDE EROSION CONTROL IN ACCORDANCE WITH REQUIREMENTS OF THE LOCAL JURISDICTION.
- DEMOLITION: PROTECT ALL ADJACENT FINISHES TO REMAIN. PROTECT SENSITIVE EQUIPMENT AND SURFACES FROM DUST AND DEBRIS. PROVIDE AND SECURE PLASTIC SHEETING TO ISOLATE THE AREA OF WORK FROM OCCUPIED PORTIONS OF THE RESIDENCE. PROVIDE ADEQUATE SHORING AND BRACING AS NECESSARY BEFORE REMOVING ANY LOAD BEARING COMPONENTS. CAP BLOCK HVAC REGISTERS IN AFFECTED AREAS TO AVOID THE CONVEYANCE OF DUST INTO ANY CENTRAL SYSTEMS.
- SAVAGE: DECKING FOR REUSE TO REBUILD PORTION OF DECK WHERE EXISTING STEPPED UP DECK IS BEING DEMOLISHED.
- ROOF LEADER DRAINAGE: CONNECT NEW DOWNSPOUTS TO SPLASH BLOCKS ON GRADE. SLOPE TO PROVIDE POSITIVE DRAINAGE.
- GRADING: ENSURE FINAL GRADE IS SLOPING AWAY FROM BUILDING. PROVIDE POSITIVE DRAINAGE OF MIN. 1/4" PER FOOT AWAY FROM BUILDING.
- SITE ACCESS: VIA DRIVEWAY.

### DIVISION 3: CONCRETE

- SOIL BEARING: ASSUMED VALUE 2000 PSF TO BE VERIFIED BY GEOTECHNICAL ENGINEER OR QUALIFIED SOILS TECHNICIAN.
- ALL CONCRETE CONSTRUCTION SHALL CONFORM TO ACI CODE 318-99. 28 DAY COMPRESSIVE STRENGTH SHALL BE AS FOLLOWS:  
FC = 3,000 PSI FOR FOOTINGS AND INTERIOR SLABS ON GRADE.  
FC = 3,500 PSI FOR WALLS, GARAGE SLABS AND EXTERIOR SLABS ON GRADE.  
ALL CONCRETE SHALL HAVE A 3'-6" SLUMP MAXIMUM. ALL CONCRETE EXPOSED TO THE WEATHER SHALL BE AIR ENTRAINED WITH 6% +/- 1%. PROVIDE CONSTRUCTION ISOLATION, AND CONTROL JOINTS AS INDICATED OR REQUIRED.
- ALL REINFORCING STEEL SHALL CONFORM TO ASTM-A655, GRADE 60.
- CONCRETE FOOTINGS SHALL PROJECT AT LEAST 1'-0" INTO UNDISTURBED NATURAL SOIL OR COMPACTED FILL HAVING A BEARING VALUE AT LEAST EQUAL TO THAT SPECIFIED ABOVE. BOTTOMS OF ALL EXTERIOR FOOTINGS SHALL BE AT LEAST 2'-6" BELOW FINISHED GRADE.

### DIVISION 6: WOOD/CARPENTRY

- ROUGH FRAMING: DESIGN LIVE LOADS  
ROOF 30 PSF  
FLOOR 40 PSF  
DECK 40 PSF  
LOADS GREATER THAN DESIGN LIVE LOADS SHALL NOT BE PLACED ON THE STRUCTURE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALLOWABLE CONSTRUCTION LOADS AND TO PROVIDE PROPER DESIGN AND CONSTRUCTION OF FALSEWORK, FORMWORK, BRACING, SHEETING AND SHORING, ETC.
- ALL EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BEFORE CONSTRUCTION IS BEGUN. FIELD MEASUREMENTS SHALL BE MADE OF ADJOINING CONSTRUCTION RELATIVE TO THE PROPER INSTALLATION OF NEW WORK. ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
- ALL WOOD CONSTRUCTION INCLUDING LUMBER, CONNECTIONS, AND DETAILS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING CODE AND THE CURRENT NATIONAL DESIGN SPECIFICATION BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
- USE IRC 2003 TABLE R602.3(1) AND R602.3(2) FOR NAILING SCHEDULE, UNLESS NOTED OTHERWISE.
- ROOF SHEATHING SHALL BE STANDARD CDX 18/32 (SPAN RATING) PLYWOOD WITH EXTERIOR GLUE (MIN. THICKNESS 19/32). NAIL ROOF PLYWOOD TO JOISTS AND/OR TRUSSES WITH 8D NAILS @ 6" O.C. AT SHEET EDGES AND 12" O.C. AT ALL INTERMEDIATE RAFTERS AND TRUSSES. INSTALL CLIPS BETWEEN RAFTERS AS REQUIRED.
- UNLESS INDICATED OTHERWISE, ALL TRIMBER FRAMING MEMBERS (JOISTS AND BEAMS) SHALL BE MEM-FR # 2 (8% MAX. MOISTURE CONTENT) WITH FB = 850 PSI, EI=300000 PSI, MINIMUM INTERIOR STUDS AND COLLINS SHALL BE MEM-FR # 2 (8% MAX. MOISTURE CONTENT). UNLESS INDICATED OTHERWISE, ALL LINTELS SHALL HAVE ONE KING STUD AND ONE JACK STUD AT EACH END.
- ALL JACKS AND POSTS ARE TO BE CONTINUOUS, OR INCREASED AS SHOWN, DOWN TO THE FOUNDATION OR BEAM SUPPORT. IN OTHER WORDS, POSTS SHALL BE ADDED BELOW HIGHER POSTS EVEN WHEN POSTS ARE NOT REQUIRED BY THE FLOOR FRAMING.
- USE TECO OR SIMPSON STRONG TIE STRUCTURAL WOOD CONNECTORS UNLESS OTHERWISE NOTED. ONLY SPECIALTY CONNECTORS ARE TYPICALLY SHOWN IN THE STRUCTURAL DRAWINGS BUT ADDITIONAL METAL CONNECTORS SHALL BE PROVIDED AS FOLLOWS (OR AS REQUIRED TO MEET CODE). JOISTS AND RAFTERS SHALL BE CONNECTED TO FLUSH BEAMS WITH HANGERS. JOISTS AND RAFTERS SHALL BE CONNECTED TO TOP PLATES WITH HURRICANE TIES. WOOD BEAMS AND HEADERS SHALL BE CONNECTED TO ISOLATED POSTS WITH COLLIN CONNECTORS AND BASES OF ISOLATED POSTS SHALL BE FASTENED TO THEIR SUPPORTS WITH METAL CONNECTORS. ALL FASTENERS AND CONNECTORS TO PRESSURE-TREATED LUMBER SHALL HAVE TRIPLE 6-28 GALVANIZED COATING (WITH THE EXCEPTION OF BOLTS ONE-HALF INCH OR LARGER IN DIAMETER).
- ALL COMMON LUMBER SHALL BE CLEARLY STAMPED WITH THE LUMBER INSPECTION ASSOCIATION SEAL INDICATING THE LUMBER SPECIES AND GRADE.
- JOISTS SHALL HAVE A MINIMUM 3 1/2" BEARING. JOISTS RUNNING PARALLEL TO A WALL SHALL BE ANCHORED WITH 3/8" X 2" STEEL STRAPS (OR SOLID WOOD BLOCKING) AT 4'-0" O.C. EXTENDED TO ENGAGE 3 JOISTS.
- FLOOR BRIDGING TO BE PLACED AS REQUIRED BY CODE.
- Holes bored in joists shall not be within 2 inches of the top and bottom of joists and their diameter shall not exceed one-third the depth of the joist.
- WHEN MULTIPLE JOISTS ARE INDICATED ON THE DRAWINGS, THEY MUST BE MECHANICALLY FASTENED TO EACH OTHER IN SUCH A MANNER SO AS TO SHARE THE SUPERIMPOSED LOADS, INCLUDING LOADS FROM HEADERS FRAMING INTO THE MULTIPLE JOISTS.
- STUD BEARING WALLS SHALL BE 2X4 MEM-FR WITH STUDS AT 16" ON CENTER, UNLESS SHOWN OTHERWISE IN FRAMING PLANS, AND SHALL HAVE 2 CONTINUOUS TOP PLATES (MEM-FR #2) WHICH ARE TO BE SPICED AT STUD LOCATIONS ONLY. SPLICES SHALL BE STAGGERED AT LEAST 4'-0". AT LEAST ONE SIDE OF EACH BEARING WALL AND EXTERIOR WALL SHALL BE SHEATHED WITH A MINIMUM OF 1/2" GYPSUM BOARD FASTENED ACCORDING TO DRYWALL MANUFACTURERS RECOMMENDATIONS OR BUILDING CODE REQUIREMENTS, WHICHEVER IS STRICTER.
- ALL MULTIPLE STUDS SHALL BE NAILED TO EACH OTHER WITH 10D NAILS AT 8" SPACING, FULL HEIGHT OF STUD.
- ALL EXTERIOR STRUCTURAL WOOD MEMBERS, WOOD LOCATED WITHIN 8' OF SOIL OR WOOD IN CONTACT WITH CONCRETE AND/OR MASONRY SHALL BE PRESSURE-TREATED TO RESIST DECAY AND INSECT INFESTATION. PRESSURE-TREATED PLATES SHALL MEET AMERICAN WOOD PRESERVERS INSTITUTE STANDARD LP-2 OR LP-4.
- PRESSURE-TREATED WOOD SHALL BE USED WHENEVER WOOD JOISTS ARE CLOSER THAN 18 INCHES (OR WOOD BEAMS/GIRDERS ARE CLOSER THAN 12 INCHES) TO EXPOSED GROUND IN CRAWL SPACES OR UNEXCAVATED AREA LOCATED WITHIN THE PERIPHERY OF THE BUILDING FOUNDATION.

### DIVISION 6: CONTINUED

- FRAMING DESIGNATED 'LVL' SHALL BE MICROLAMINATED WOOD BEAMS AS MANUFACTURED BY LOUISIANA-PACIFIC CORPORATION AND HAVING THE FOLLOWING STRUCTURAL PROPERTIES: FB = 2620 PSI, EI = 2,000,000 P/L, IV = 250 P/L. SPLICES SHALL BE AS SHOWN ON THE PLANS AND DETAILS. MULTIPLE LVLS SHALL BE FASTENED TOGETHER WITH A MINIMUM OF 2 ROWS OF 18D NAILS AT 12" O.C. NAILS SHALL BE SPACED 3' FROM THE TOP AND BOTTOM OF THE BEAMS. LVL BEAMS DESIGNATED ON PLANS SHALL BE AS SIZED.
- FRAMING SIZES: WOOD BUILDING COMPONENTS ARE AS FOLLOWS (MEM-FR, GRADE #2 OR SPRUCE-PINE-FIR, #2 OR BETTER):  
FLOOR AND ROOF FRAMING: SEE FRAMING PLANS.  
ROOF SHEATHING: 5/8" APA SPAN RATED CDX PLYWOOD. PROVIDE CLIPS AS REQ'D.
- FLOORING: PORCH DECKING SHALL BE 5/4 X 6 MAHOGANY. PORTION OF REBUILD DECK SHALL BE REUSED DECKING FROM DEMOLISHED DECK.
- PORCH INTERIOR TRIM: UNLESS OTHERWISE NOTED, ALL INTERIOR TRIM SHALL BE MAHOGANY OR ALL TRIM SPRUCE.
- SCREEN PORCH & CUPOLA CEILING: GEORGIA PACIFIC 1/2" PLY - BEADED YELLOW PINE PLYBEAD, PAINTED.  
PORCH RAIL: THE PORCH RAIL, PICKETS, CAP AND SUPPORTS SHALL BE MAHOGANY OR ALL TRIM SPRUCE TO MATCH INTERIOR TRIM.

- EXTERIOR TRIM: UNLESS OTHERWISE NOTED, ALL STANDING AND RUNNING TRIM SHALL BE ALL TRIM SPRUCE OR PVC (2X6K OR EQUAL), AND SHALL BE PAINTED. ALL JOINTS SHALL BE CONCEALED. FACTORY PRIME OR FIELD BACKPRIME ALL EXTERIOR WOODWORK INCLUDING CUT JOINTS. SEE PAINTING REQUIREMENTS IN DIVISION 9 BELOW.
- FASTENERS: ALL EXTERIOR SIDINGS AND TRIM SHALL BE FASTENED WITH GALVANIZED NAILS OF APPROPRIATE TYPE AND SIZE.

### DIVISION 7: THERMAL/MOISTURE PROTECTION

- VENTILATION: PROVIDE VENTILATION AT ROOF FRAMING AS REQUIRED BY CODE.
- INFILTRATION BARRIERS: INFILTRATION BARRIER SHALL BE #15 BUILDING FELT OR TYVEK OVER EXTERIOR SHEATHING. LAP AND TAPE JOINTS AND PENETRATIONS PER MANUFACTURERS RECOMMENDATIONS.
- ROOFING INSTALLATION/PERFORMANCE: ALL PITCHED ROOFS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS AND NRCA HARK AND STEEP ROOFING MANUALS.
- ROOFING UNDERLAYMENT: NA
- FIBERGLASS COMPOSITION SHINGLE ROOF: FIBERGLASS COMPOSITION "ASPHALT" SHINGLES TO MATCH EXISTING OVER 15# FELT. PROVIDE SAMPLE BOARDS FOR OWNER/ARCHITECT TO MAKE COLOR SELECTION. SEE 7.7 THROUGH 7.9 BELOW. PROVIDE A PREFINISHED ALUMINUM DRIP EDGE AT ALL EAVES AND RAKES. SHINGLES SHALL HAVE A MINIMUM WARRANTY OF 30 YEARS. SHALL BE UL CLASS A FIRE RATED. MANUFACTURER TO MATCH EXISTING.
- ICE DAM: PROVIDE AND INSTALL ICE DAM MEMBRANE MATERIAL AT ALL RAKES, EAVES, VALLEYS, AND PERIMETER IN AREAS TO RECEIVE NEW ROOFING. PROVIDE ICE DAM MEMBRANE AS A CONTINUOUS BARRIER UNDER ALL ROOFING INSTALLED ON ROOF PITCHES LESS THAN 3 IN 12. ICE DAM SHALL BE WINTERSHIELD, MANUFACTURED BY CERTANTEC, OR EQUIVALENT.
- FLASHING: 0.025" THICK (22 GAUGE) ALUMINUM FLASHING, WHERE EXPOSED AND CONCEALED, UNLESS NOTED OTHERWISE. PROVIDE 16 OZ. COPPER FLASHINGS WHERE IN CONTACT WITH AGG PRESURIZED TREATED LUMBER (ALUMINUM IS INCOMPATIBLE). EXPOSED FLASHINGS SHALL BE COLOR COORDINATED WITH FACTORY FINISH TO BLEND WITH WALL AND/OR ROOFING MATERIAL. PROVIDE ALUMINUM DRIP EDGE AT THE EAVES AND GABLE ENDS OF THE ROOF. VALLEY FLASHING SHALL BE W SHAPE BROKEN FLASHING. COLOR(S) TO MATCH EXISTING.
- THROUGH WALL & HEAD FLASHINGS AT STUD FRAME / SIDING: PROVIDE WHITE ALUMINUM FLASHINGS FOR THROUGH WALL FLASHINGS AT BASE OF DOORS, HEAD FLASHINGS AT DOOR HEADS AND HEAD FLASHING AT WINDOW HEADS IN SHEATHING TO SIDING LOCATIONS THROUGHOUT BUILDING. FLASHING LOCATIONS ON DRAWINGS ARE TYPICAL ONLY. NOT INCLUDE
- GUTTERS & DOWNSPOUTS: NA
- INTERIOR SEALANT COMPOUND FOR ALL EXTERIOR JOINTS SHALL BE 1-COMPOUND ACRYLIC SEALANT: FB: TT-6 02030, CLASS B, TYPE I, SOLVENT BASED, 30 YEAR.

### DIVISION 8: DOORS

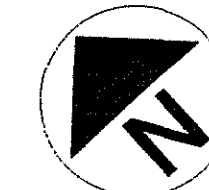
- EXTERIOR DOORS: ALL EXTERIOR SWING DOORS SHALL BE AS SHOWN ON DRAWINGS.  
PROVIDE WOOD FRAME SCREEN DOOR, AS SHOWN ON DRAWINGS.  
COLOR: MATCH EXTERIOR AND INTERIOR TRIM.  
FACTORY HARDWARE, CONTR' FINISH WITH OWNER.  
EXTERIOR IN-SWING DOORS SHALL BE INSTALLED TO ALLOW DOORS TO OPEN 180 DEGREES.  
ALL EXTERIOR DOORS SHALL BE OPERABLE FROM THE INTERIOR WITHOUT THE USE OF A KEY.
- FINISHES:  
INTERIOR PAINT: PROVIDE MINWAX STAIN, SANDING SEALER AND THREE COAT POLYURETHANE FINISH ON ALL SURFACES TO RECEIVE STAIN.
- EXTERIOR PAINT: BENJAMIN MOORE, PREMIUM GRADE OR EQUAL. VINYL ACRYLIC LATEX PAINT FOR ALL FLAT OR EGGSHELL FINISHES. ALKYD PAINT FOR ALL SEMI-GLOSS FINISHES. APPLY ONE COAT PRIMER / BACKPRIMER ON ALL SURFACES OF ALL WOOD FASCIA, SOFFIT, CASING, SIDING AND TRIM BOARDS. APPLY TWO FINISH COATS TO EXPOSED SURFACES.

### DIVISION 16: ELECTRICAL

- ELECTRICAL SERVICE: EXISTING ELECTRIC SERVICE SHALL BE REVIEWED BY CONTRACTOR AND ELECTRICAL SUBCONTRACTOR. PROVIDE NEW SERVICE, SUBPANEL AND/OR ADDITIONAL BREAKERS AS NECESSARY TO ACCOMMODATE NEW WORK, EQUIPMENT, SYSTEMS AND APPLIANCES. PROVIDE GROUND FAULT CIRCUIT INTERRUPT BREAKERS AT PANELS AS REQUIRED FOR ALL OUTLETS REQUIRING GFC SAFETY CUTOFF WHERE INDICATED AND WHERE OTHERWISE REQUIRED.
- CONTRACTOR SHALL COORDINATE LIGHTING AND POWER WITH THE OWNER.
- RECEPTACLES AND SWITCHES: CONTRACTOR SHALL PROVIDE WALL SWITCHES, DIMMER SWITCHES, AND WALL PLATES, ETC. IN AREAS OF NEW WORK IN CONFORMANCE WITH NEC AND LOCAL CODE. CONTRACTOR SHALL PROVIDE AND INSTALL ALL SPECIALTY AND APPLIANCE RECEPTACLES AND SWITCHES.  
STYLE: DECORA STYLE AS MANUFACTURED BY LEVITON.  
COLOR: ALL DEVICES AND COVER PLATES SHALL BE WHITE.
- PROVIDE GROUND FAULT INTERRUPT DEVICES WHERE INDICATED AND WHERE OTHERWISE REQUIRED BY CODE.
- LIGHTING: SEE DRAWINGS FOR LOCATIONS AND ALLOWANCE VALUES. CONTRACTOR SHALL PROVIDE ALL FIXTURES AND BULBS. SURFACE MOUNTED FIXTURES TO BE SELECTED BY OWNER.
- 50VDC HOUSINGS RATED FOR INSULATION CONTACT IN ALL INSULATED CEILING CAVITIES.

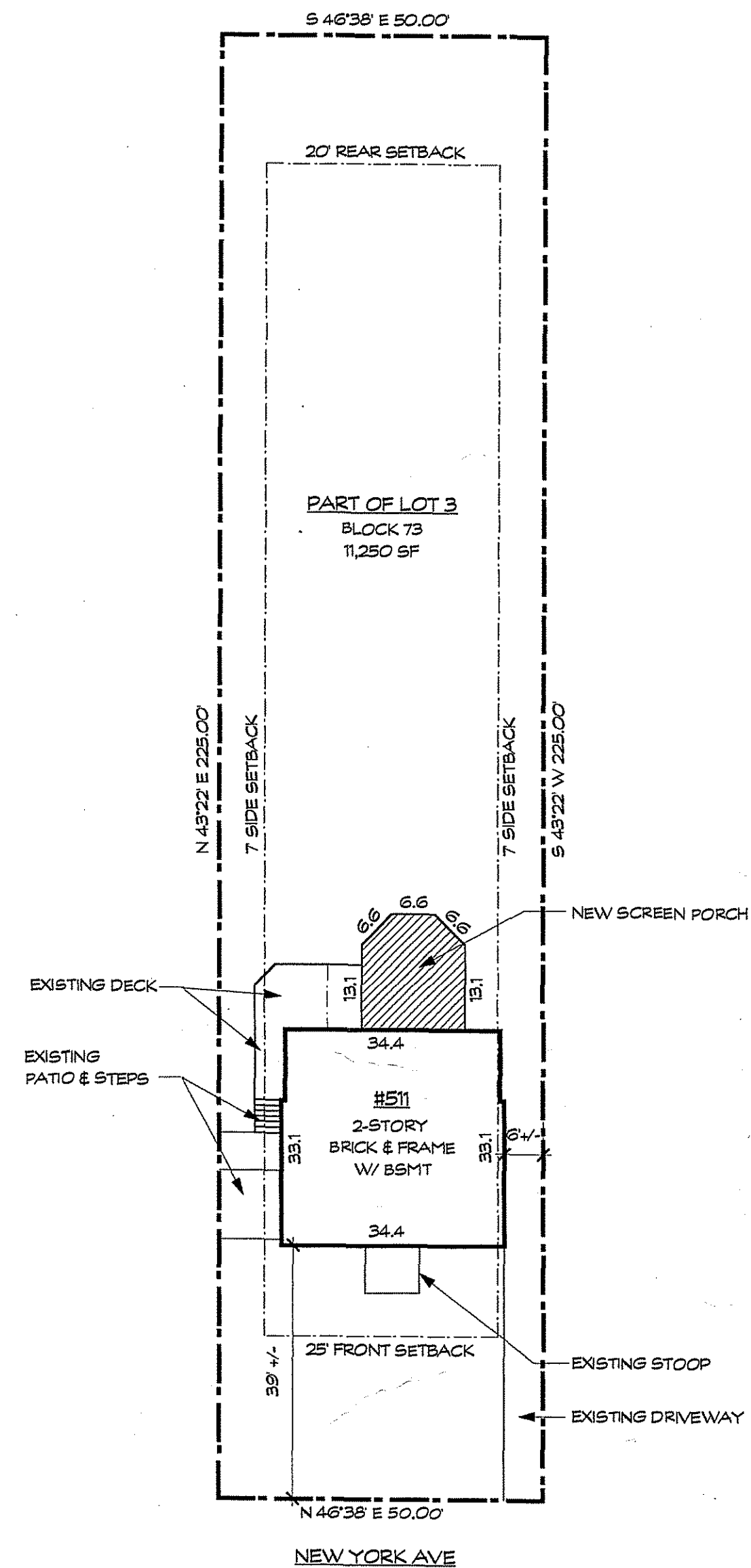
## SITE PLAN

1" = 20'-0"



HORIZONTAL / BOUNDARY INFORMATION BASED ON SURVEY DATED FEBRUARY 10, 1992, PREPARED BY TDL LIMITED LAND SURVEYORS, GAITHERSBURG, MD.

SITE LOCATION:  
511 NEW YORK AVENUE  
TAKOMA PARK, MARYLAND 20912  
THE T.P.L.T. CO.'S SUBDIVISION OF TAKOMA PARK  
PART OF LOT 3, BLOCK 73  
RECORDED IN PLAT BOOK B, PLAT 23



SITE PLAN SUMMARY		
1. LOT COVERAGE		
TOTAL LOT AREA	11,250 SF	100%
PERMITTED LOT COVERAGE	3,935 SF	35%
EXISTING LOT COVERAGE	1,195 SF	1%
PROPOSED LOT COVERAGE	1,435 SF	13%
PROPOSED INCREASE	240 SF	2%

No changes to approved plans without written approval from Historic Preservation Commission.

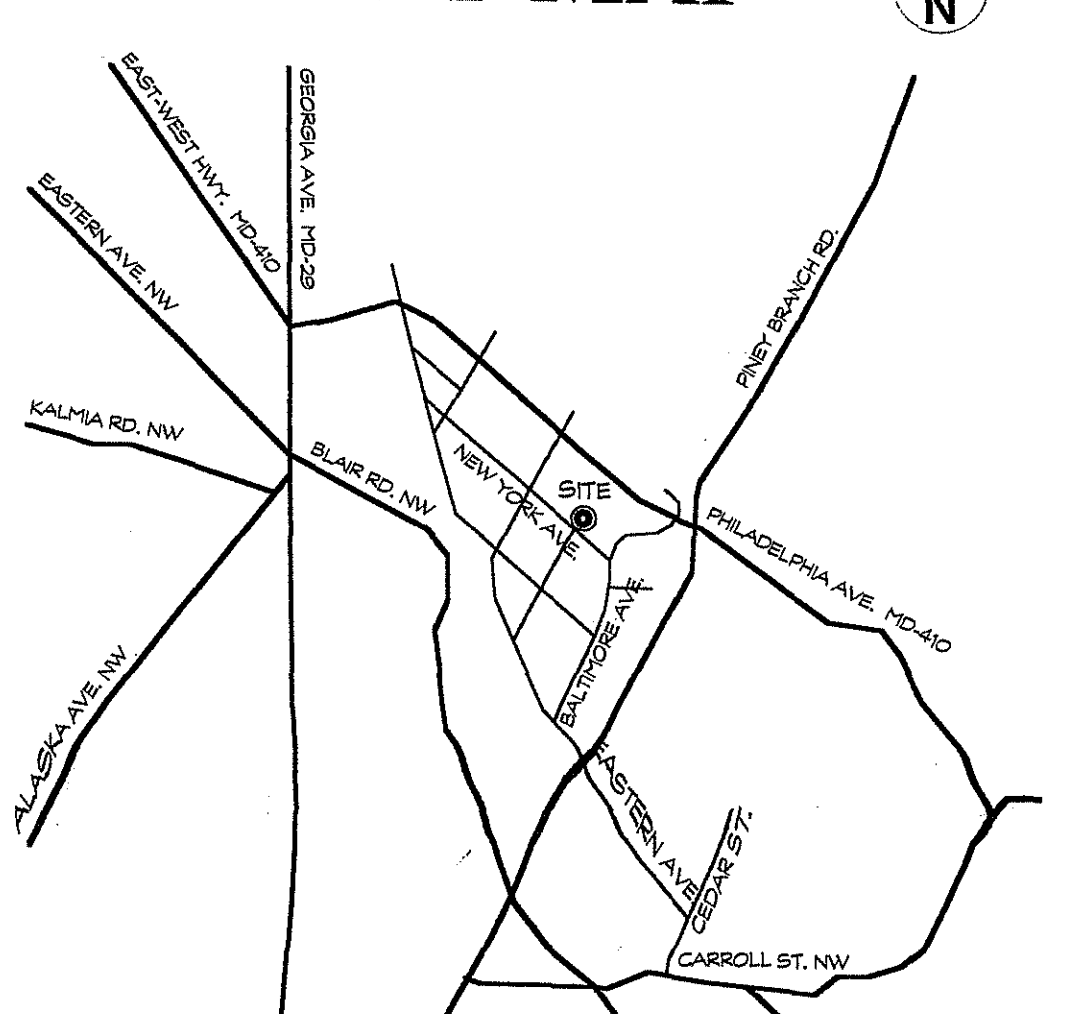
APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*

DATE  
8 DECEMBER 2006 - PERMIT SET

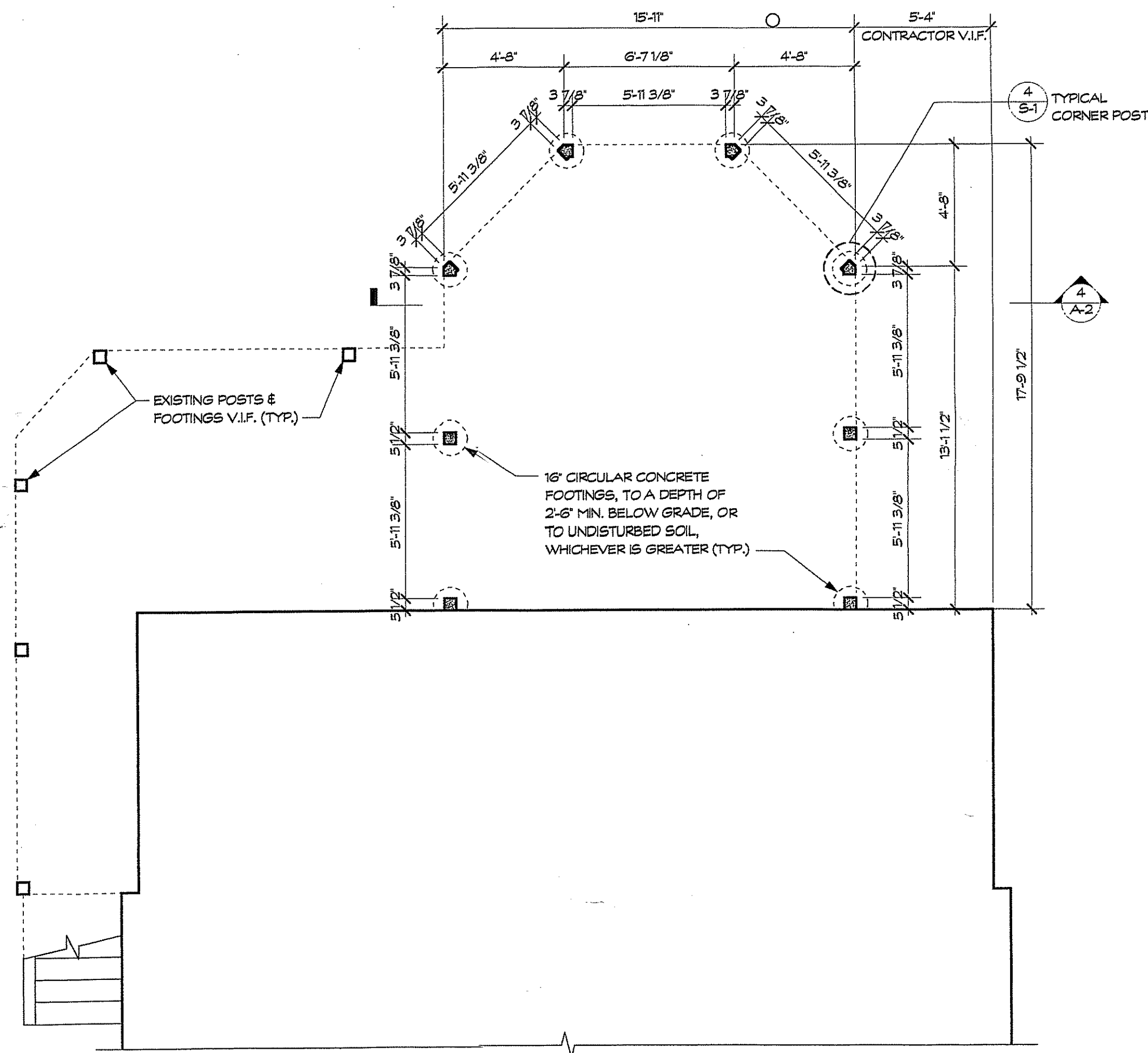
## ABBREVIATIONS

&	AND	EQ	EQUAL	PLWD	PLYWOOD
@	AT	ETR	EXISTING TO REMAIN	PT	PRESSURE TREATED
APP	ABOVE FINISHED FLOOR	EXIST	EXIST	PTD	PAINTED
BLDG	BUILDING	FF	FINISH FLOOR	PR	RISER
BMSM	BASEMENT	FLR	FLOOR	REF	REFRIGERATOR
CJ	CONTROL JOINT	GA	GAUGE	RO	ROUGH OPENING
CAB	CABINET	GWB	GYPSUM WALL BOARD	ROD	REQUIRED
CL	CENTER LINE	HB	HOLE BIB	RN	ROOM
CLG	CEILING	HC	HOLLOW CORE	SC	SOLID CORE
CLR	CLEAR	HT	HEIGHT	SHT	SHEET
CMU	CONCRETE MASONRY UNIT	HDWR	HARDWARE	SHWR	SHOWER
COND	CONDITION	IB	INTERIOR BOX	SIM	SIMILAR
CONC	CONCRETE	LB	LOAD BEARING WALL	SKYLT	SKYLIGHT
CONT	CONTINUOUS	LWB	LAMINATED VENEER LUMBER	SPEC	SPECIFICATION
D	DRYER	LVL	LOAD BEARING WALL	SPRK	SPRINKLER
DIA	DIAMETER	MARB	MARBLE	STL	STEEL
DIM	DIMENSION	MATL	MATERIAL	TBD	TO BE DETERMINED
DN	DOWN	MAX	MAXIMUM	T&G	TONGUE & GROOVE
DR	DOWN / SION	MDO	MEDIUM DENSITY OVERLAY	TOS	TOP OF SLAB
DRS	DOWN'S	MIN	MINIMUM	TPP	TYPICAL
DTL	DETAIL	MANU	MANUFACTURER	UNO	UNLESS NOTED OTHERWISE
DW	DISHWASHER	MTL	METAL	VERIF	VERIFY IN FIELD
DWG	DISHWASHER	MECH	MECHANICAL	VIF	VENTILATION
EIFS	EXTERIOR FINISHING INSULATION	NIC	NOT IN CONTRACT	W	WASHER
EL	ELEVATION	NTS	NOT TO SCALE	W/	WITH
ELEC	ELECTRICAL	OC	ON CENTER	WC	TOILET/WATER CLOSET
EXP	EXPANSION	OPH	OPPOSITE HAND	WD	WOOD
		OSB	ORIENTED STRAND BOARD	W/O	WITHOUT
		PLAM	PLASTIC LAMINATE	WWM	WELDED WIRE MESH

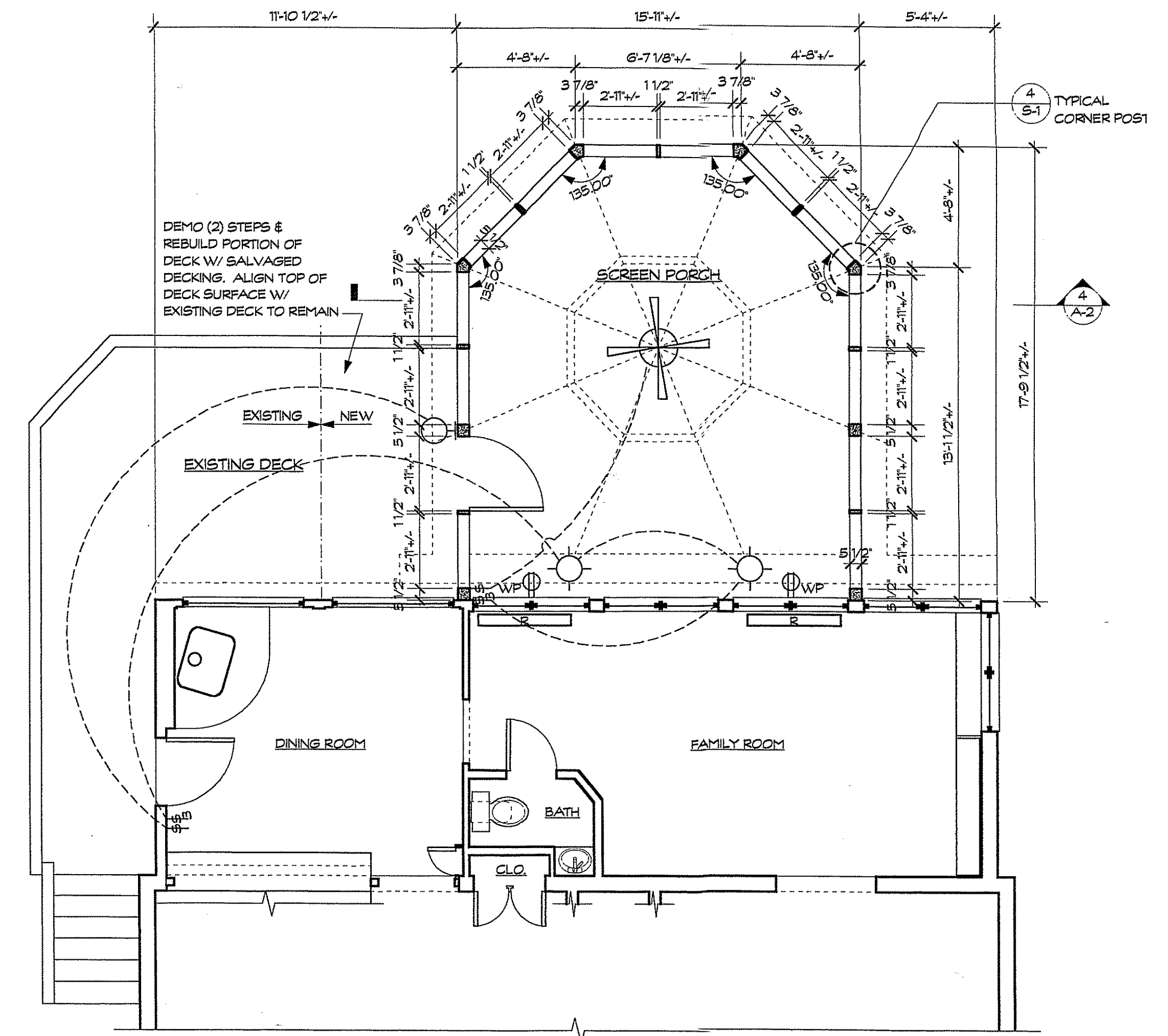
## VICINITY MAP



HERMAN PORCH ADDITION # 0619



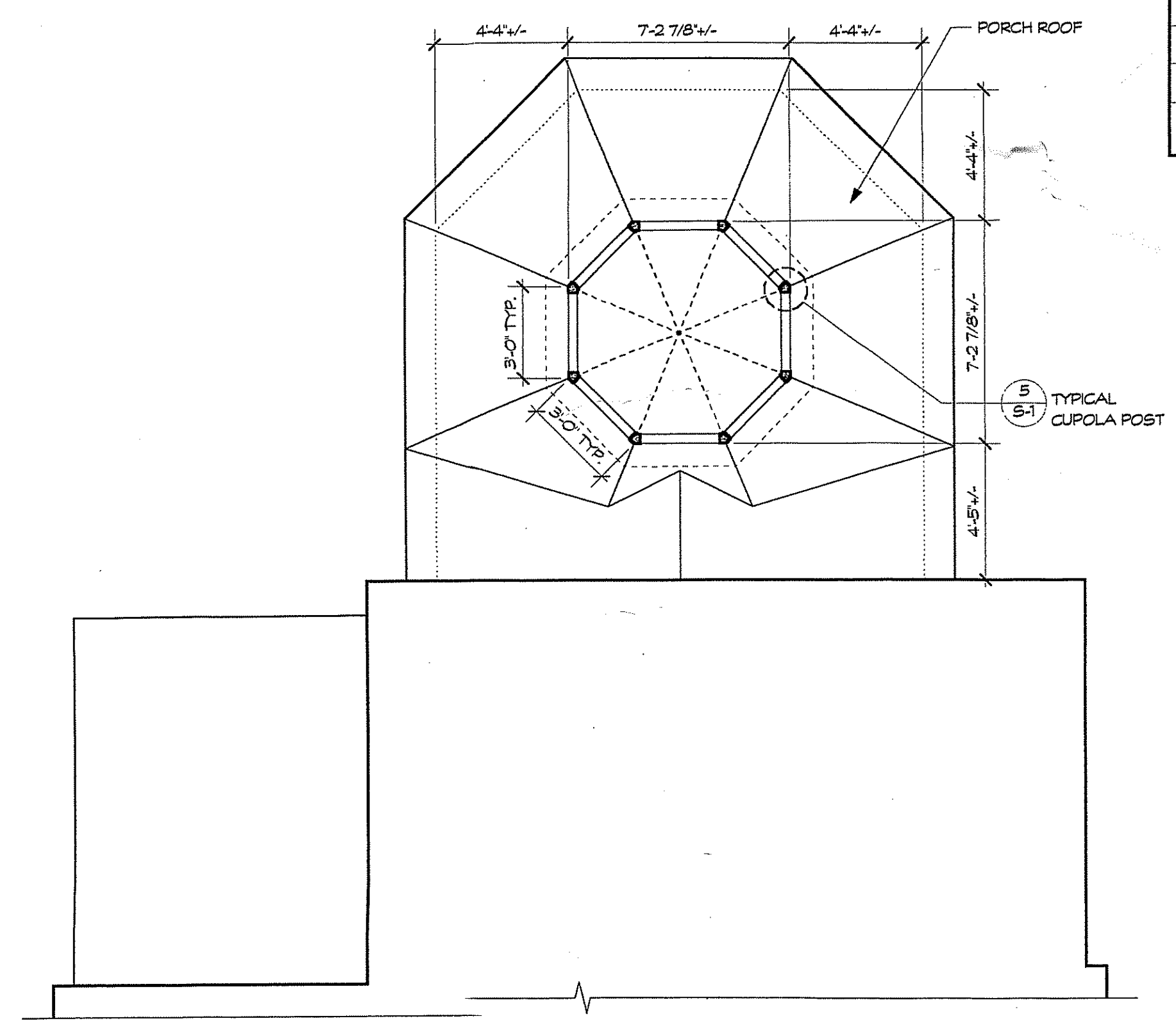
**1 FOUNDATION PLAN**  
Scale: 1/4" = 1'-0"



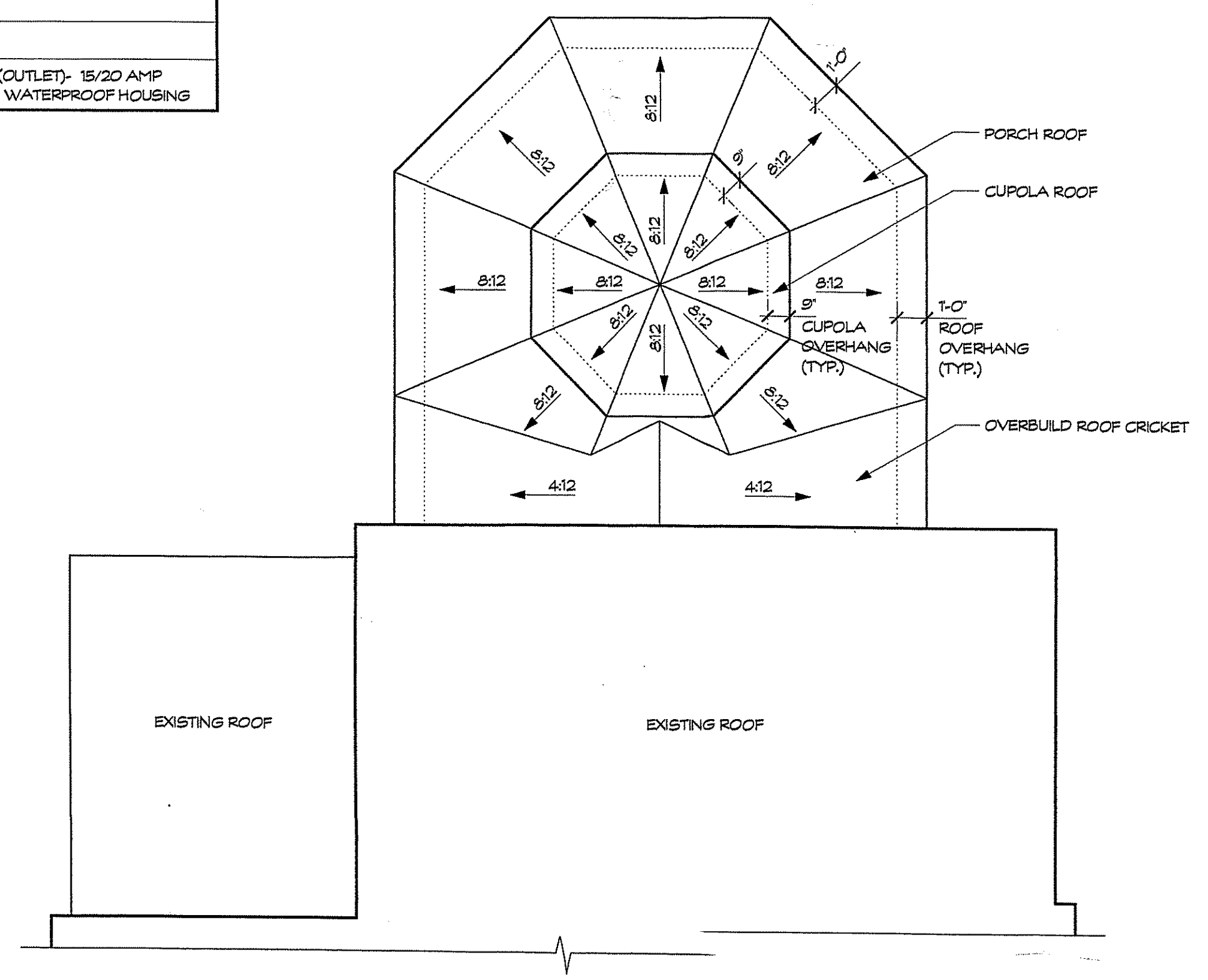
**2 FLOOR PLAN**  
Scale: 1/4" = 1'-0"

CONTRACTOR SHALL COORDINATE LIGHTING & POWER WITH OWNER

LIGHTING & ELECTRIC SYMBOLS	
	SURFACE MOUNTED CEILING LIGHT FIXTURE- PROVIDE \$75 ALLOWANCE
	WALL-MOUNTED LIGHT FIXTURE- PROVIDE \$100 ALLOWANCE
	CEILING FAN/LIGHT- OWNER TO PROVIDE
	SWITCH
	THREE WAY SWITCH
	GFI DUPLEX RECEPTACLE (OUTLET)- 15/20 AMP EXTERNALLY MOUNTED IN WATERPROOF HOUSING



**3 CUPOLA PLAN**  
Scale: 1/4" = 1'-0"



**4 ROOF PLAN**  
Scale: 1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*

**HERMAN PORCH ADDITION**

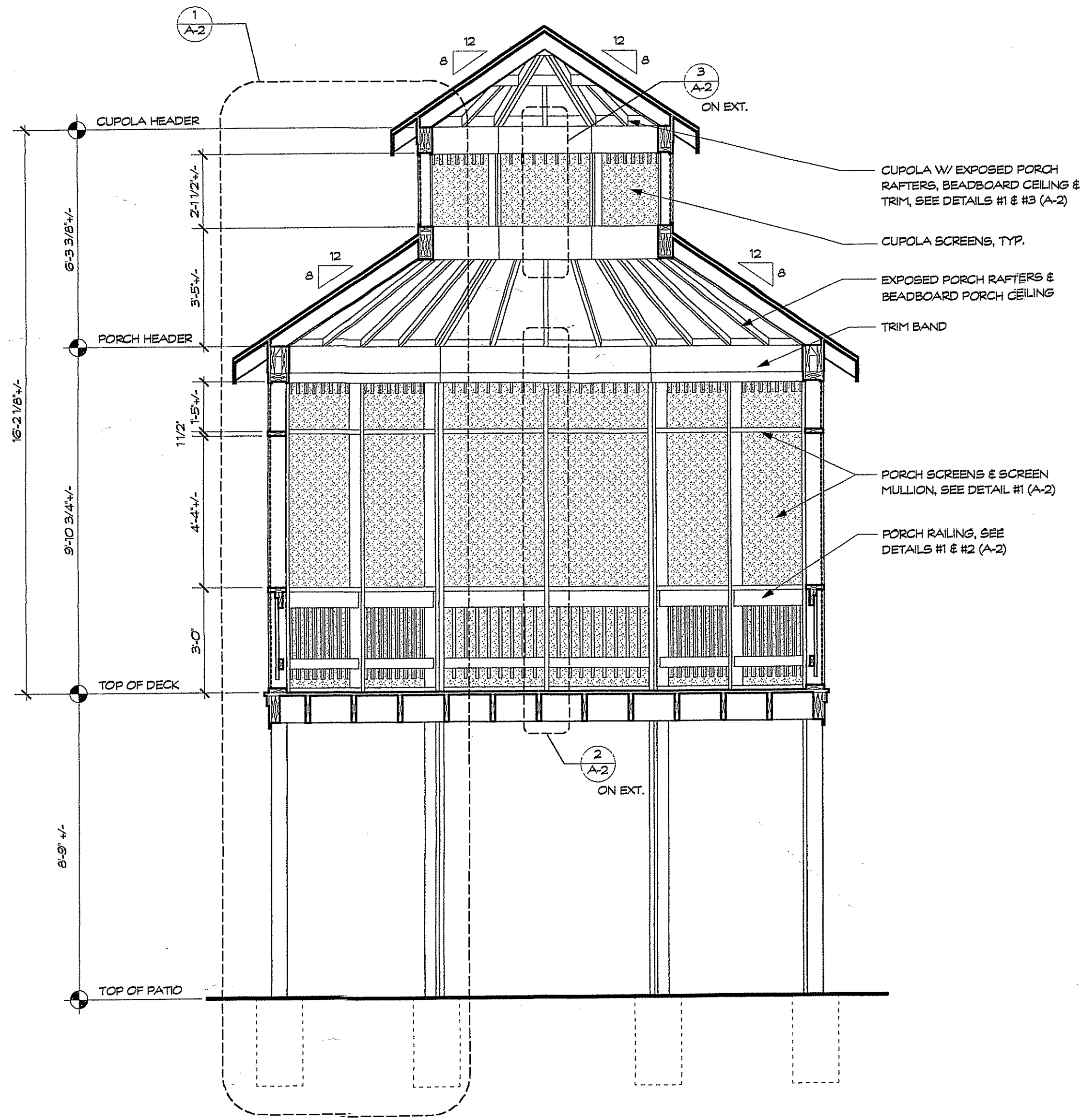
511 New York Ave., Takoma Park, MD 20912  
Project # 0619

Bennett Frank McCarthy Architects Inc.  
7003 Carroll Avenue  
Takoma Park, Maryland 20912  
301-270-9480

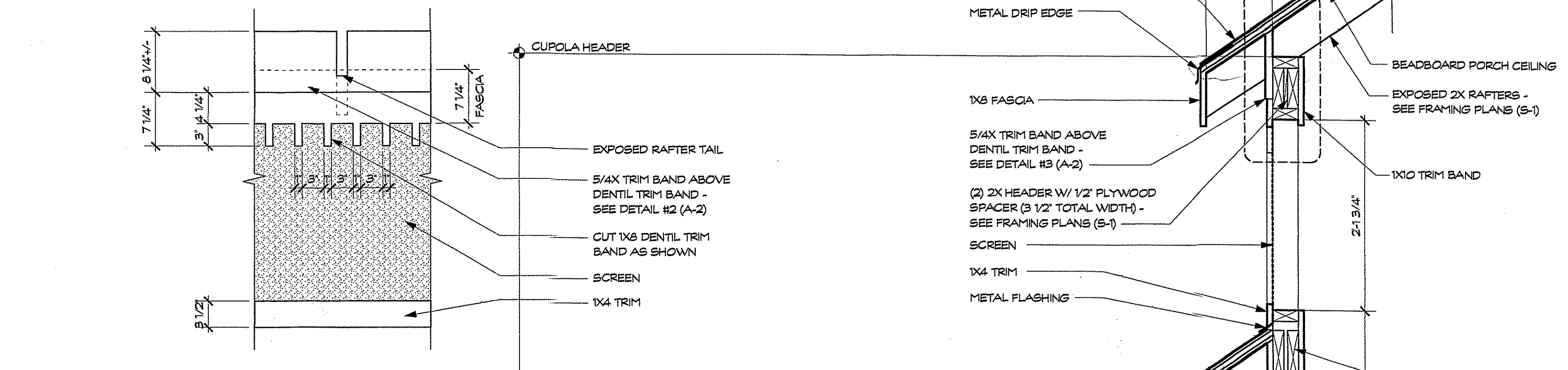
Date:  
8 DEC 2006  
Permit Set

Sheet Title: FLOOR & ROOF PLANS  
Scale: 1/4" = 1'-0"

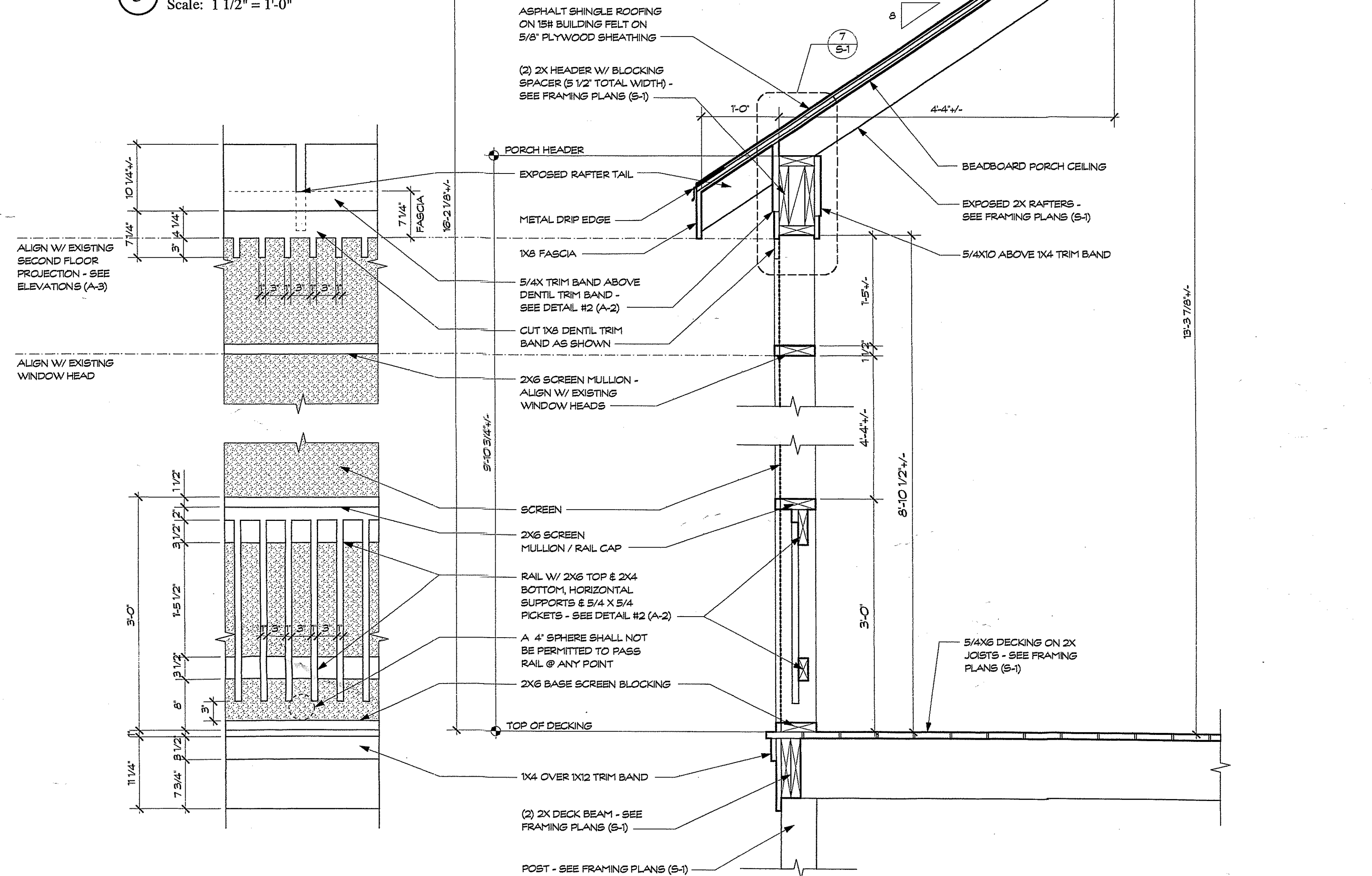
A-1



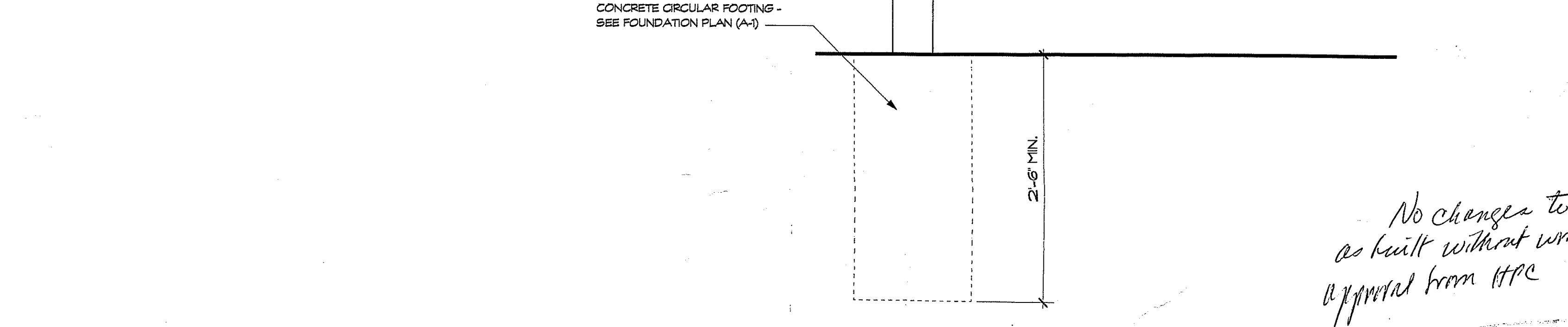
**4 SECTION**  
Scale: 3/8" = 1'-0"



**3 CUPOLA TRIM DETAIL**  
Scale: 1 1/2" = 1'-0"



**2 PORCH RAIL & TRIM DETAIL**  
Scale: 1 1/2" = 1'-0"



**1 WALL SECTION**  
Scale: 1" = 1'-0"

*No changes to  
as built without written  
approval from HFC*

APPROVED  
Professional Engineer  
*John P. Clinton*

Bennett Frank McCarthy Architects Inc.  
7003 Carroll Avenue  
Takoma Park, Maryland 20912  
301-270-9480

**HERMAN PORCH ADDITION**  
511 New York Ave., Takoma Park, MD 20912  
Project # 0619

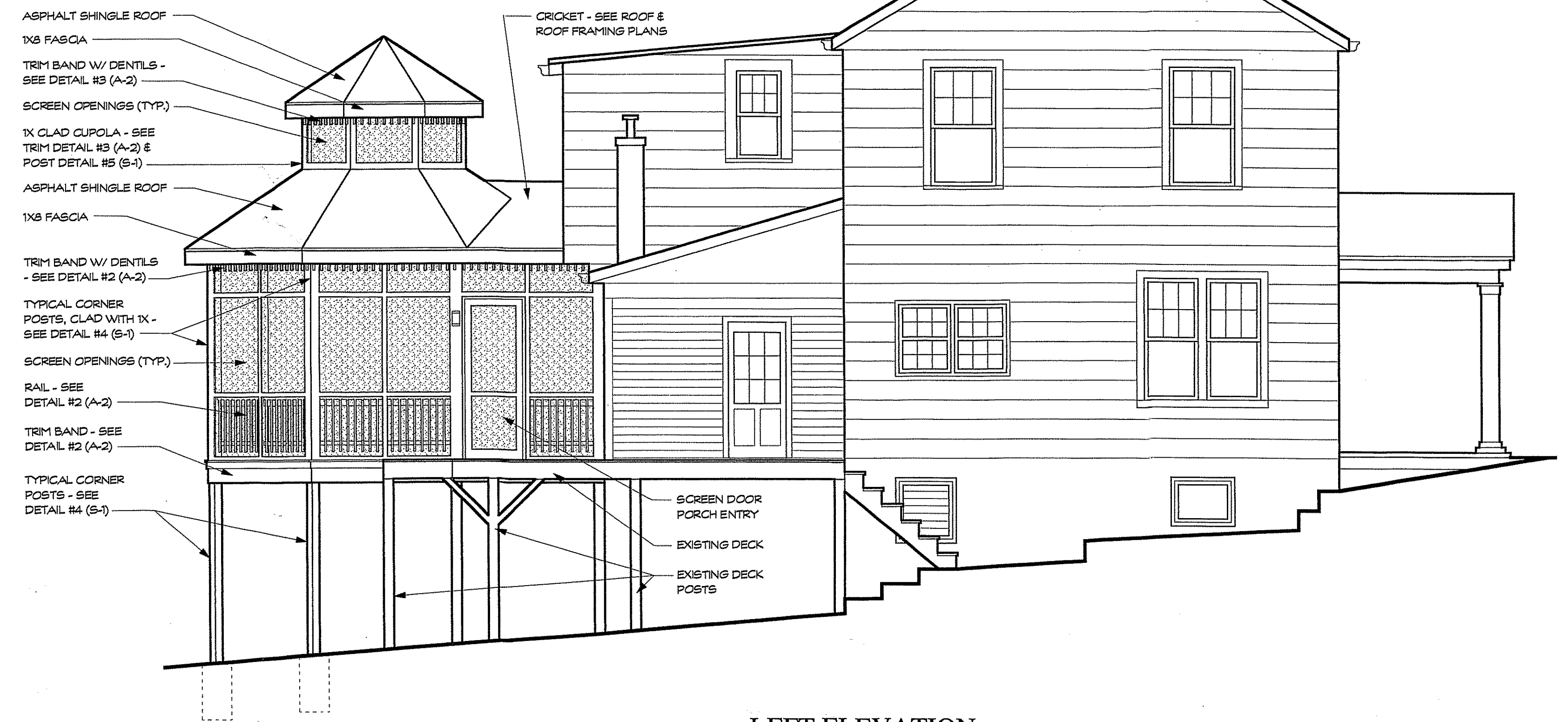
Date:  
8 DEC 2006  
Permit Set

Sheet Title:  
**WALL SECTION, DETAILS  
& BUILDING SECTION**  
Scale: As Noted

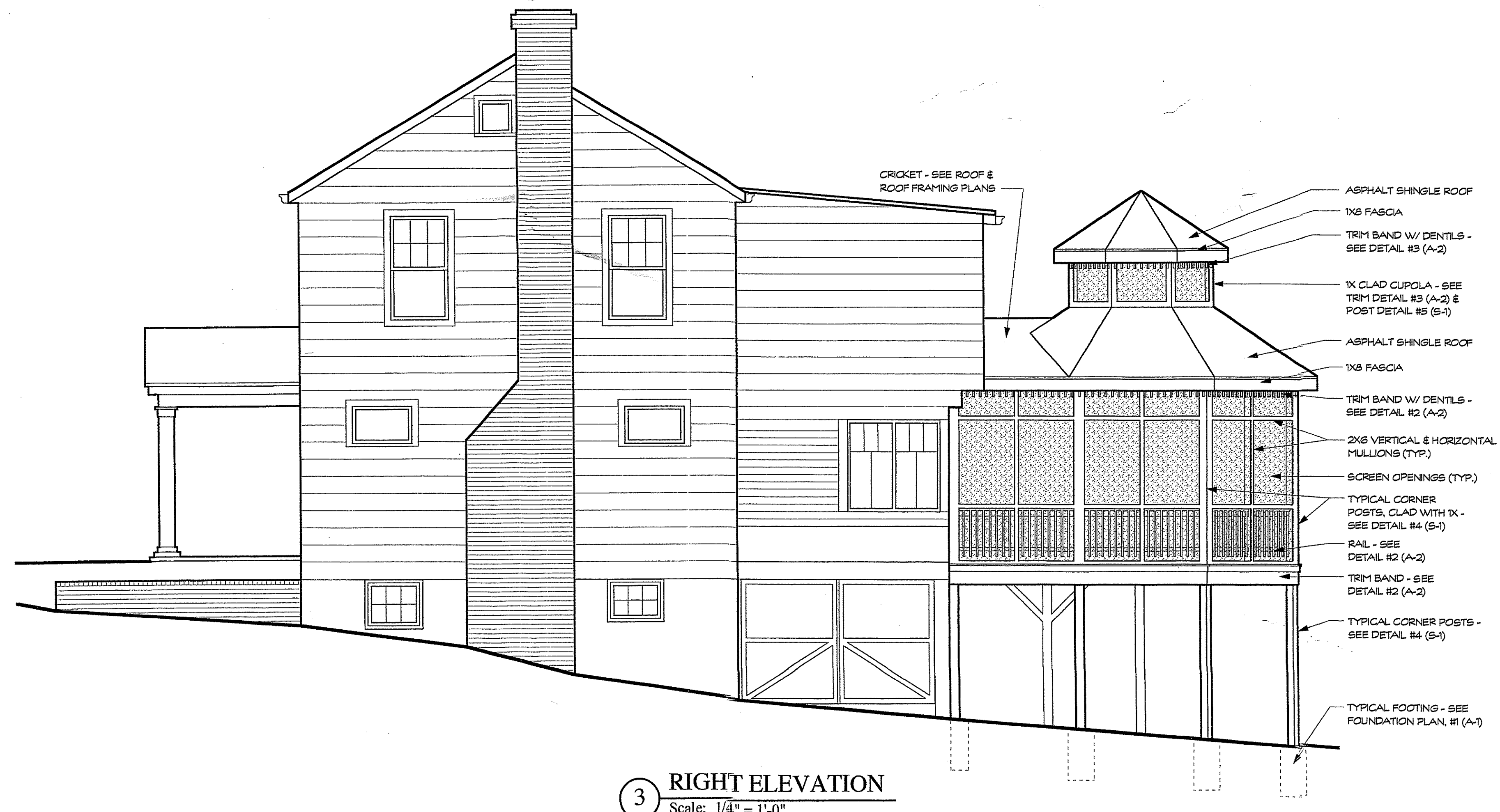
**A-2**



1 REAR ELEVATION  
Scale: 1/4" = 1'-0"



2 LEFT ELEVATION  
Scale: 1/4" = 1'-0"



3 RIGHT ELEVATION  
Scale: 1/4" = 1'-0"

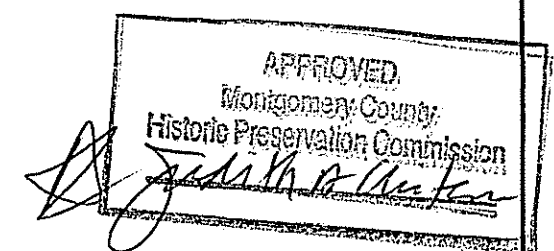
HERMAN PORCH ADDITION

511 New York Ave., Takoma Park, MD 20912  
Project # 0619

Bennett Frank McCarthy Architects Inc.  
7003 Carroll Avenue  
Takoma Park, Maryland 20912  
301-270-9480

Date:  
8 DEC 2006  
Permit Set

Sheet Title: ELEVATIONS  
Scale: 1/4" = 1'-0"



A-3



Structural Design Group, Limited  
Consulting Structural Engineers

12 South Summit Avenue Suite 110, Gaithersburg, MD 20877  
Telephone (301) 987-9234 Fax (301) 987-9237

Bennett Frank McCarthy Architects Inc.  
7003 Carroll Avenue  
Takoma Park, Maryland 20912  
301-270-9480

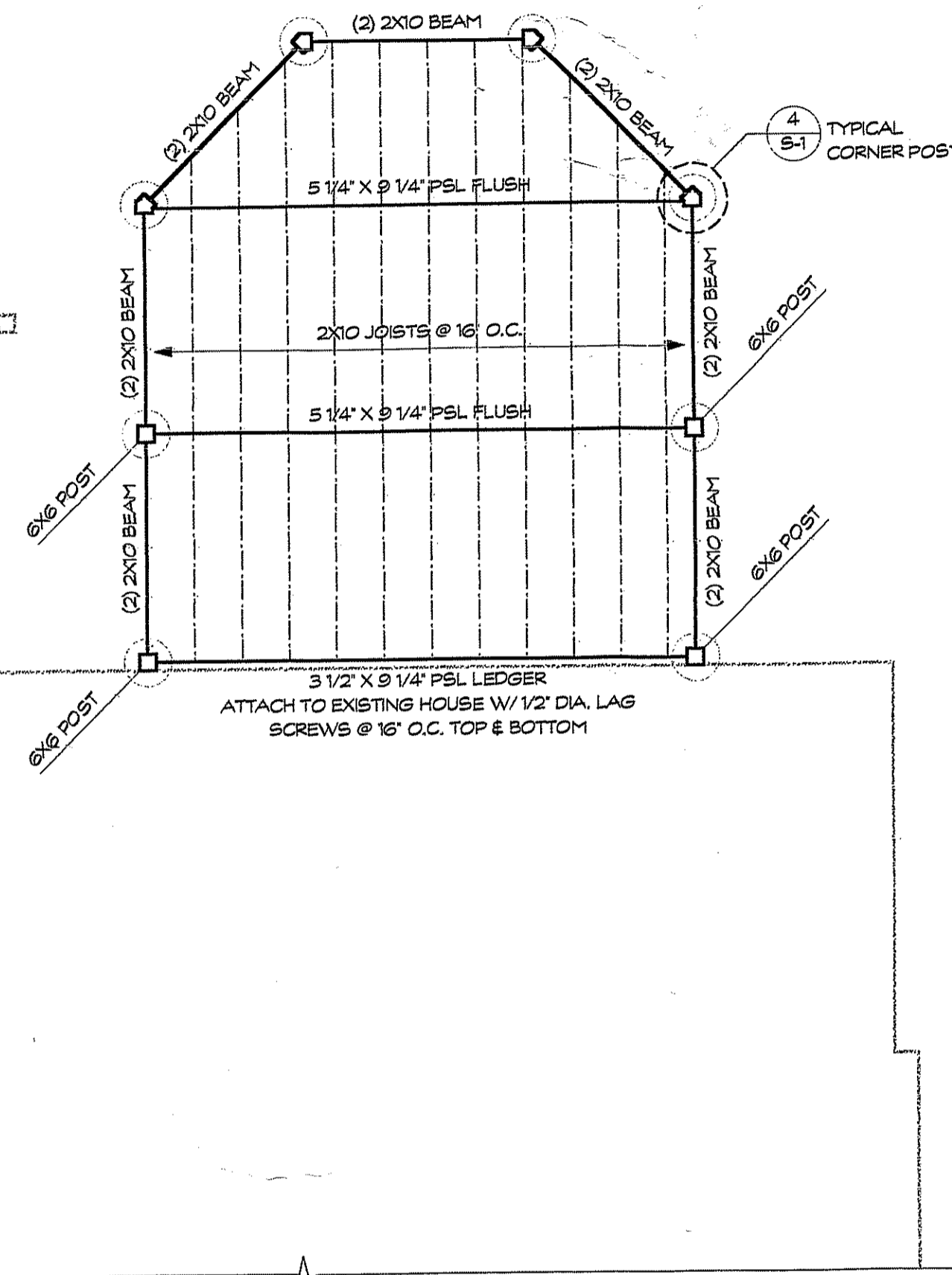
**HERMAN PORCH ADDITION**

511 New York Ave., Takoma Park, MD 20912  
Project # 0619

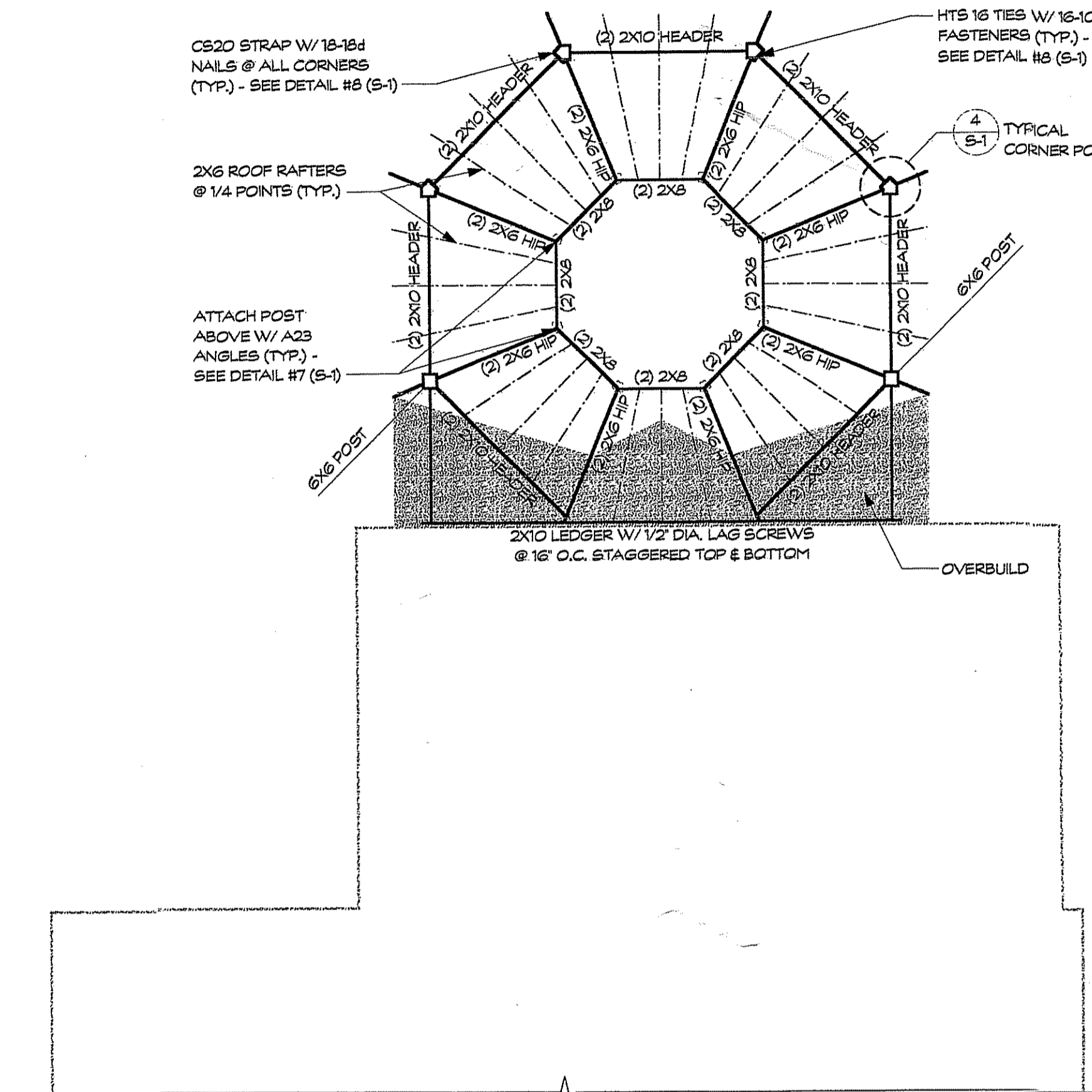
Date:  
8 DEC 2006  
Permit Set

Sheet Title: **FRAMING PLANS & STRUCTURAL DETAILS**  
Scale: As Noted

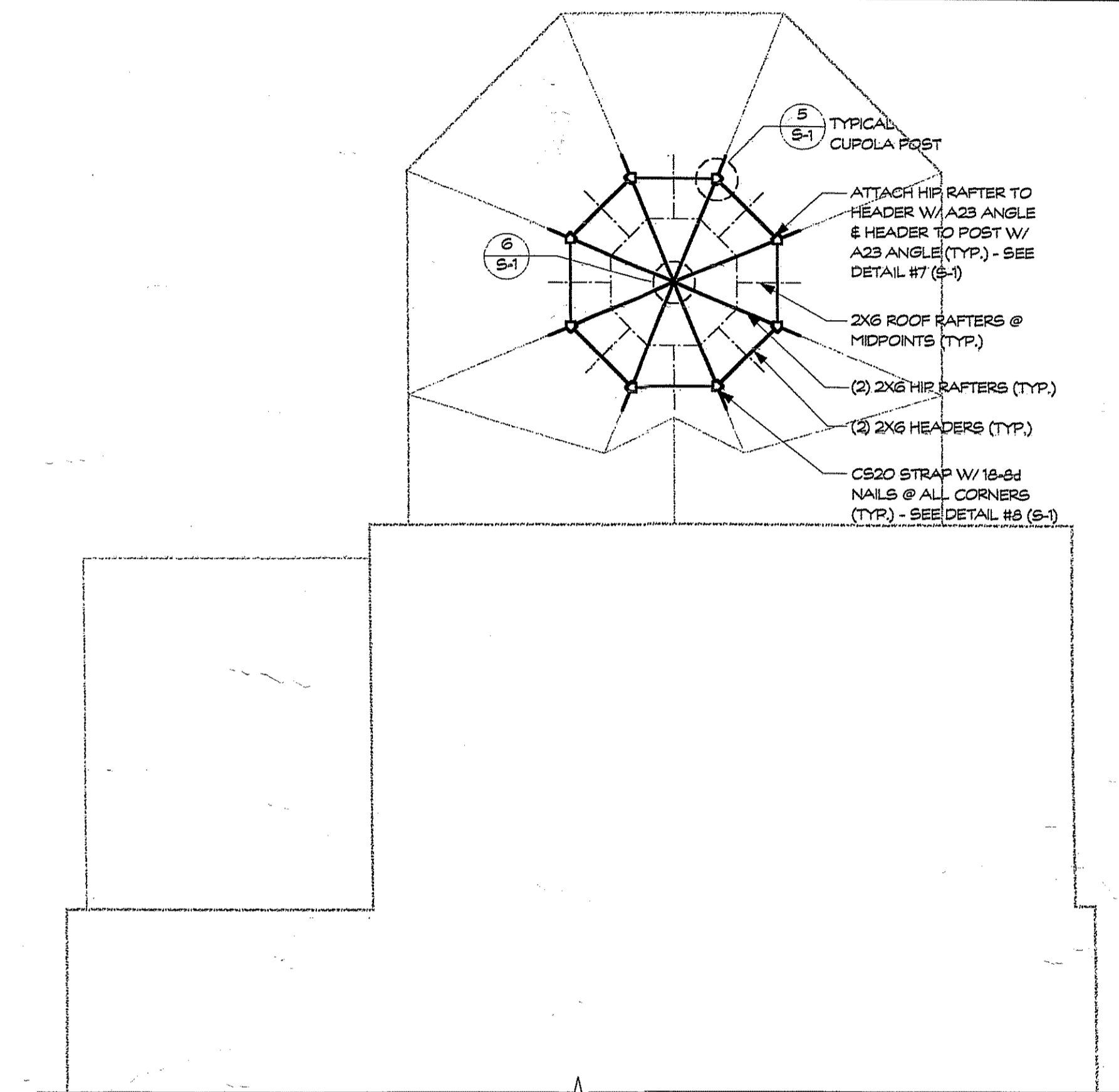
S-1



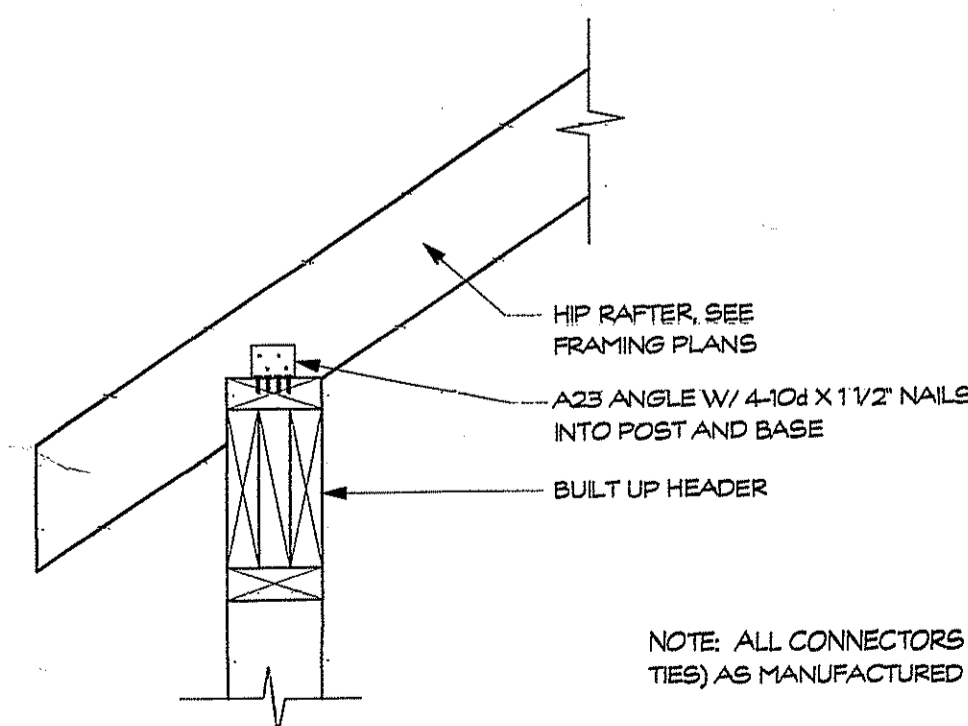
**1 DECK FRAMING PLAN**  
Scale: 1/4" = 1'-0"



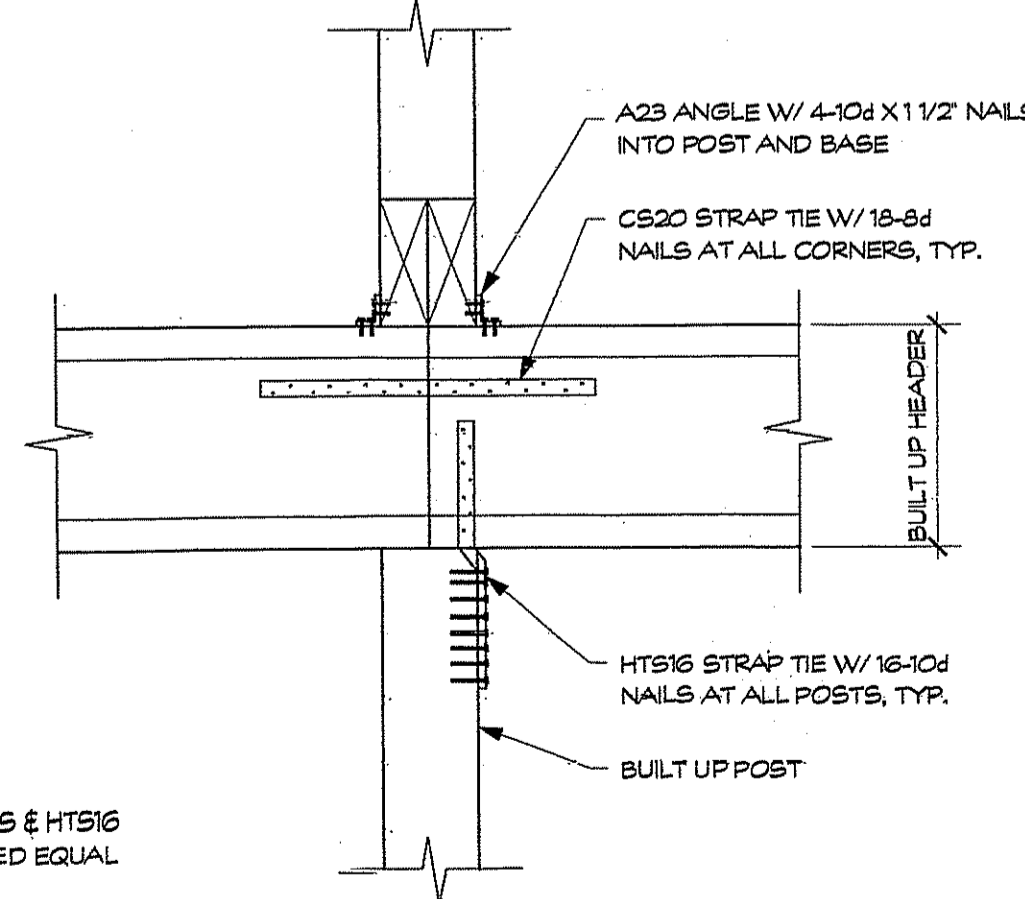
**2 PORCH ROOF FRAMING PLAN**  
Scale: 1/4" = 1'-0"



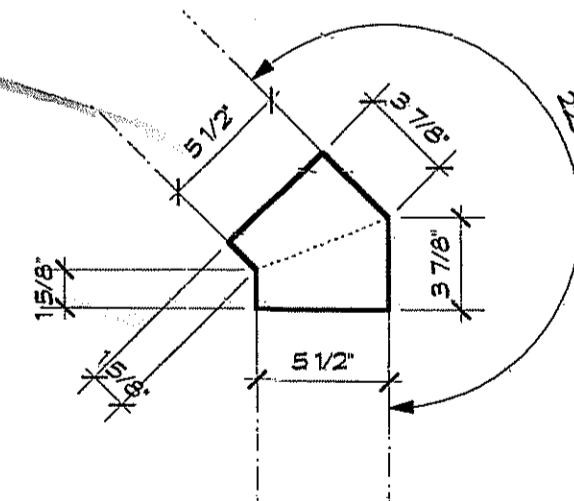
**3 CUPOLA FRAMING PLAN**  
Scale: 1/4" = 1'-0"



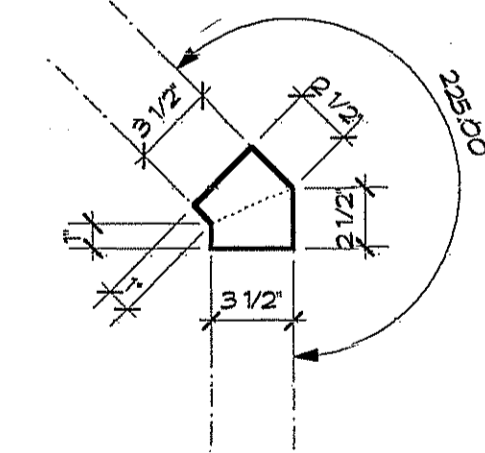
**7 CONNECTION DETAIL**  
Scale: 1" = 1'-0"



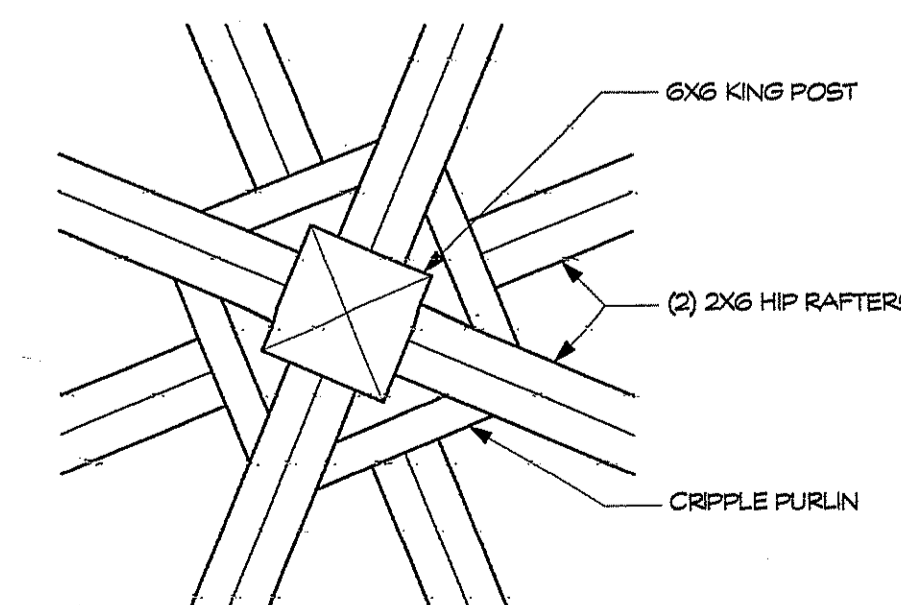
**8 CONNECTION DETAIL**  
Scale: 1" = 1'-0"



**4 TYPICAL CORNER POST**  
Scale: 1 1/2" = 1'-0"



**5 CUPOLA CORNER POST**  
Scale: 1 1/2" = 1'-0"

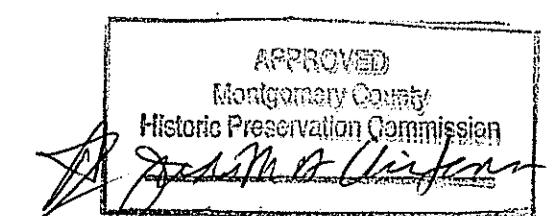


**6 CUPOLA CROWN**  
Scale: 1 1/2" = 1'-0"

NOTE: ALL CONNECTORS (A23 ANGLE, CS20 STRAPS & HTS16 TIES) AS MANUFACTURED BY SIMPSON, OR APPROVED EQUAL

NOTE: CREATE POST BY CUTTING 6X6 POST AT 22.5° ANGLE TO DIMENSIONS AS SHOWN. GLUE TO SECURE.

NOTE: CREATE POST BY CUTTING 4X4 POST AT 22.5° ANGLE TO DIMENSIONS AS SHOWN. GLUE TO SECURE.



# APPLICATION FOR HISTORIC AREA WORK PERMIT

T

431158

Contact Person: SUSAN DARCY

Daytime Phone No.: 301.270.9480

Tax Account No.: 01061424

Name of Property Owner: EUGENE HERMAN & ESTHER HERMAN Daytime Phone No.: 301.585.5832

Address: 511 NEW YORK AVENUE TAKOMA PARK 20912  
Street Number City State Zip Code

Contractor: WALLY HEINE HOME IMPROVEMENT Phone No.: 240.505.7888

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: BENNET FRANK McARTHUR ARCHITECTS Daytime Phone No.: 301.270.9480  
SUSAN DARCY

### LOCATION OF BUILDING/PREMISE

House Number: 511 Street: NEW YORK AVENUE

Town/City: TAKOMA PARK Nearest Cross Street: BUFFALO AVENUE

Lot: 3 Block: 73 Subdivision: THE T.P.L. & T. CO.'S SUBDIVISION

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

### PART ONE: TYPE OF PERMIT ACTION AND USE

#### 1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

#### CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 20,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Susan Darcy

Signature of owner or authorized agent

23 Aug 2006

Date

Approved:

Julia O'Malley

For Chairperson, Historic Preservation Commission

1. WRIITEN DESCRIPTION OF PROPOSAL

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

TWO STORY WOOD FRAME COLONIAL WITH GABLED FRONT PORCH  
6/1 DOUBLE HUNG WINDOWS W/ WOOD SHUTTERS, 4 1/2" EXPOSURE WOOD SIDING ON  
FRONT FACADE, ASBESTOS SIDING ON SIDES OF MAIN HOUSE.  
EXISTING 2<sup>ND</sup> STORY REAR ADDITION WITH 4 1/4" EXPOSURE WOOD SIDING AND  
10 1/4" SIDING ABOVE. ADDITION WAS BUILT CA 1975 ±  
HOUSE IS ON DEEP LOT SLOPING TOWARDS BACK. WOODED.

---

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SCREEN PORCH ADDITION ON TO EXTENDED EXISTING WOOD DECK  
AND WILL PUNCTUATE THE FLAT AND LARGELY BLANK REAR FACADE  
OF THE EXISTING HOUSE ADDITION, THEREBY ENHANCING THE QUALITY OF  
THE HISTORIC DISTRICT. SITE-LINE STUDIES SUGGEST THAT THE NEW PORCH  
WILL NOT BE VISIBLE FROM THE NEW YORK AVENUE RIGHT-OF-WAY.

---

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

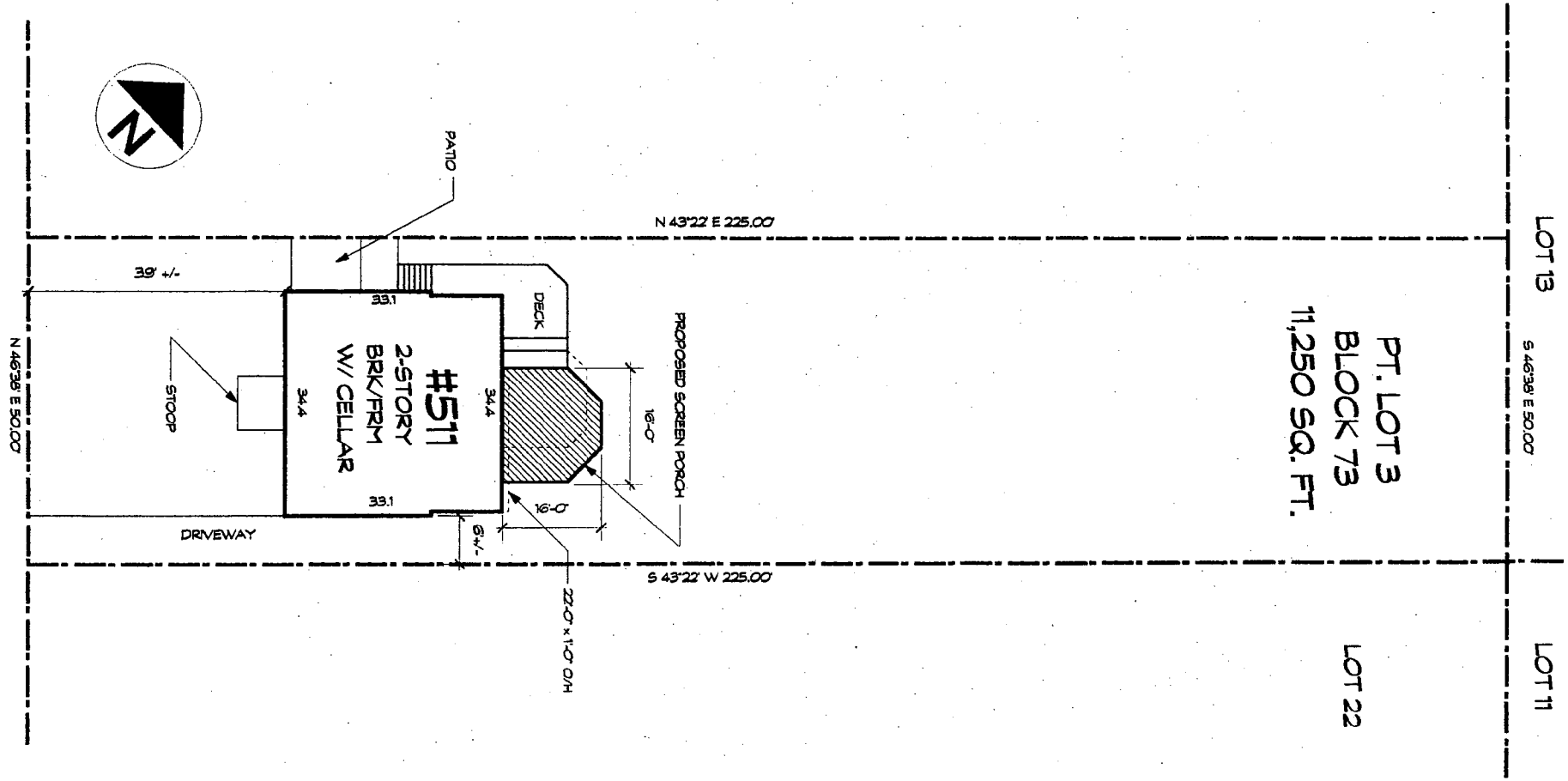
6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS



NEW YORK AVE

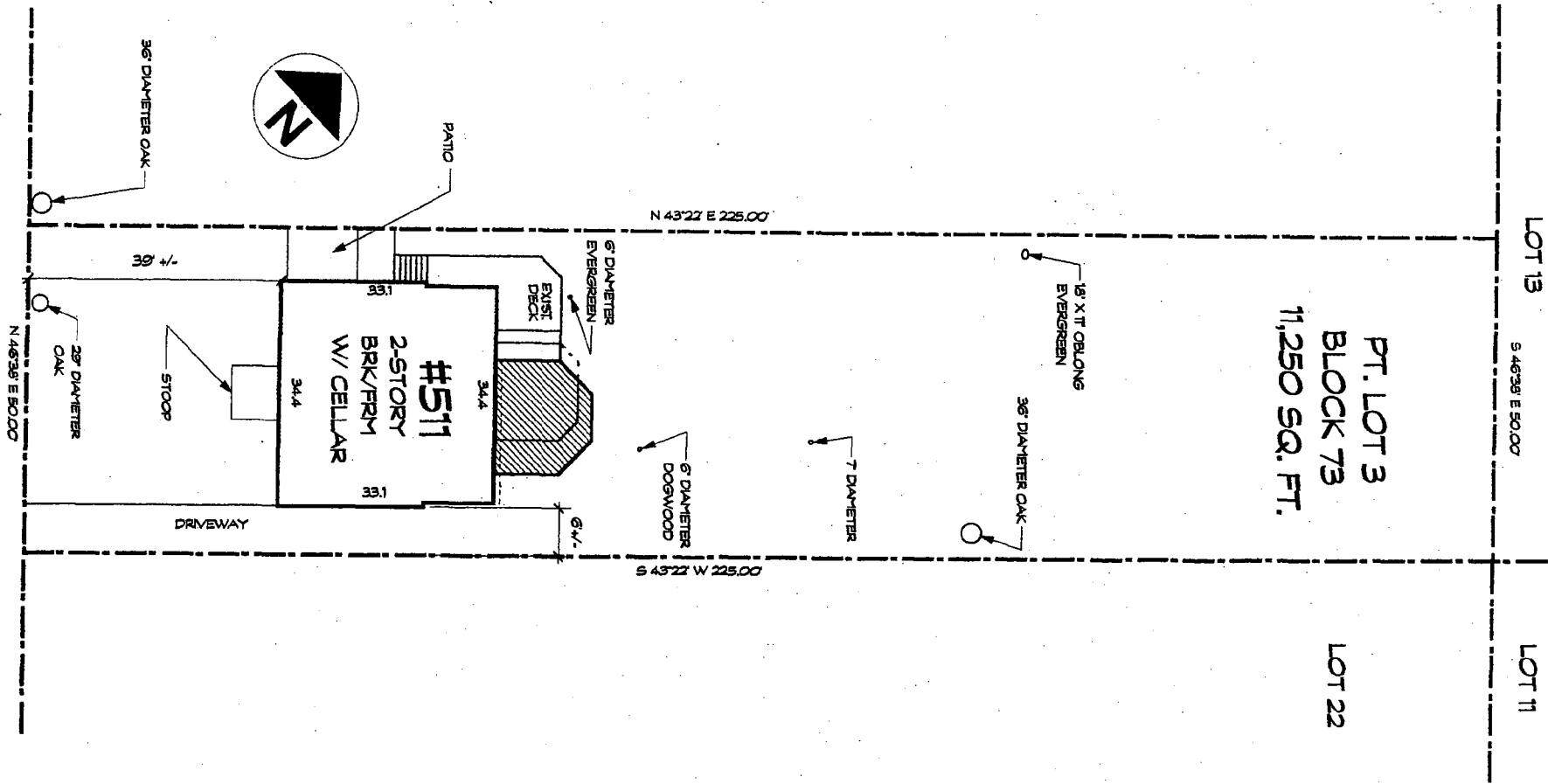


**HERMAN PORCH ADDITION**  
 11 New York Ave., Takoma Park, MD 20912  
 Bennett Frank McCarthy Architects Inc.  
 003 Carroll Avenue  
 Takoma Park, Maryland 20912 301-270-9480

#0619  
 1/16" = 1'-0"  
 08.23.06

SITE PLAN  
**SP-1**

NEW YORK AVE



**HERMAN PORCH ADDITION**

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

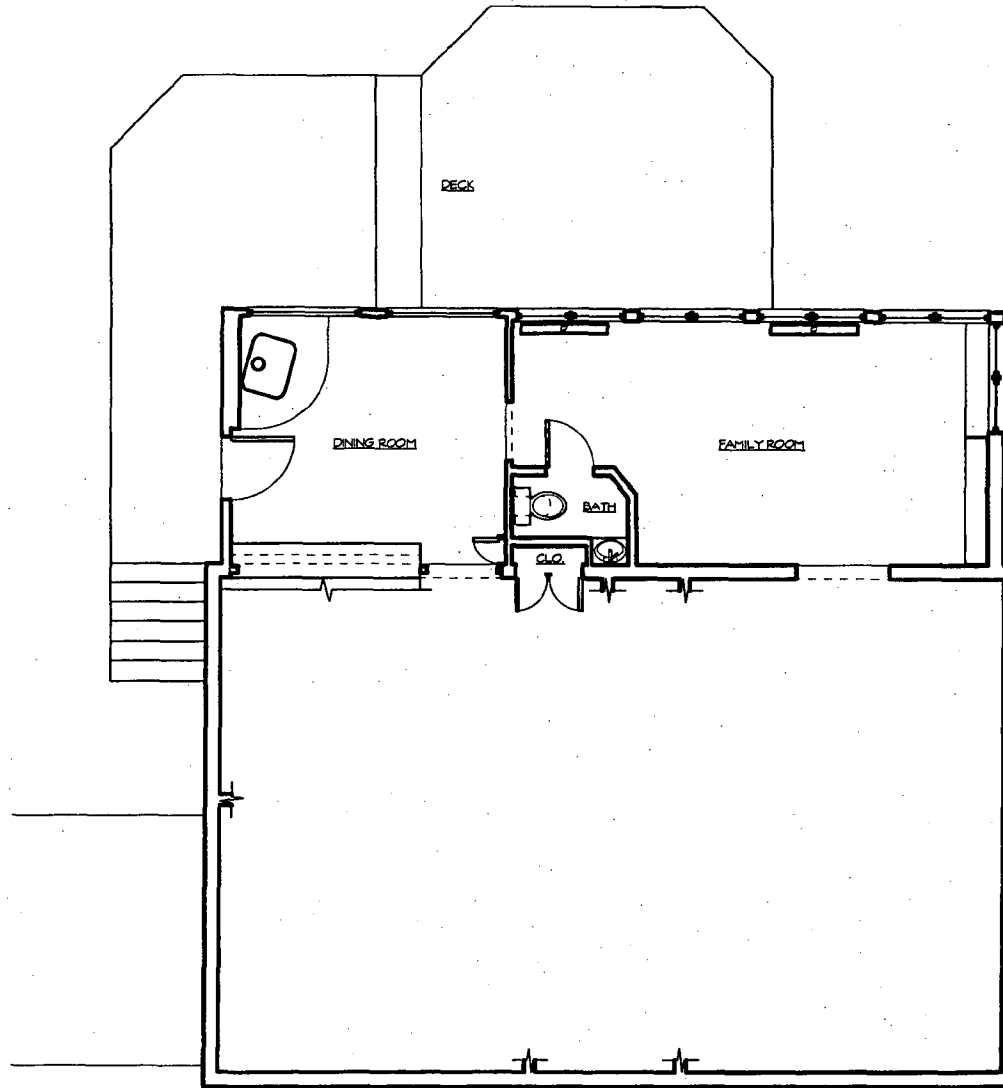
Takoma Park, Maryland 20912

301-270-9480

TREE SURVEY

#0619  
1/16" = 1'-0"  
08.23.06

TS-1



## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

EXISTING FIRST FLOOR

#0619

1/8" = 1'-0"

08.23.06

# EC-1



## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

EXISTING FRONT ELEVATION

#0619

1/8" = 1'-0"

08.23.06

EC-2



## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

EXISTING SIDE ELEVATION

#0619

1/8" = 1'-0"

08.23.06

EC-3



## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

EXISTING REAR ELEVATION

#0619

1/8" = 1'-0"

08.23.06

EC-4



## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

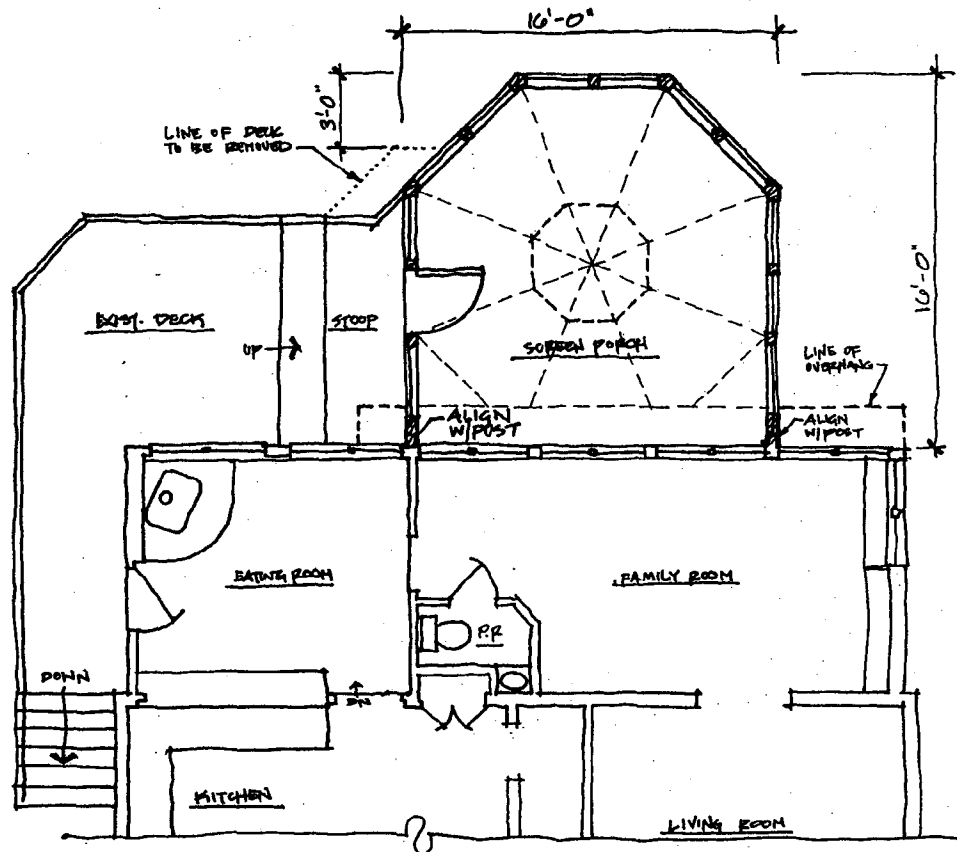
EXISTING SIDE ELEVATION

#0619

1/8" = 1'-0"

08.23.06

EC-5



# Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

PROPOSED FIRST FLOOR

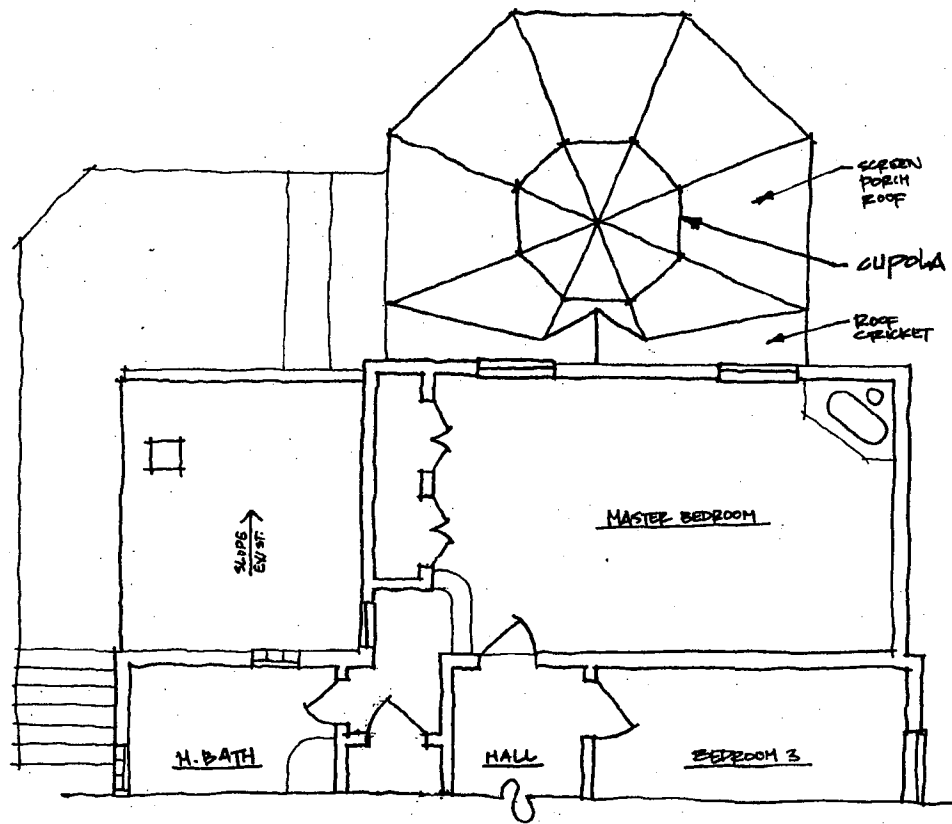
#0619

1/8" = 1'-0"

08.23.06

A-1





# Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

## PROPOSED SECOND FLOOR/ROOF PLAN

#0619

1/8" = 1'-0"

08.23.06

A-2



## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

PROPOSED SIDE ELEVATION

#0619

1/8" = 1'-0"

08.23.06

A-3



## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

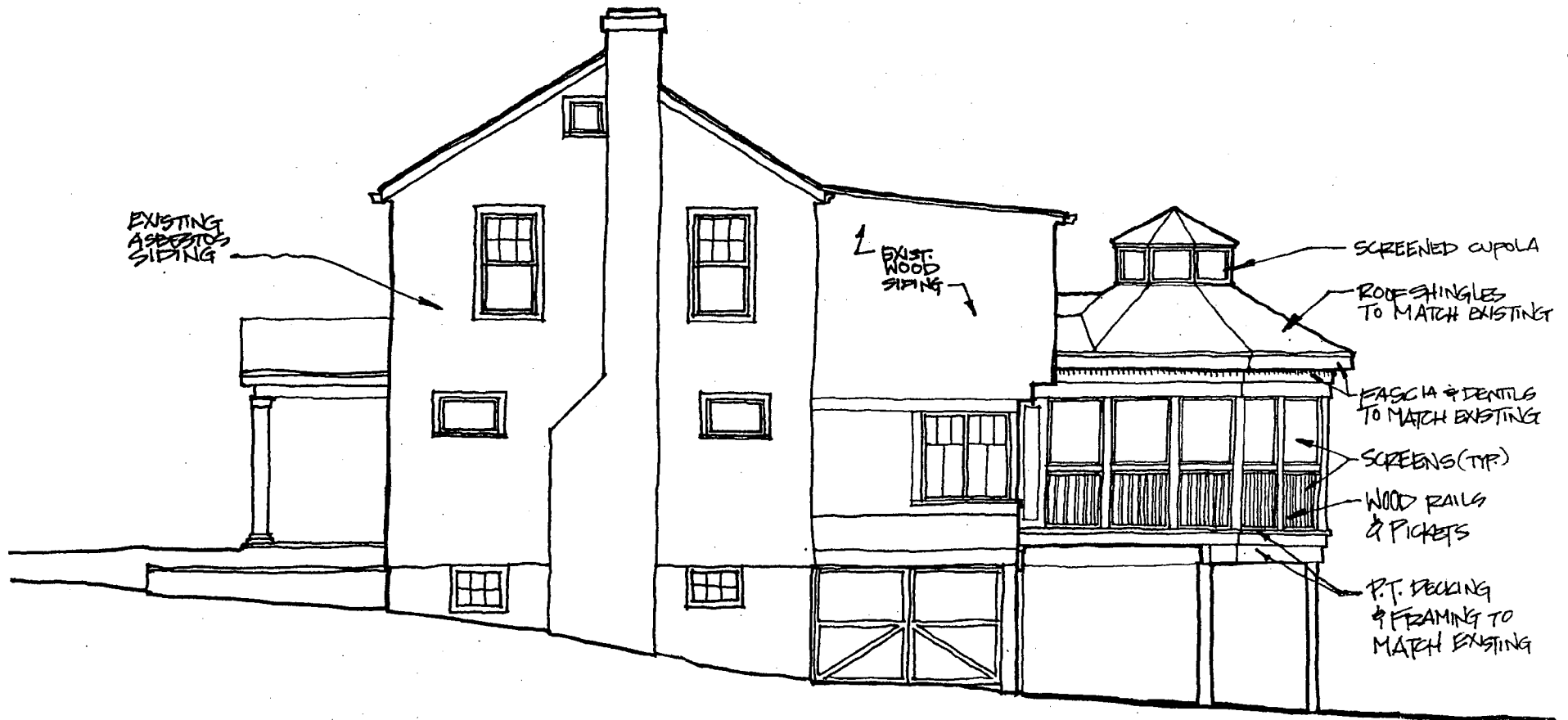
PROPOSED BACK ELEVATION

#0619

1/8" = 1'-0"

08.23.06

A-4



## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

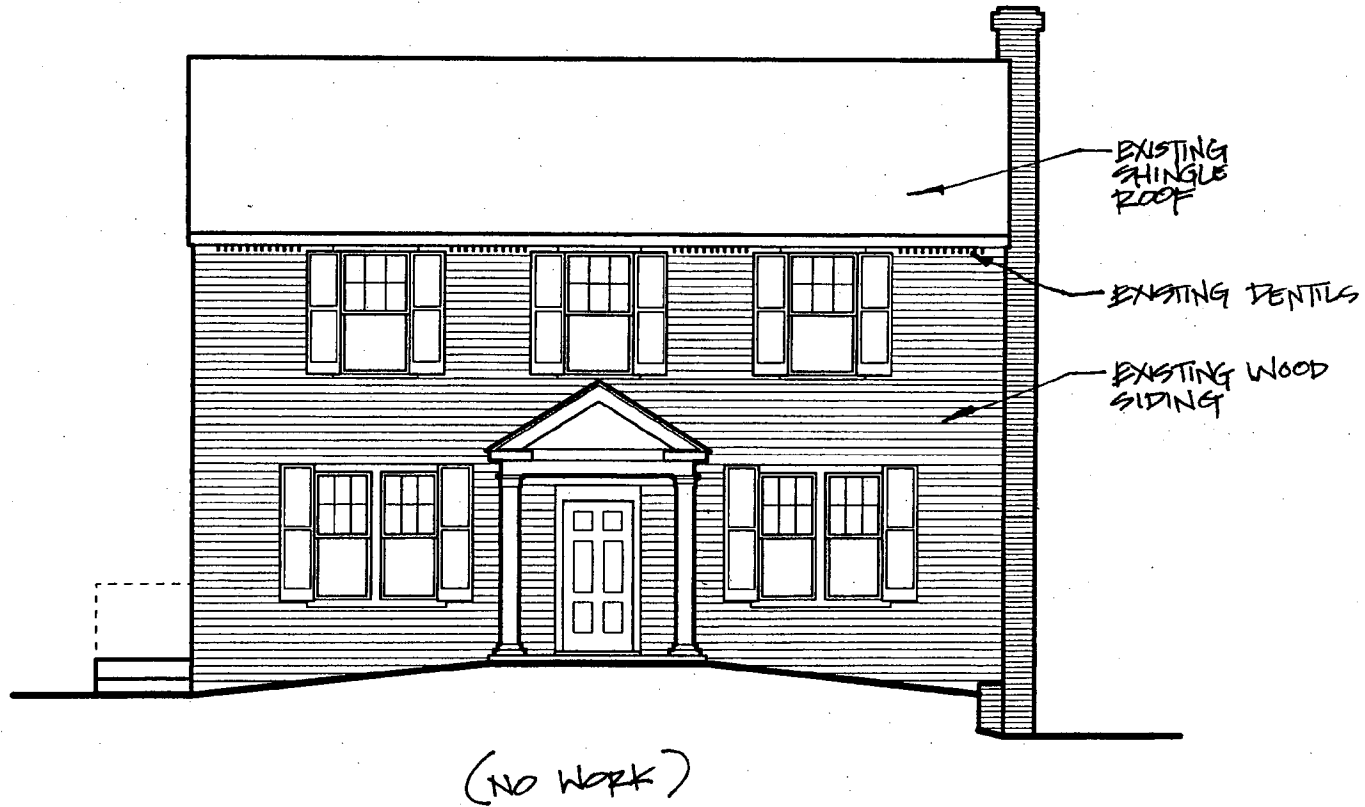
PROPOSED SIDE ELEVATION

#0619

1/8" = 1'-0"

08.23.06

A-5



## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

PROPOSED FRONT ELEVATION

#0619

1/8" = 1'-0"

08.23.06

A-6



**HERMAN RESIDENCE**  
511 NEW YORK AVE., TAKOMA PARK, MD 20912  
FRONT ELEVATION



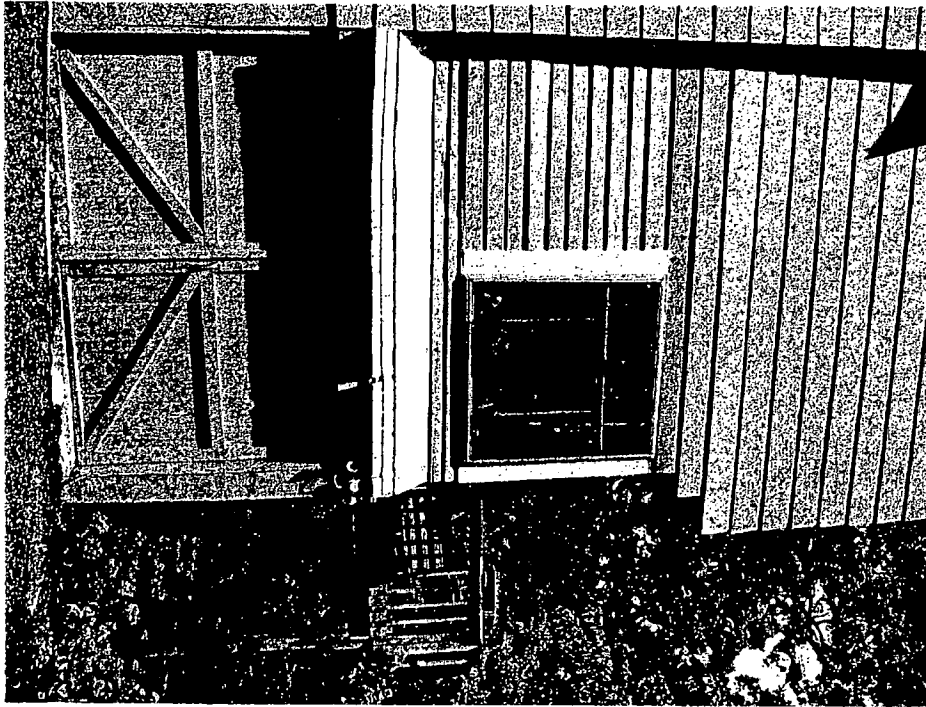
**HERMAN RESIDENCE**  
511 NEW YORK AVE., TAKOMA PARK, MD 20912  
REAR ELEVATION



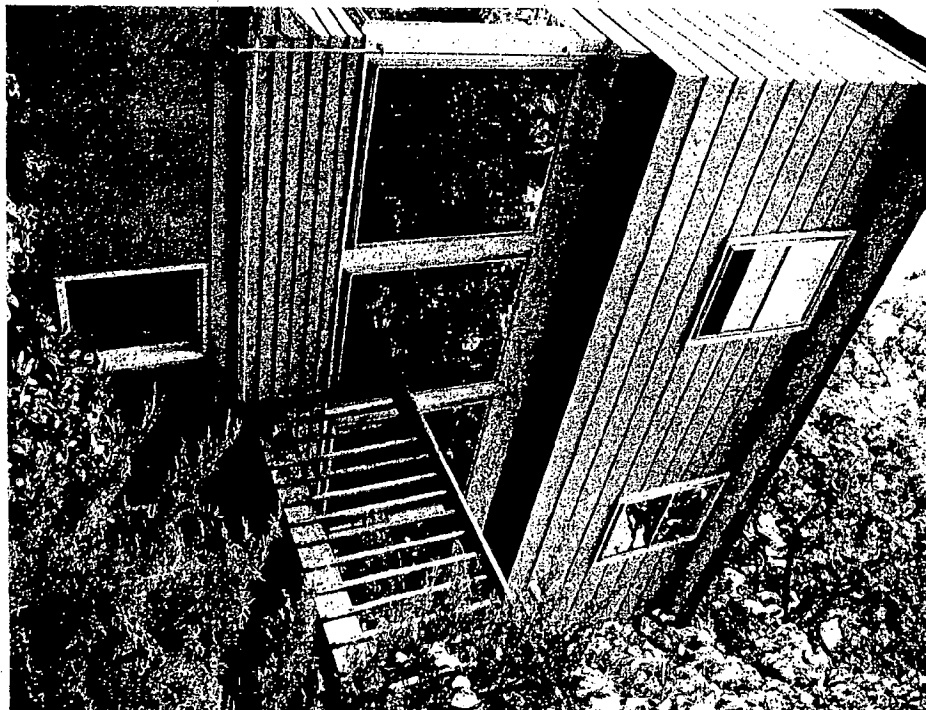
**HERMAN RESIDENCE**  
511 NEW YORK AVE., TAKOMA PARK, MD 20912  
VIEW FROM WEST RIGHT OF WAY



**HERMAN RESIDENCE**  
511 NEW YORK AVE., TAKOMA PARK, MD 20912  
VIEW FROM RIGHT OF WAY



**HERMAN RESIDENCE**  
511 NEW YORK AVE., TAKOMA PARK, MD 20912  
REAR CORNER OF SIDE ELEVATION



**HERMAN RESIDENCE**  
511 NEW YORK AVE., TAKOMA PARK, MD 20912  
LEFT CORNER OF REAR ELEVATION



**511 New York Avenue, Takoma Park, MD 20912**  
**Confronting and Adjacent Neighbors**

Eugene U. & E.C Herman (Applicant)  
511 New York Avenue  
Takoma Park, MD 20912

Jerry & S.L. Ainsfield  
509 New York Avenue  
Takoma Park, MD 20912

Henry S. & D.M. Allen  
513 New York Avenue  
Takoma Park, MD 20912

Daniel P. Cunningham & Mary C. Hennessey  
7427 Buffalo Avenue  
Takoma Park, MD 20912

Diane Kay Bartz  
7426 Buffalo Avenue  
Takoma Park, MD 20912

Jose G. & M.E. Aragon  
504 Philadelphia Avenue  
Takoma Park, MD 20912

Francine Pollner  
510 Philadelphia Avenue  
Takoma Park, MD 20912



## HISTORIC PRESERVATION COMMISSION

Isaiah Leggett  
County Executive

Julia O'Malley  
Chairperson

Date: April 12, 2007

### MEMORANDUM

TO: Reggie Jetter, Acting Director  
Department of Permitting Services

FROM: Judith Christensen, Master Planner *JPC*  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #431158, for addition of a porch and deck

---

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the September 14, 2006 meeting.

#### *1. «No Conditions»*

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Herman and Esther Herman

Address: 511 New York Avenue, Takoma Park, 20912

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.



# APPLICATION FOR HISTORIC AREA WORK PERMIT

431158

Contact Person: SUSAN DARCY

Daytime Phone No.: 301.270.9480

Tax Account No.: 01061424

Name of Property Owner: EUGENE HERMAN & ESTHER HERMAN Daytime Phone No.: 301.505.5832

Address: 511 NEW YORK AVENUE TAKOMA PARK 20912  
Street Number City State Zip Code

Contractor: WALLY HEINE HOME IMPROVEMENT Phone No.: 240.505.7888

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: BENNETT FRANK McARTHUR ARCHITECTS Daytime Phone No.: 301.270.9480  
SUSAN DARCY

### LOCATION OF BUILDING/PREMISE

House Number: 511 Street: NEW YORK AVENUE

Town/City: TAKOMA PARK Nearest Cross Street: BUFFALO AVENUE

Lot: 3 Block: 73 Subdivision: THE T.P.L. & T CO.'S SUBDIVISION

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

### PART ONE: TYPE OF PERMIT ACTION AND USE

#### 1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

#### CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 20,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Susan Darcy

Signature of owner or authorized agent

23 AUG 2006

Date

Approved:

Julia O'Malley

For Chairperson Historic Preservation Commission

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

TWO STORY WOOD FRAME COLONIAL WITH GABLED FRONT PORCH  
6/1 DOUBLE HUNG WINDOWS W/ WOOD SHUTTERS, 4 1/2" EXPOSURE WOOD SIDING ON  
FRONT FACADE, ASBESTOS SIDING ON SIDES OF MAIN HOUSE.  
EXISTING 2<sup>ND</sup> STORY REAR ADDITION WITH 4 1/4" EXPOSURE WOOD SIDING AND  
10 1/4" SIDING ABOVE. ADDITION WAS BUILT CA 1975 ±  
HOUSE IS ON DEEP LOT SLOPING TOWARDS BACK. WOODED.

---

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SCREEN PORCH ADDITION ON TO EXTENDED EXISTING WOOD DECK  
AND WILL PUNCTUATE THE FLAT AND LARGELY BLANK REAR FACADE  
OF THE EXISTING HOUSE ADDITION, THEREBY ENHANCING THE QUALITY OF  
THE HISTORIC DISTRICT. SITE-LINE STUDIES SUGGEST THAT THE NEW PORCH  
WILL NOT BE VISIBLE FROM THE NEW YORK AVENUE RIGHT-OF-WAY.

---

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

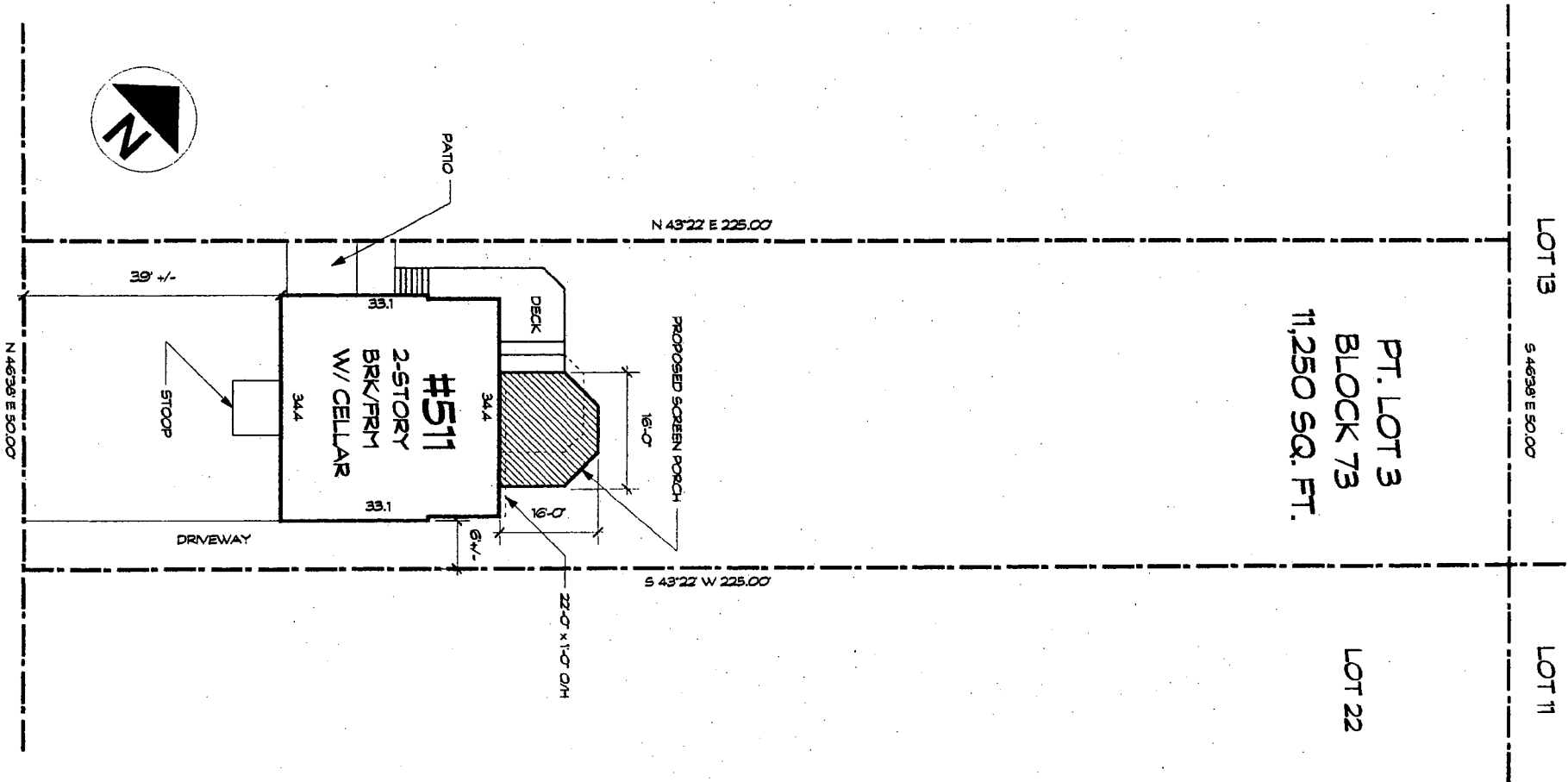
- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

NEW YORK AVE



**HERMAN PORCH ADDITION**

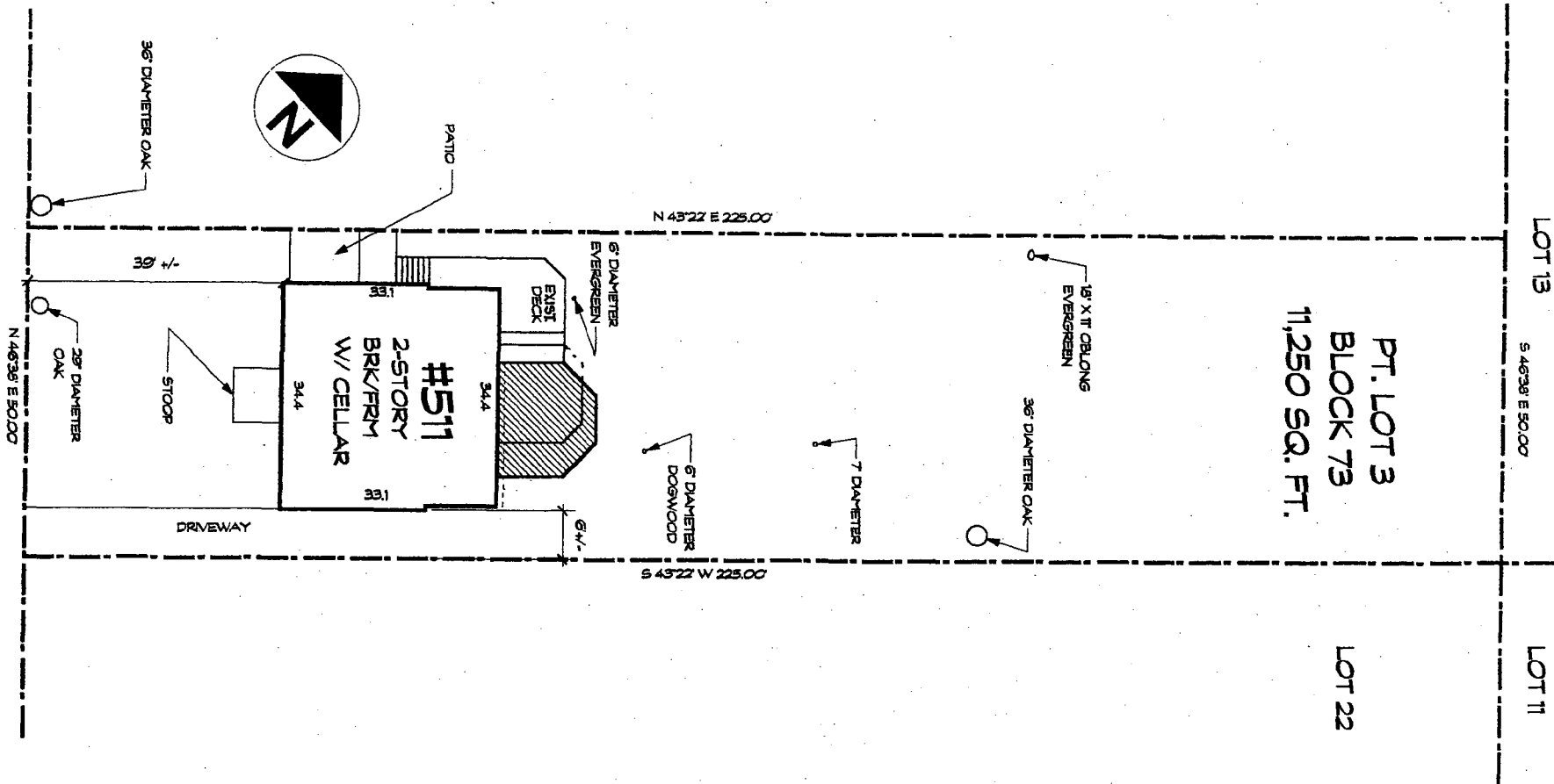
511 New York Ave., Takoma Park, MD 20912  
Bennett Frank McCarthy Architects Inc.  
7003 Carroll Avenue  
Takoma Park, Maryland 20912 301-270-9480

#0619  
1/16" = 1'-0"  
08.23.06

SITE PLAN

SP-1

NEW YORK AVE



HERMAN PORCH ADDITION

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

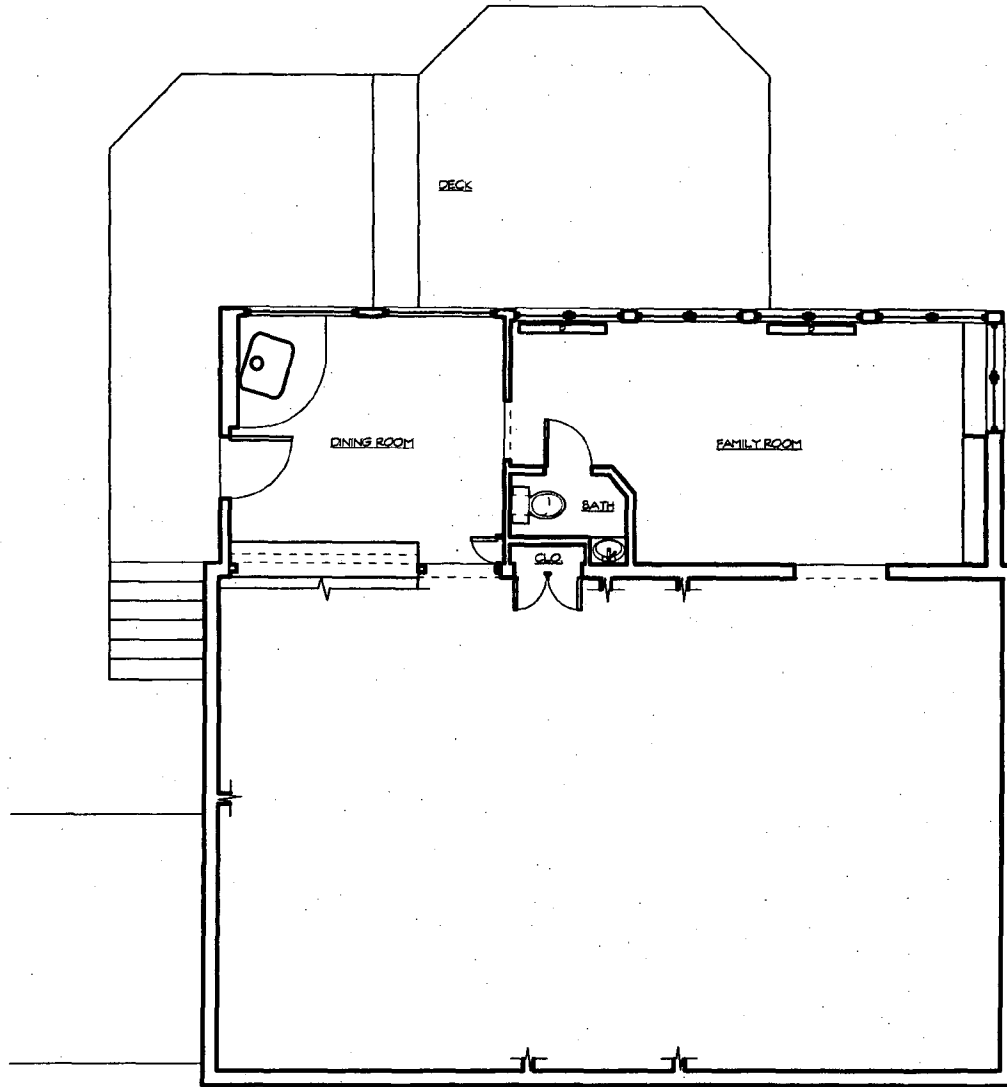
TREE SURVEY

#0619

1/16" = 1'-0"

08.23.06

TS-1



## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

EXISTING FIRST FLOOR

#0619

1/8" = 1'-0"

08.23.06

EC-1



## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

EXISTING FRONT ELEVATION

#0619

1/8" = 1'-0"

08.23.06

EC-2





## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

EXISTING SIDE ELEVATION

#0619

1/8" = 1'-0"

08.23.06

EC-3



## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

EXISTING REAR ELEVATION

#0619

1/8" = 1'-0"

08.23.06

EC-4



## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

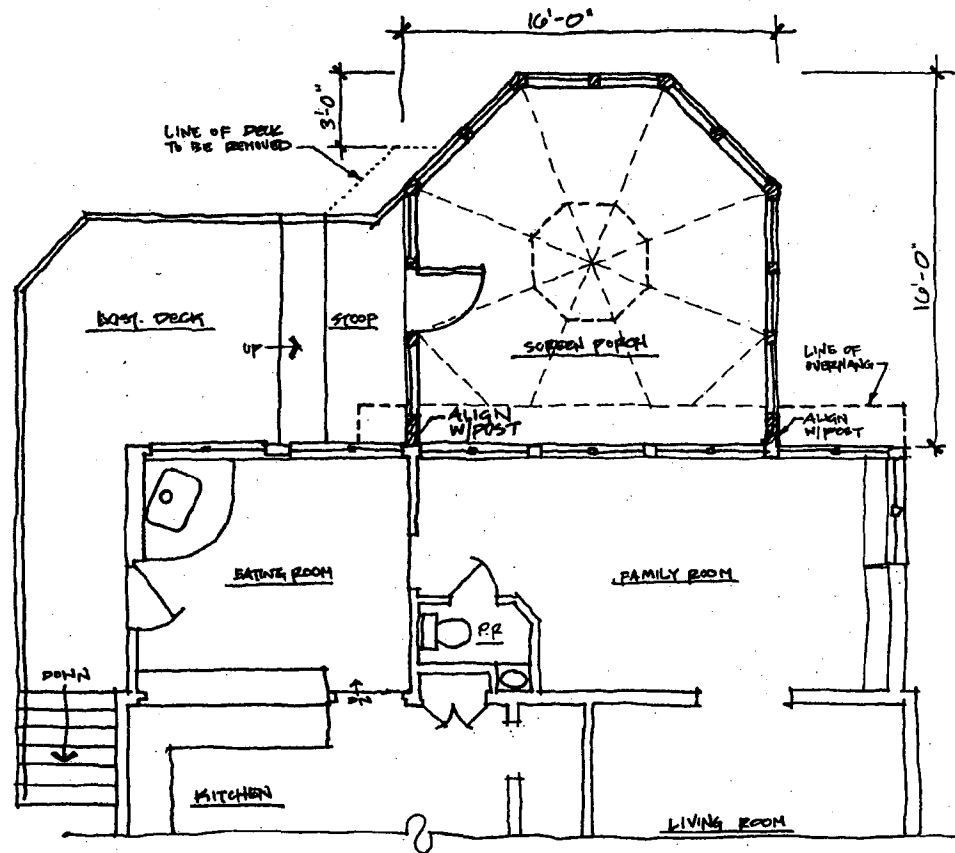
EXISTING SIDE ELEVATION

#0619

1/8" = 1'-0"

08.23.06

EC-5



## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

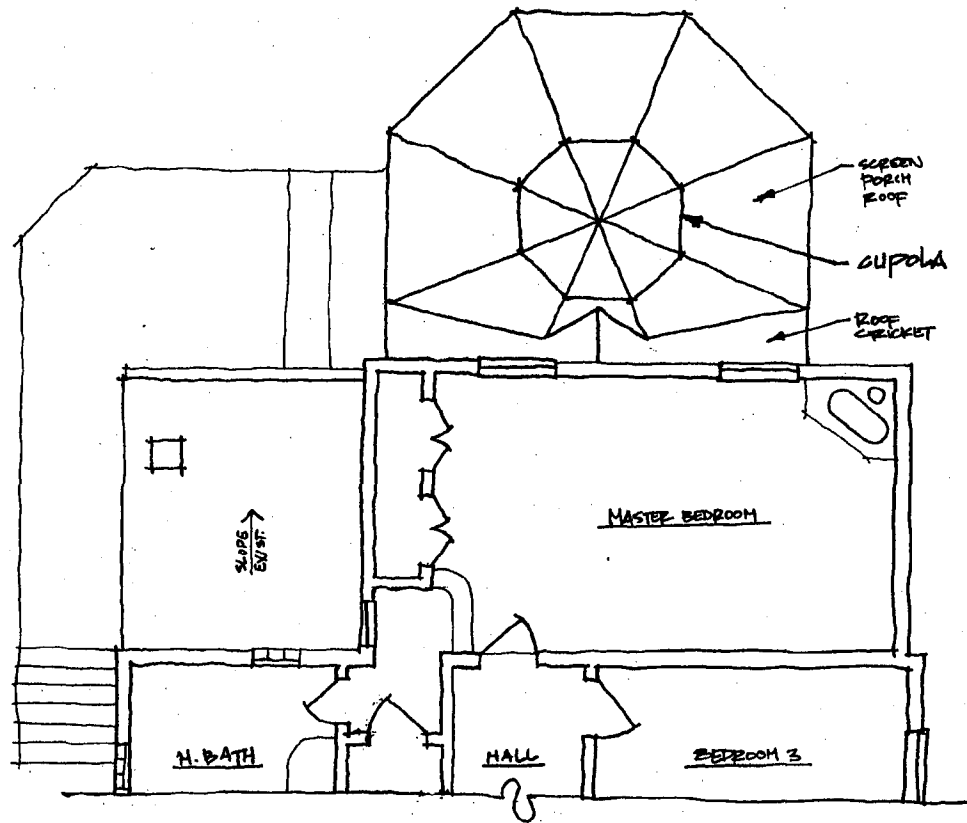
PROPOSED FIRST FLOOR

#0619

1/8" = 1'-0"

08.23.06

A-1



# Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

## PROPOSED SECOND FLOOR/ROOF PLAN

#0619

1/8" = 1'-0"

08.23.06

A-2



## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

PROPOSED SIDE ELEVATION

#0619

1/8" = 1'-0"

08.23.06

A-3



## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

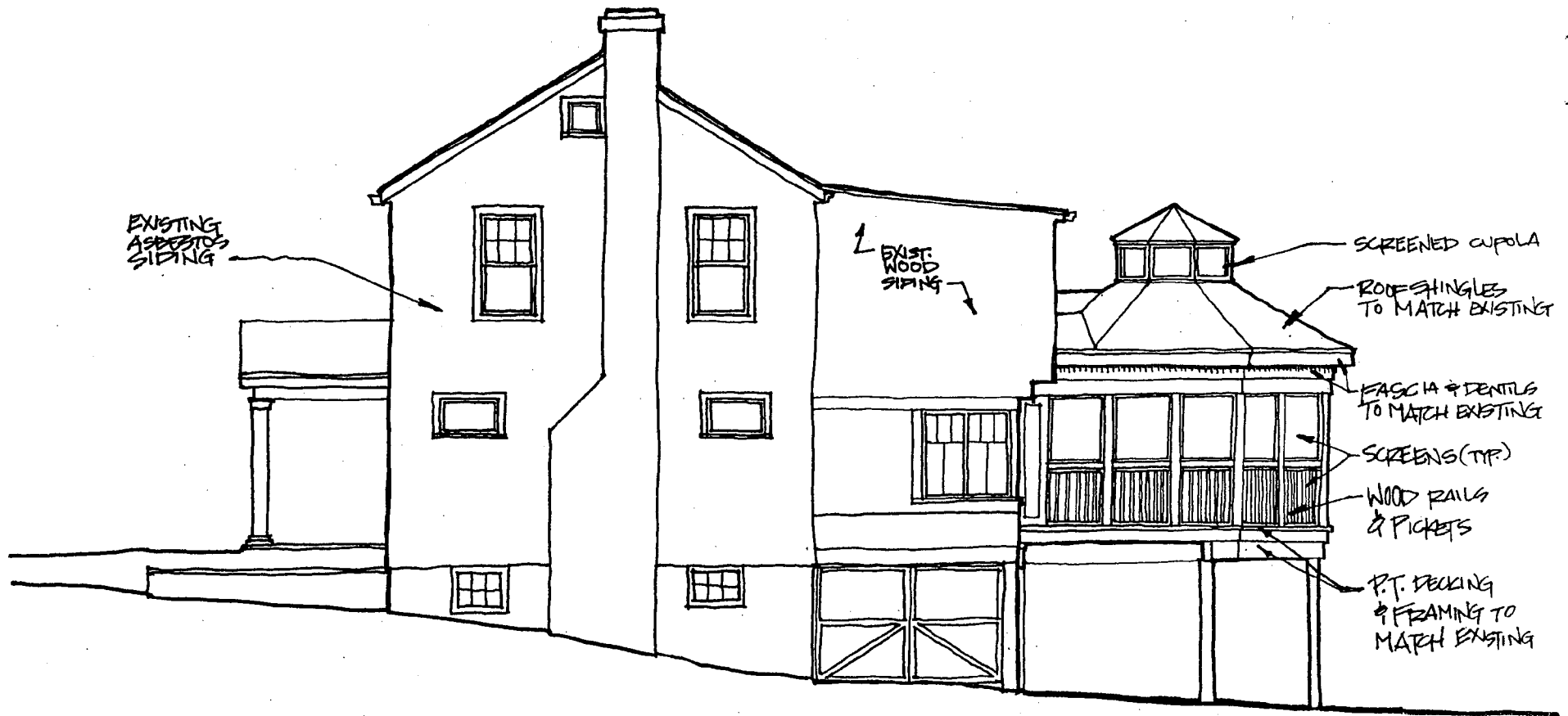
PROPOSED BACK ELEVATION

#0619

1/8" = 1'-0"

08.23.06

A-4



# Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

PROPOSED SIDE ELEVATION

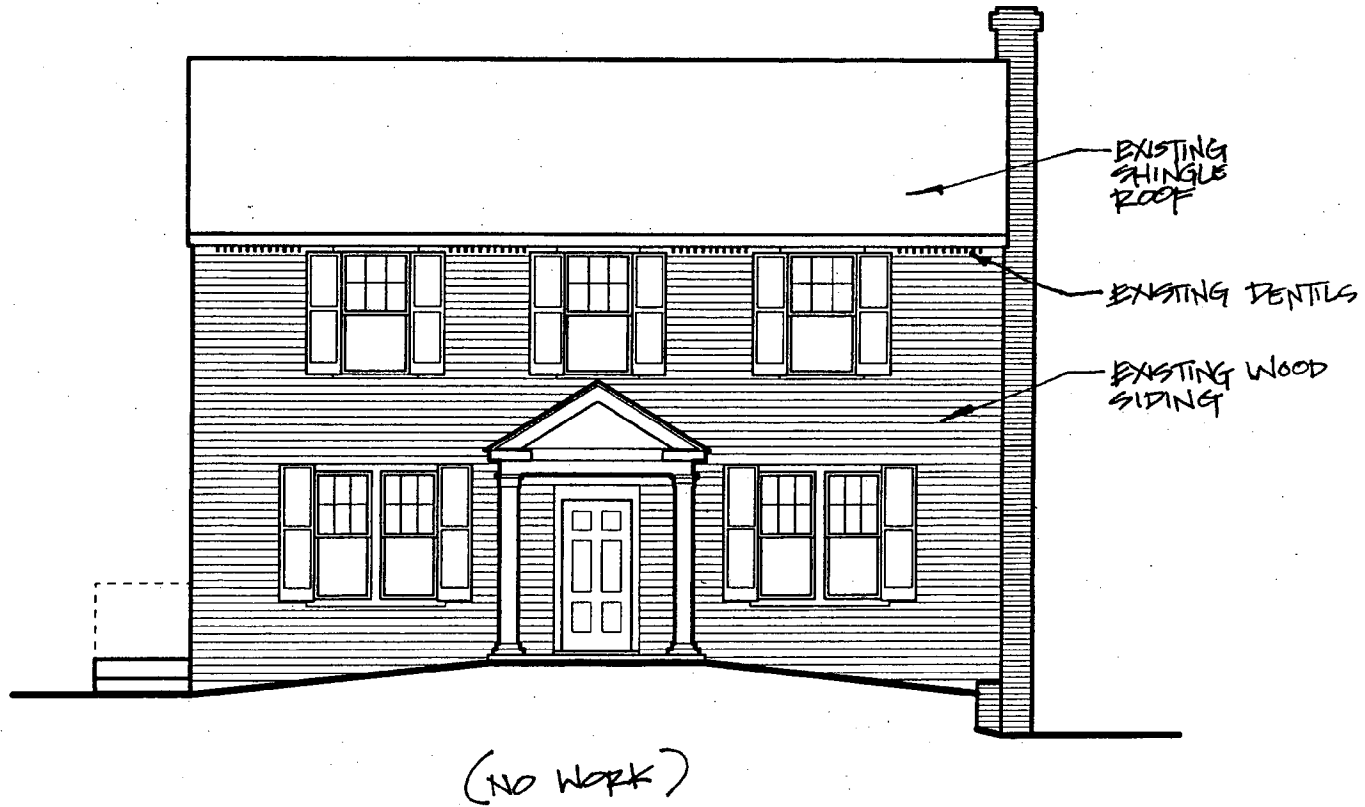
#0619

1/8" = 1'-0"

08.23.06

A-5





## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

PROPOSED FRONT ELEVATION

#0619

1/8" = 1'-0"

08.23.06

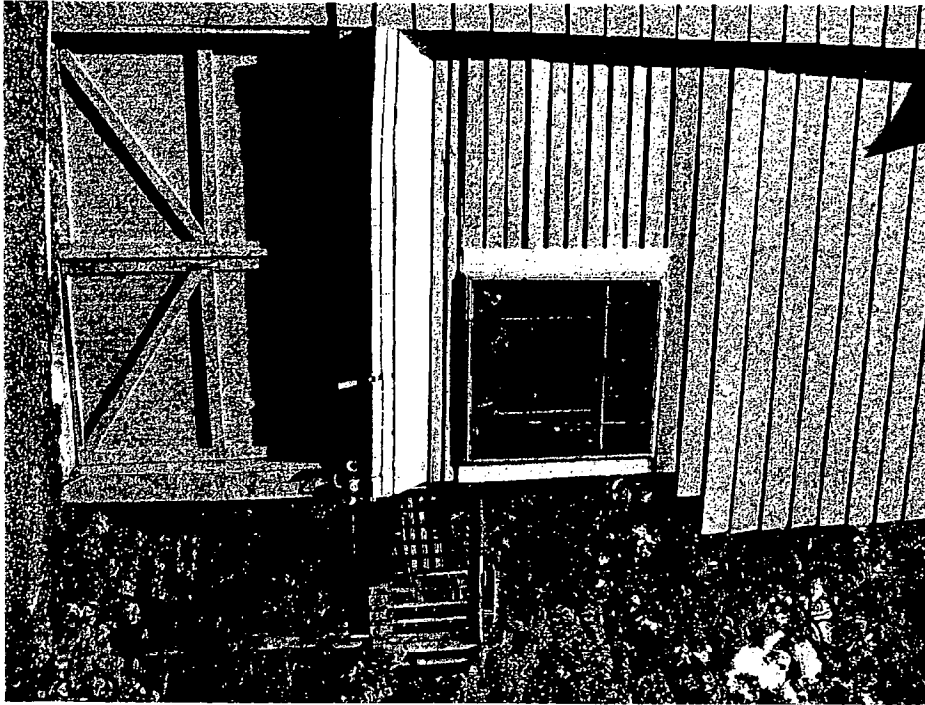
A-6



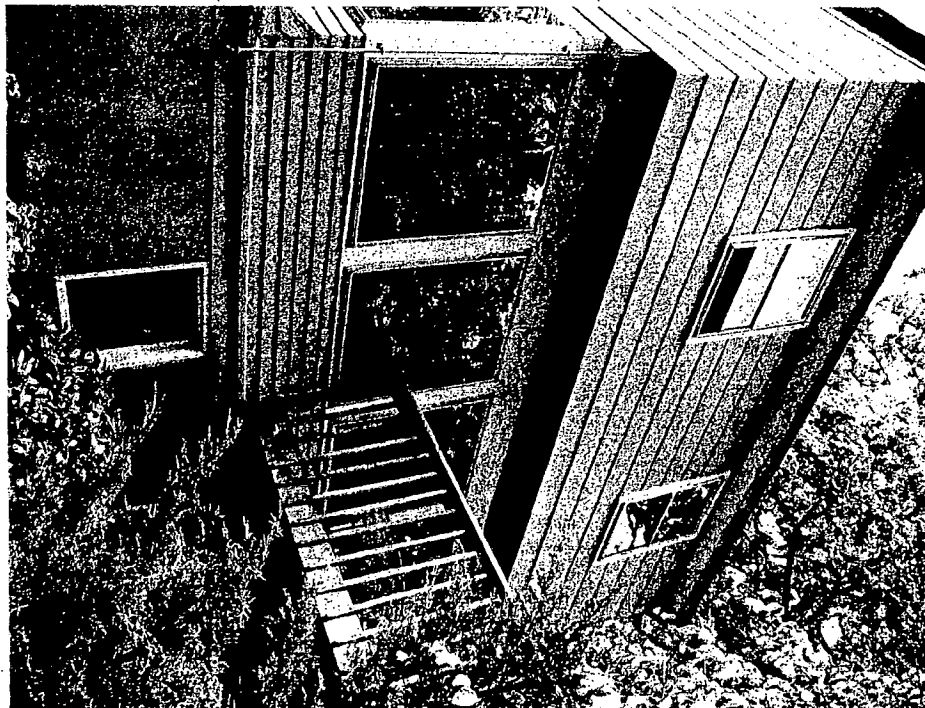
**HERMAN RESIDENCE**  
511 NEW YORK AVE., TAKOMA PARK, MD 20912  
FRONT ELEVATION



**HERMAN RESIDENCE**  
511 NEW YORK AVE., TAKOMA PARK, MD 20912  
REAR ELEVATION



**HERMAN RESIDENCE**  
511 NEW YORK AVE., TAKOMA PARK, MD 20912  
REAR CORNER OF SIDE ELEVATION



**HERMAN RESIDENCE**  
511 NEW YORK AVE., TAKOMA PARK, MD 20912  
LEFT CORNER OF REAR ELEVATION

**511 New York Avenue, Takoma Park, MD 20912**  
**Confronting and Adjacent Neighbors**

Eugene U. & E.C Herman (Applicant)  
511 New York Avenue  
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Jerry & S.L. Ainsfield  
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Henry S. & D.M. Allen  
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Daniel P. Cunningham & Mary C. Hennessey  
7427 Buffalo Avenue  
Takoma Park, MD 20912

Diane Kay Bartz  
7426 Buffalo Avenue  
Takoma Park, MD 20912

Jose G. & M.E. Aragon  
504 Philadelphia Avenue  
Takoma Park, MD 20912

Francine Pollner  
510 Philadelphia Avenue  
Takoma Park, MD 20912



AGENT  
0619

## HISTORIC PRESERVATION COMMISSION

Douglas M. Duncan  
County Executive

Julia O'Malley  
Chairperson

Date: September 14, 2006

### MEMORANDUM

TO: Eugene & Esther Herman  
511 New York Ave, Takoma Park

FROM: Tania Tully, Senior Planner <sup>TCT</sup>  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit Application #431158

---

Your Historic Area Work Permit application for Screen porch addition was **Approved** by the Historic Preservation Commission at its September 13, 2006 meeting.

Prior to applying for a county building permit, if applicable, from the Montgomery County Department of Permitting Services, you must contact your assigned staff person to arrange for your three (3) sets of final permit drawings to be stamped at the Historic Preservation Office at 1109 Spring Street. Please note that although the Historic Preservation Commission has approved your work, it may also need to be approved by DPS or another town government agency before work can begin.

When you file for your building permit at DPS, you must take with you stamped drawings and the official approval memo (given at the time of drawing stamping). These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in **any way** from the approved plans, either before you apply for your building permit or even after the work has begun, you must contact the Historic Preservation Commission staff at 301-563-3400. After your project is completed, please send photos of the finished work to HPC staff.

Thank you very much for your patience and good luck with your project!





FILE

## HISTORIC PRESERVATION COMMISSION

Douglas M. Duncan  
*County Executive*

Julia O'Malley  
*Chairperson*

Date: September 14, 2006

### MEMORANDUM

TO: Eugene & Esther Herman  
511 New York Ave, Takoma Park

FROM: Tania Tully, Senior Planner <sup>TGT</sup>  
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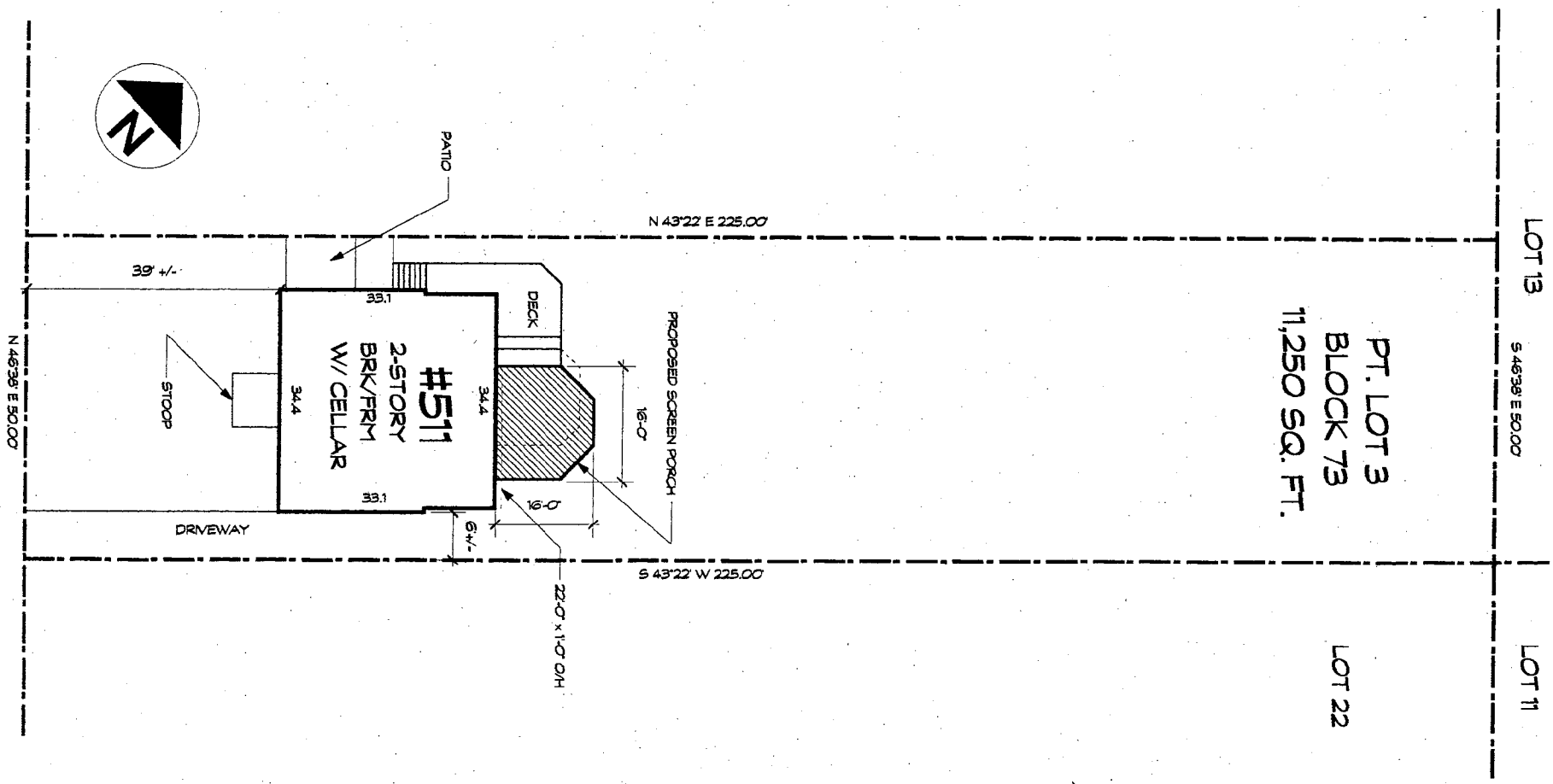
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Thank you very much for your patience and good luck with your project!





NEW YORK AVE



### HERMAN PORCH ADDITION

511 New York Ave., Takoma Park, MD 20912

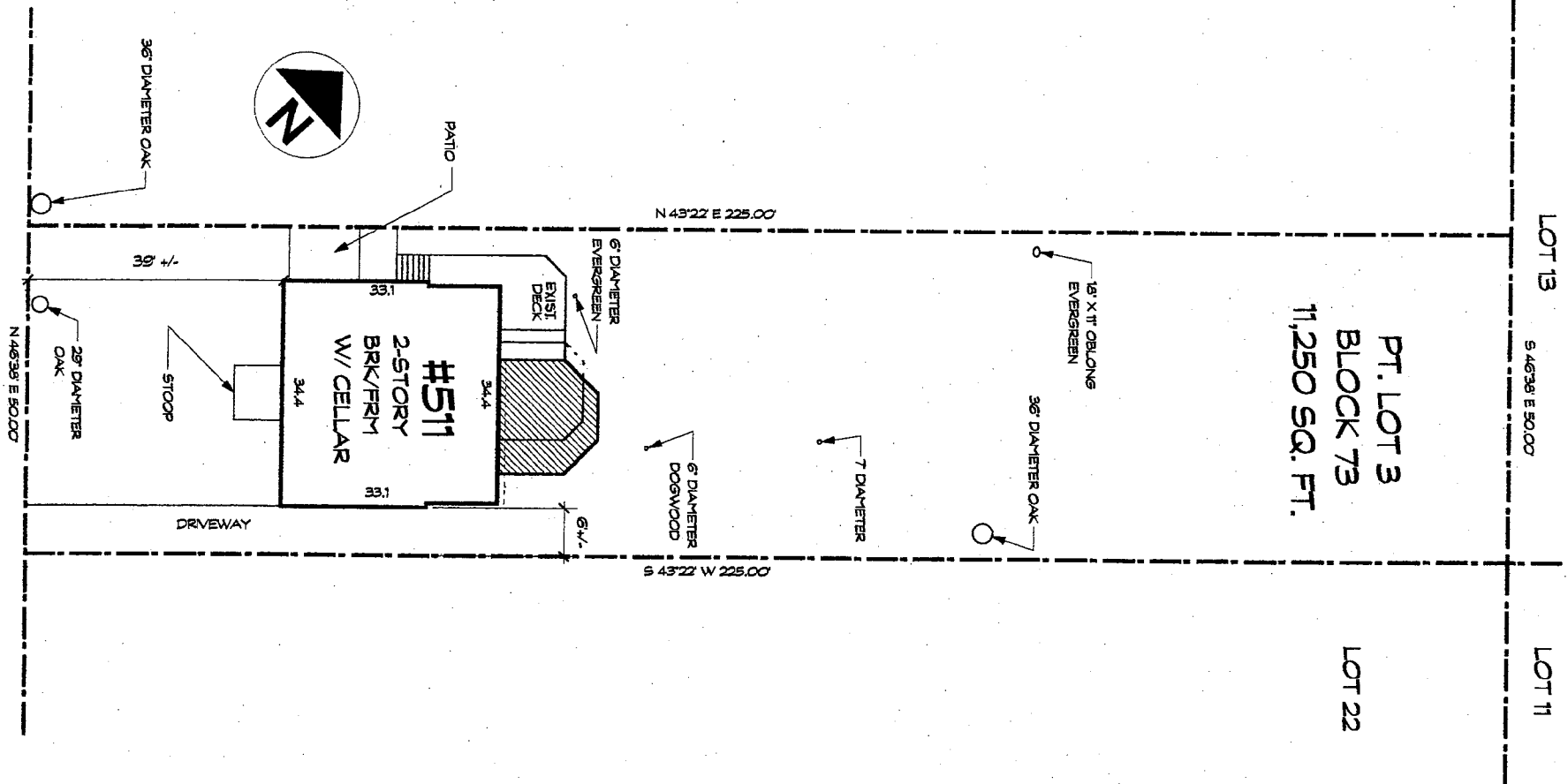
Bennett Frank McCarthy Architects Inc.  
7003 Carroll Avenue  
Takoma Park, Maryland 20912 301-270-9480

#0619  
1/16" = 1'-0"  
08.23.06

SITE PLAN

# SP-1

NEW YORK AVE



HERMAN PORCH ADDITION

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

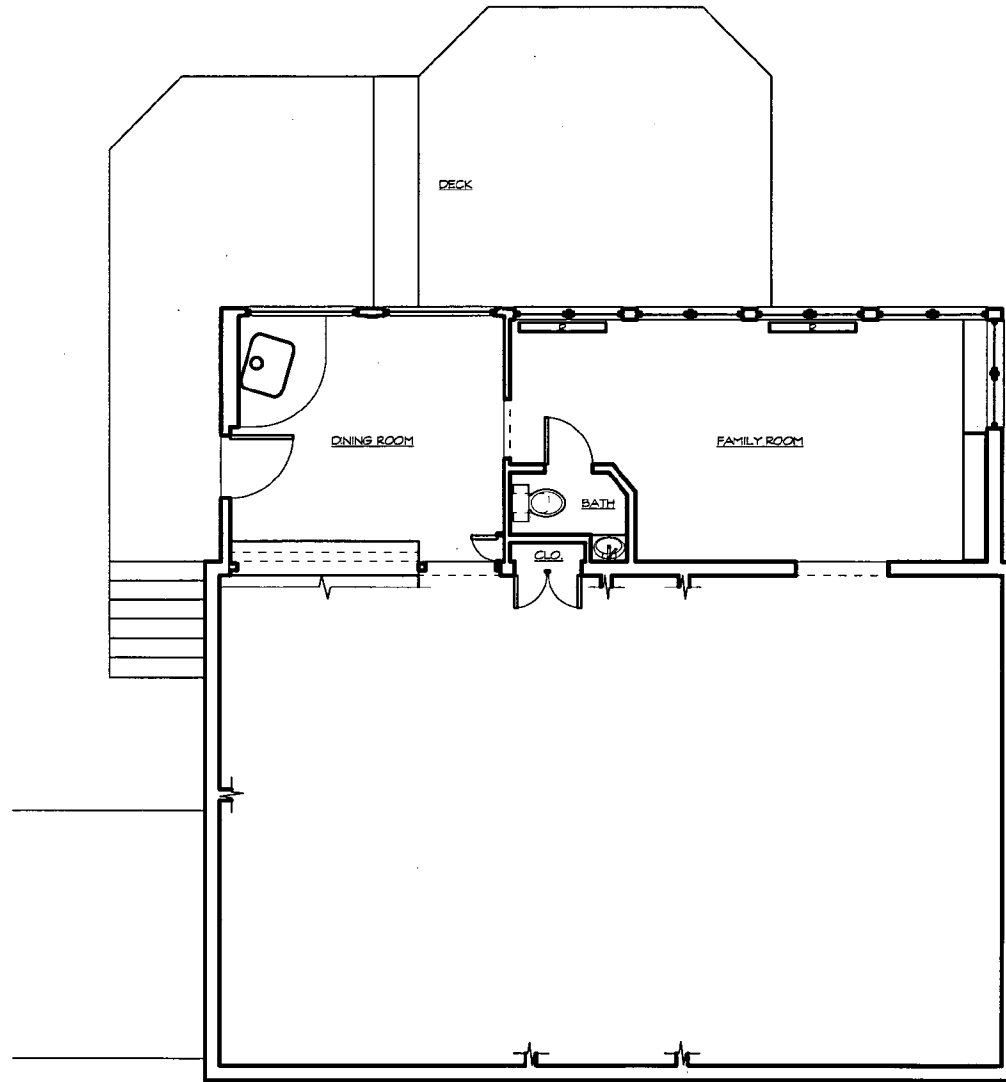
301-270-9480

TREE SURVEY

#0619  
1/16" = 1'-0"  
08.23.06

TS-1





## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

**Bennett Frank McCarthy Architects Inc.**

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

EXISTING FIRST FLOOR

#0619

1/8" = 1'-0"

08.23.06

# EC-1



## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

EXISTING FRONT ELEVATION

#0619

1/8" = 1'-0"

08.23.06

EC-2



## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

EXISTING SIDE ELEVATION

#0619

1/8" = 1'-0"

08.23.06

EC-3



## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

EXISTING REAR ELEVATION

#0619

1/8" = 1'-0"

08.23.06

EC-4



## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

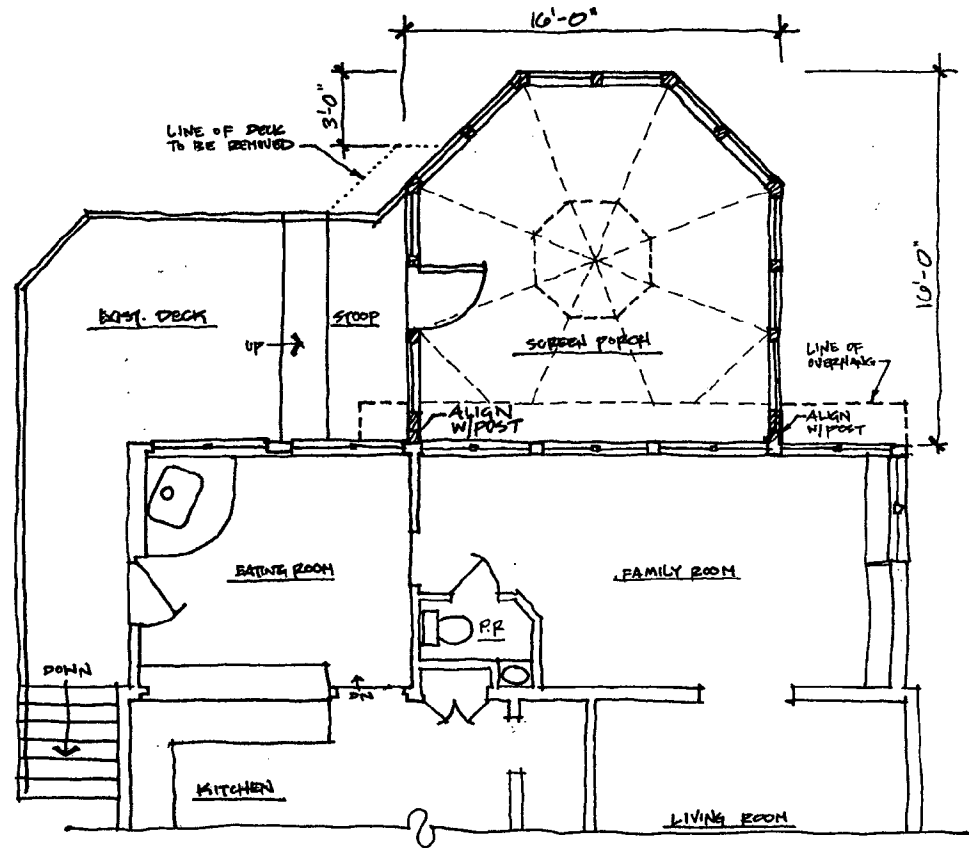
EXISTING SIDE ELEVATION

#0619

1/8" = 1'-0"

08.23.06

EC-5



# Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

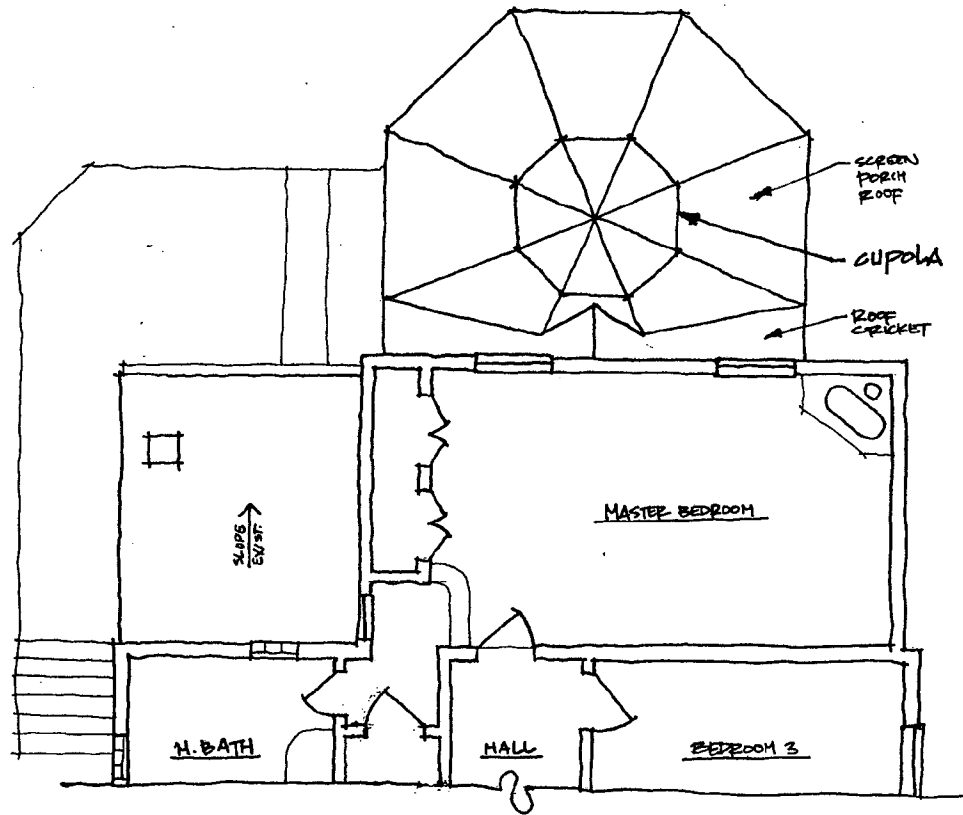
PROPOSED FIRST FLOOR

#0619

1/8" = 1'-0"

08.23.06

A-1



# Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

## PROPOSED SECOND FLOOR/ROOF PLAN

#0619

1/8" = 1'-0"

08.23.06

A-2



# Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

PROPOSED SIDE ELEVATION

#0619

1/8" = 1'-0"

08.23.06

A-3





# Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

PROPOSED BACK ELEVATION

#0619

1/8" = 1'-0"

08.23.06

A-4



## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

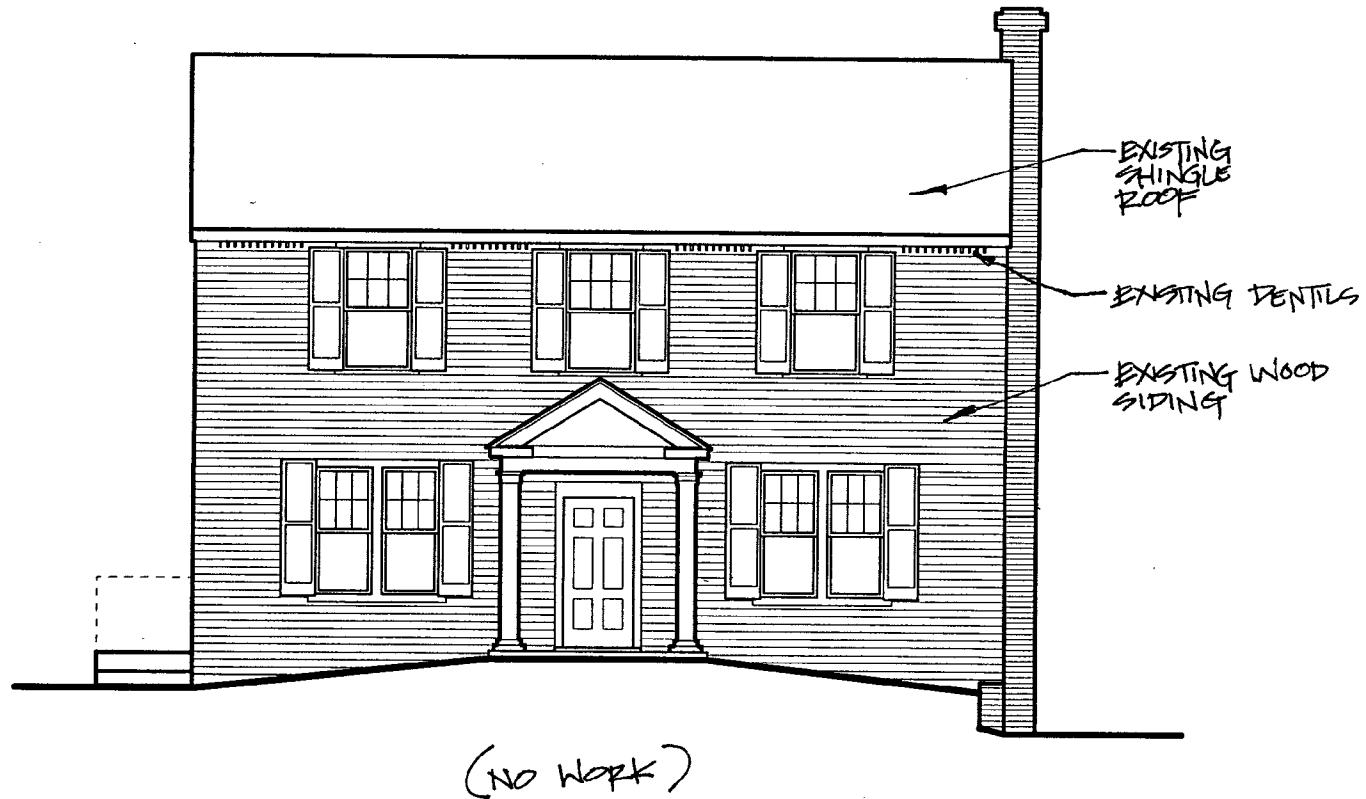
PROPOSED SIDE ELEVATION

#0619

1/8" = 1'-0"

08.23.06

A-5



## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

PROPOSED FRONT ELEVATION

#0619

1/8" = 1'-0"

08.23.06

A-6



**HERMAN RESIDENCE**  
511 NEW YORK AVE., TAKOMA PARK, MD 20912  
FRONT ELEVATION



**HERMAN RESIDENCE**  
511 NEW YORK AVE., TAKOMA PARK, MD 20912  
REAR ELEVATION



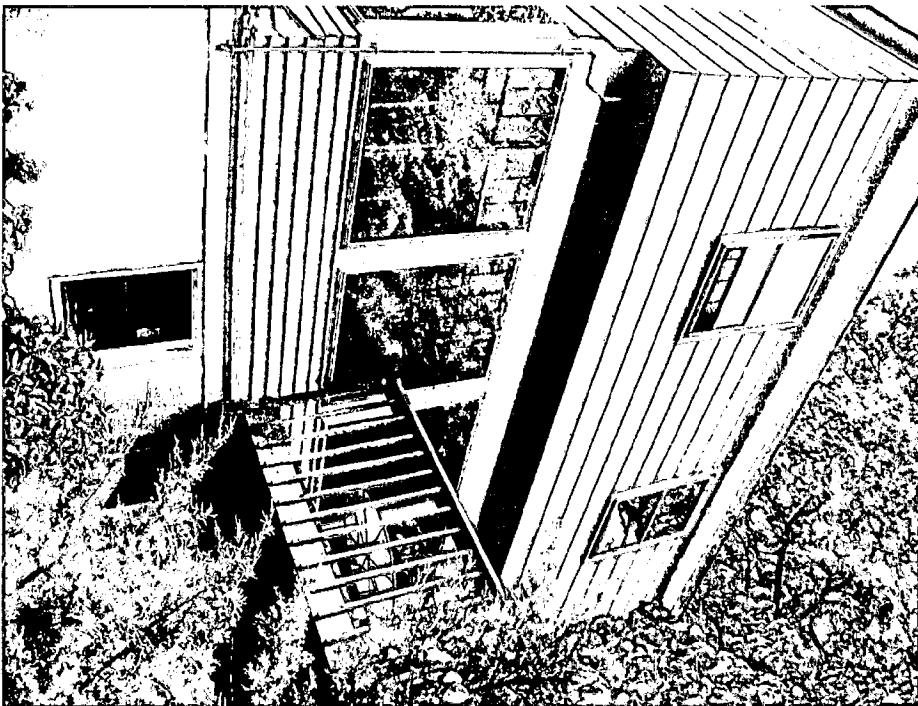
**HERMAN RESIDENCE**  
511 NEW YORK AVE., TAKOMA PARK, MD 20912  
VIEW FROM WEST RIGHT OF WAY



**HERMAN RESIDENCE**  
511 NEW YORK AVE., TAKOMA PARK, MD 20912  
VIEW FROM RIGHT OF WAY



**HERMAN RESIDENCE**  
511 NEW YORK AVE., TAKOMA PARK, MD 20912  
REAR CORNER OF SIDE ELEVATION



**HERMAN RESIDENCE**  
511 NEW YORK AVE., TAKOMA PARK, MD 20912  
LEFT CORNER OF REAR ELEVATION

**511 New York Avenue, Takoma Park, MD 20912**  
**Confronting and Adjacent Neighbors**

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511 New York Avenue  
Takoma Park, MD 20912

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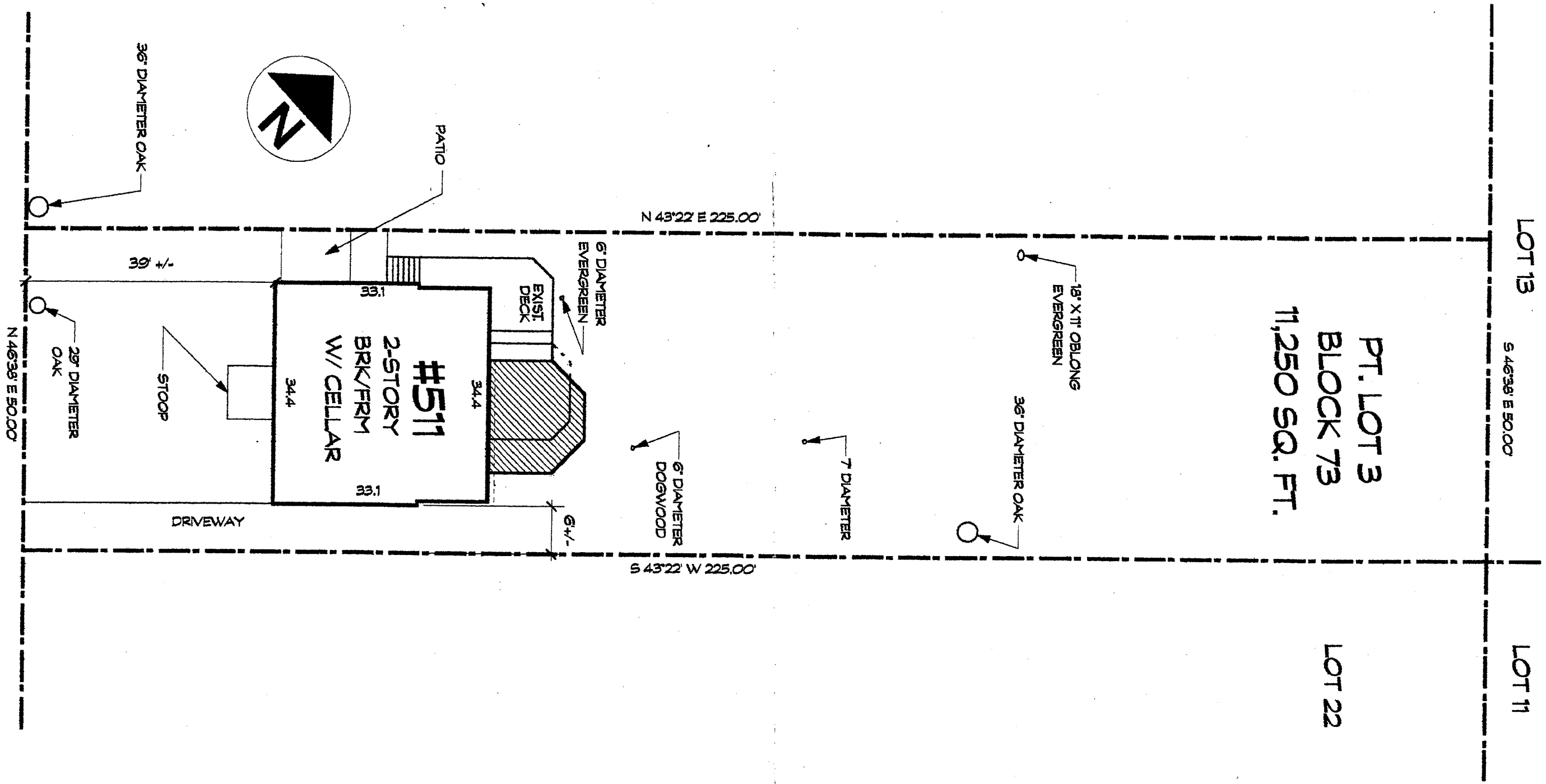
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Jose G. & M.E. Aragon  
504 Philadelphia Avenue  
Takoma Park, MD 20912

Francine Pollner  
510 Philadelphia Avenue  
Takoma Park, MD 20912

NEW YORK AVE



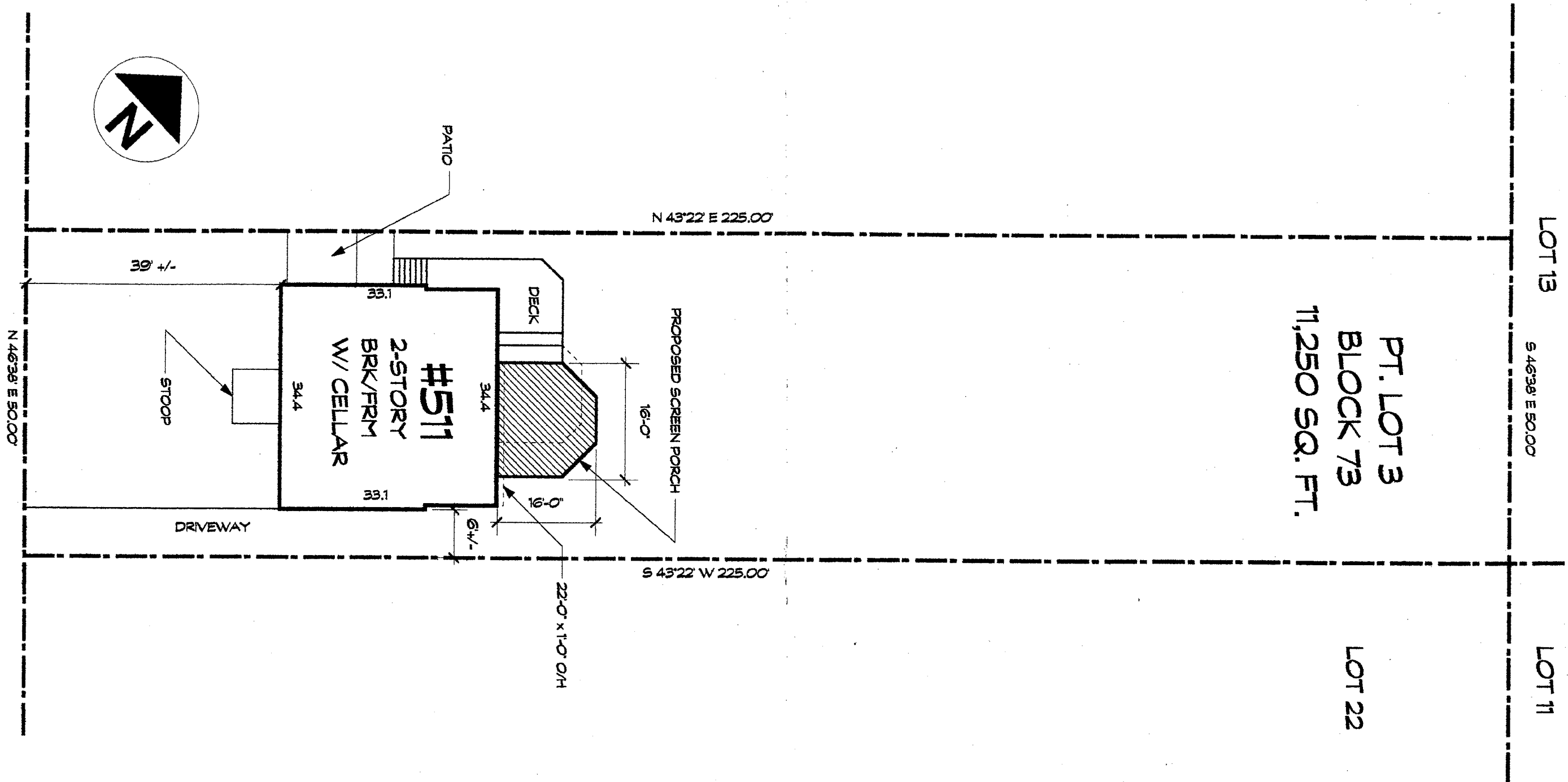
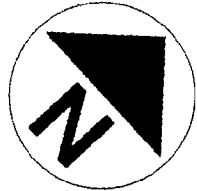
**HERMAN PORCH ADDITION**  
 511 New York Ave., Takoma Park, MD 20912  
 Bennett Frank McCarthy Architects Inc.  
 7003 Carroll Avenue  
 Takoma Park, Maryland 20912 301-270-9480

#0619  
 1/16" = 1'-0"  
 08.23.06

TREE SURVEY  
**TS-1**



NEW YORK AVE



**HERMAN PORCH ADDITION**  
511 New York Ave., Takoma Park, MD 20912  
Bennett Frank McCarthy Architects Inc.  
7003 Carroll Avenue  
Takoma Park, Maryland 20912 301-270-9480

#0619  
1/16" = 1'-0"  
08.23.06

SITE PLAN  
**SP-1**

***EXPEDITED***  
**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	511 New York Ave, Takoma Park	<b>Meeting Date:</b>	9/13/2006
<b>Resource:</b>	Contributing Resource Takoma Park Historic District	<b>Report Date:</b>	9/6/2006
<b>Applicant:</b>	Eugene & Esther Herman (Susan Darcy)	<b>Public Notice:</b>	8/30/2006
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	37/03-06VV	<b>Staff:</b>	Tania Tully
<b>PROPOSAL:</b>	Screen porch addition		
<b>RECOMMENDATION:</b>	Approve		

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource Within The Takoma Park Historic District  
**STYLE:** Colonial Revival  
**DATE:** c1917

**PROPOSAL:**

Construct a gazebo style screened porch on top of an existing rear deck. The deck and screened porch connect to a c.1975 addition and will not be visible from the public right-of-way.

**STAFF RECOMMENDATION:**

- Approval**  
 Approval with conditions

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or
2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

- 3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or
- 4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- 5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- 6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

and with the general condition that the applicant shall present the **3 permit sets of drawings – if applicable – to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits

## Policy On Use of Expedited Staff Reports for Simple HAWP Cases

This policy is developed with the understanding that:

- I. The HPC's policy regarding in-kind replacement has not changed, that is, all replacement of exterior features with exactly matching materials may be done with out a HAWP.
- II. Staff will continue to notify Local Advisory Panel (LAP), and adjacent and confronting owners of all HAWP applications and, if a neighbor is known to object to a proposal, the Expedited Staff Report will not be used.
- III. If, because of the specifics of the case, staff is uncertain whether the Expedited Staff Report format is appropriate, or if an applicant requests it, the Standard Staff Report will be used.
- IV. The expedited Staff Report format may be used on the following type of cases:
  1. Alterations to properties on which the Maryland Historical Trust (MHT) holds an easement and which have been reviewed and approved by the MHT Easement Committee.
  2. Modifications to a property, which do not significantly alter its visual character. These include, but are not limited to:
    - A. Repair or replacement of masonry foundations with new materials that match the original closely.
    - B. Installation of vents, venting pipes, and exterior grills.
    - C. New installation of gutters.
  3. Removal of asbestos, asphalt, or other artificial siding when the original siding is to be repaired, and where necessary, replaced in kind.
  4. Removal of accessory buildings that are not original to the site or otherwise historically significant.
  5. Replacement of missing architectural details, providing that at least one example of the detail to be replaced exists on the house, and/or physical or documentary evidence exists that illustrates or describes the missing detail or details.
  6. Signs that are in conformance with all other County sign regulations.
  7. Construction of wooden decks that are at the rear of a structure and are not readily visible from a public right-of-way. This applies to all categories of resources: Outstanding, Contributing, Individually Designated Sites, or Non-Contributing.
  8. Replacement of roofs on non-contributing or out-of-period buildings, as well as new installation of historically appropriate roofing materials on outstanding and contributing buildings.
  9. Installation of exterior storm windows or doors that are compatible with the historic site or district in terms of material or design.
  10. Construction of fences that are compatible with historic site or district in terms of material, height, location, and design. Requests for fences higher than 48" to be located in the front yard of a property will not be reviewed using an Expedited Staff Report.
  11. Construction or replacement of walkways, parking areas, patios, driveways, or other paved areas that are not readily visible from a public right-of-way and/or are compatible in material, location, and design with the visual character of the historic site or district.
  12. Construction or repair of retaining walls where the new walls are compatible in material, location, design and height with the visual character of the historic site or district.
  13. Construction or replacement of storage and small accessory buildings that are not readily visible from a public right-of-way.
  14. Landscaping, or the removal or modification of existing planting, that is compatible with the visual character of the historic site or district.

# APPLICATION FOR HISTORIC AREA WORK PERMIT

431158

Contact Person: SUSAN DARCY

Daytime Phone No.: 301.270.9480

Tax Account No.: 01061424

Name of Property Owner: EUGENE HERMAN & ESTHER HERMAN Daytime Phone No.: 301.585.5832

Address: 511 NEW YORK AVENUE TAKOMA PARK 20912  
Street Number City Street Zip Code

Contractor: WALLY HEINE HOME IMPROVEMENT Phone No.: 240.505.7888

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: BENNETT FRANK McARTHUR ARCHITECTS Daytime Phone No.: 301.270.9480  
SUSAN DARCY

### LOCATION OF BUILDING/PREMISE

House Number: 511 Street: NEW YORK AVENUE

Town/City: TAKOMA PARK Nearest Cross Street: BUFFALO AVENUE

Lot: 3 Block: 73 Subdivision: THE T.P.L. & T. CO.'S SUBDIVISION

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

### PART ONE: TYPE OF PERMIT ACTION AND USE

#### 1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

#### CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 20,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Susan Darcy

Signature of owner or authorized agent

23 Aug 2006

Date

(4)

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

TWO STORY WOOD FRAME COLONIAL WITH GABLED FRONT PORCH  
6/1 DOUBLE HUNG WINDOWS W/ WOOD SHUTTERS, 4 1/2" EXPOSURE WOOD SIDING ON  
FRONT FACADE, ASBESTOS SIDING ON SIDES OF MAIN HOUSE.  
EXISTING 2<sup>ND</sup> STORY REAR ADDITION WITH 4 1/4" EXPOSURE WOOD SIDING AND  
10 1/4" SIDING ABOVE. ADDITION WAS BUILT CA 1975 ±  
HOUSE IS ON DEEP LOT SLOPING TOWARDS BACK. WOODED.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SCREEN PORCH ADDITION ON TO EXTENDED EXISTING WOOD DECK  
AND WILL PUNCTUATE THE FLAT AND LARGELY BLANK REAR FACADE  
OF THE EXISTING HOUSE ADDITION, THEREBY ENHANCING THE QUALITY OF  
THE HISTORIC DISTRICT. SITE-LINE STUDIES SUGGEST THAT THE NEW PORCH  
WILL NOT BE VISIBLE FROM THE NEW YORK AVENUE RIGHT-OF-WAY.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
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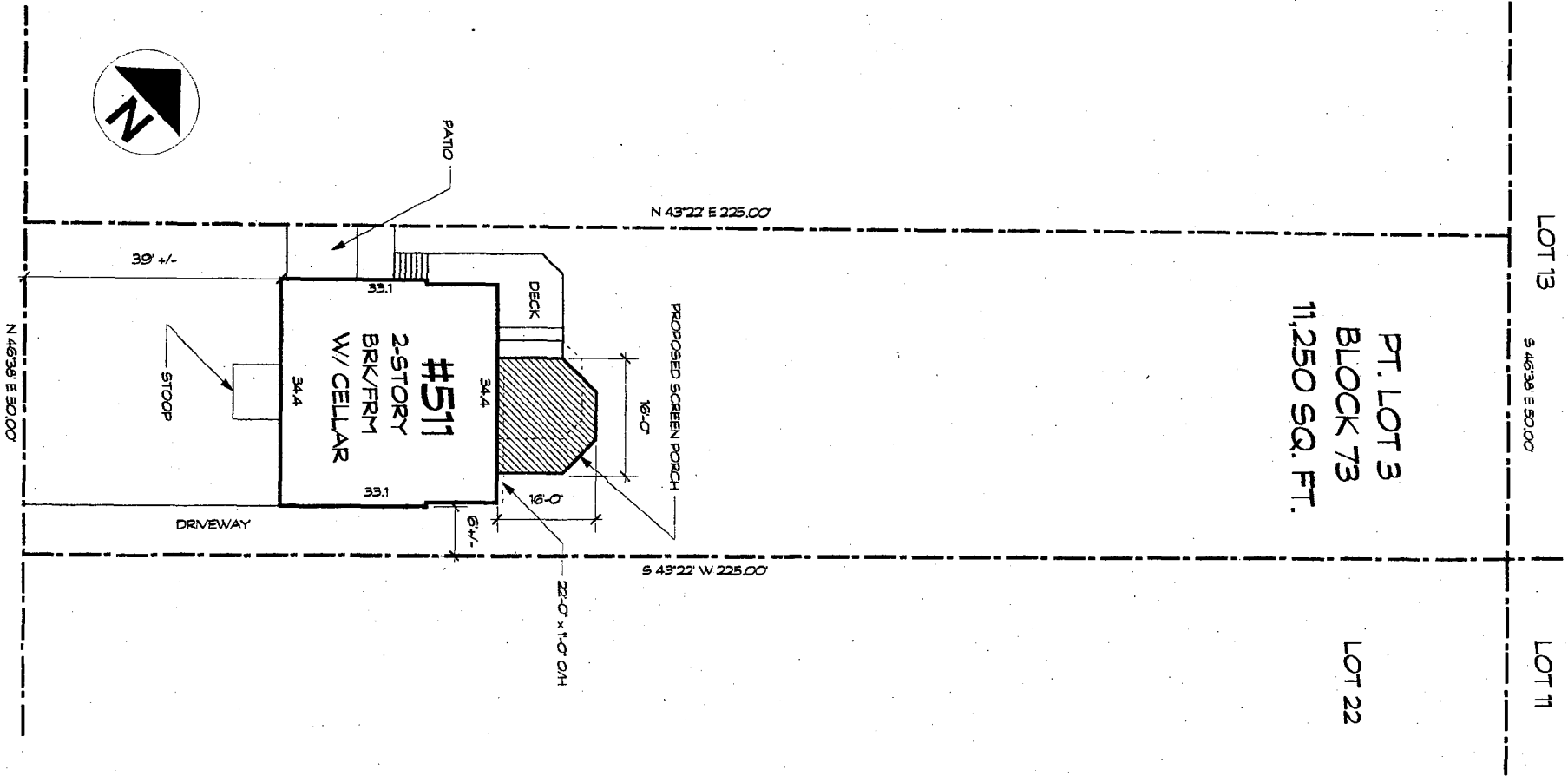
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7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

(5)

NEW YORK AVE



PT. LOT 3  
BLOCK 73  
11,250 SQ. FT.

LOT 13  
S 46°38' E 50.00

LOT 11

LOT 22

**HERMAN PORCH ADDITION**

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

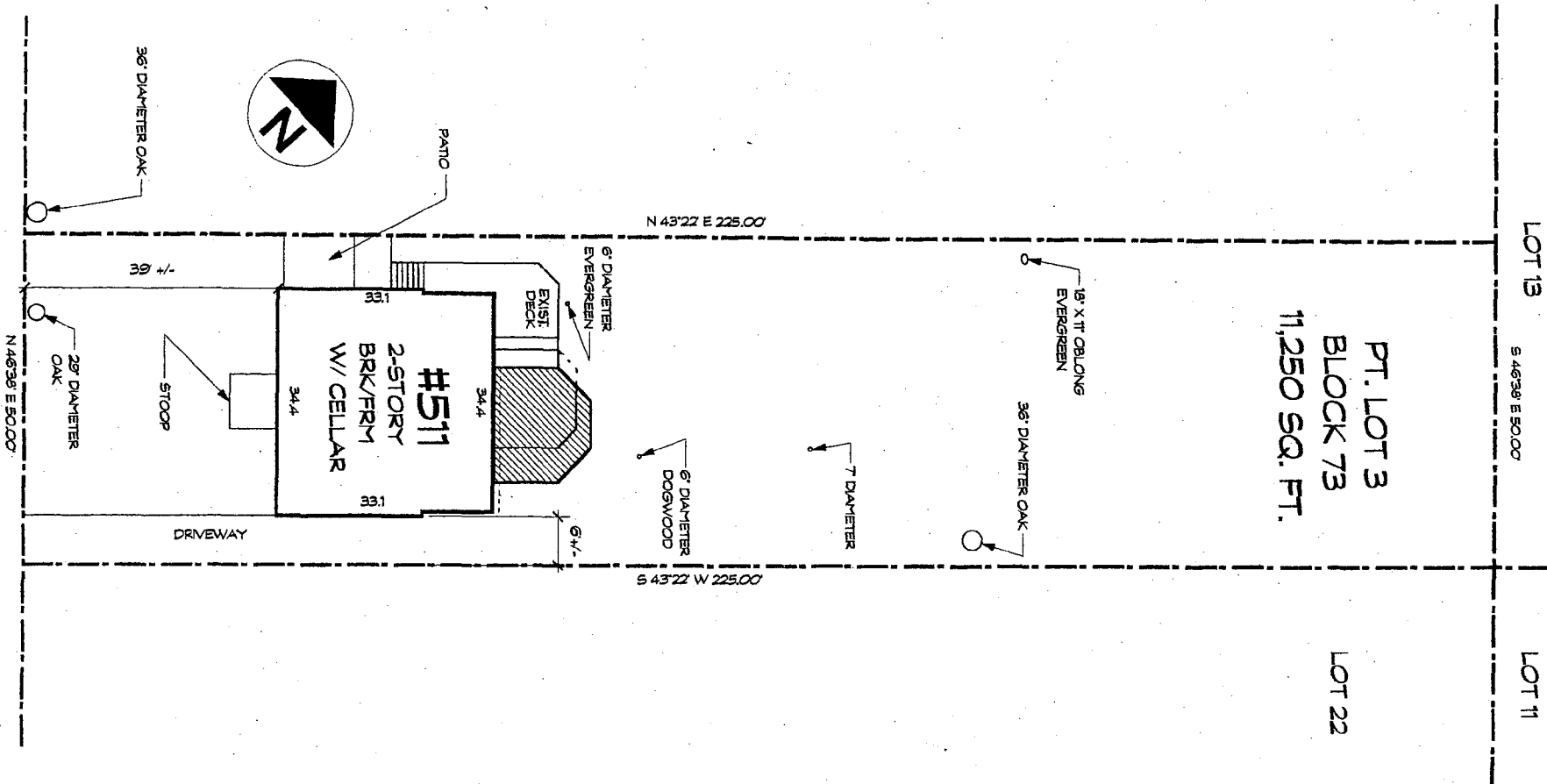
SITE PLAN

SP-1

#0619  
1/16" = 1'-0"  
08.23.06

6

NEW YORK AVE



**HERMAN PORCH ADDITION**

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

TREE SURVEY

#0619  
1/16" = 1'-0"  
08.23.06

TS-1





## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

EXISTING FRONT ELEVATION

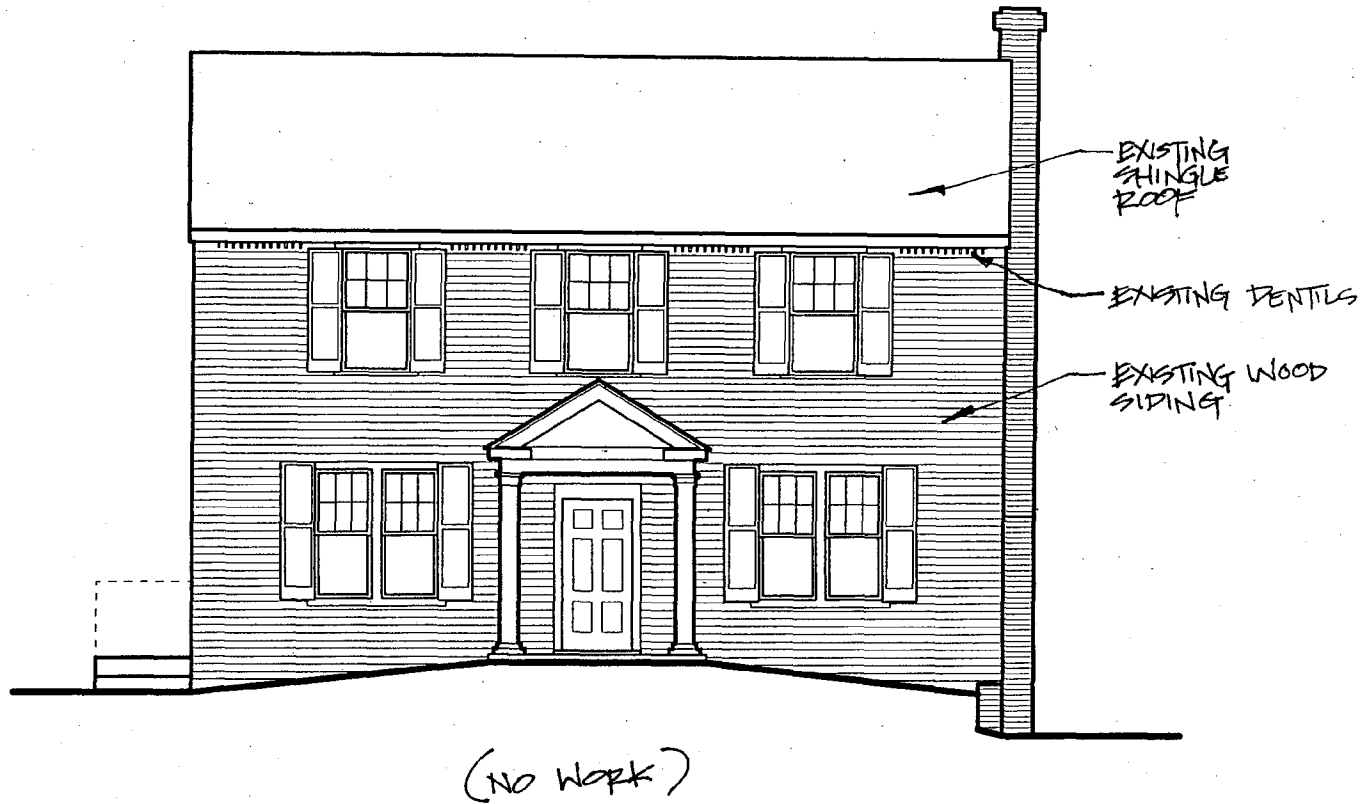
#0619

1/8" = 1'-0"

08.23.06

EC-2





## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.  
7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

PROPOSED FRONT ELEVATION

#0619

1/8" = 1'-0"

08.23.06

A-6



## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

EXISTING SIDE ELEVATION

#0619

1/8" = 1'-0"

08.23.06

EC-3



# Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480



## PROPOSED SIDE ELEVATION

#0619

1/8" = 1'-0"

08.23.06

A-5



## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

EXISTING REAR ELEVATION

#0619

1/8" = 1'-0"

08.23.06

EC-4



# Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

PROPOSED BACK ELEVATION

#0619

1/8" = 1'-0"

08.23.06

A-4

13



## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

EXISTING SIDE ELEVATION

#0619

1/8" = 1'-0"

08.23.06

EC-5



# Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

PROPOSED SIDE ELEVATION

#0619

1/8" = 1'-0"

08.23.06

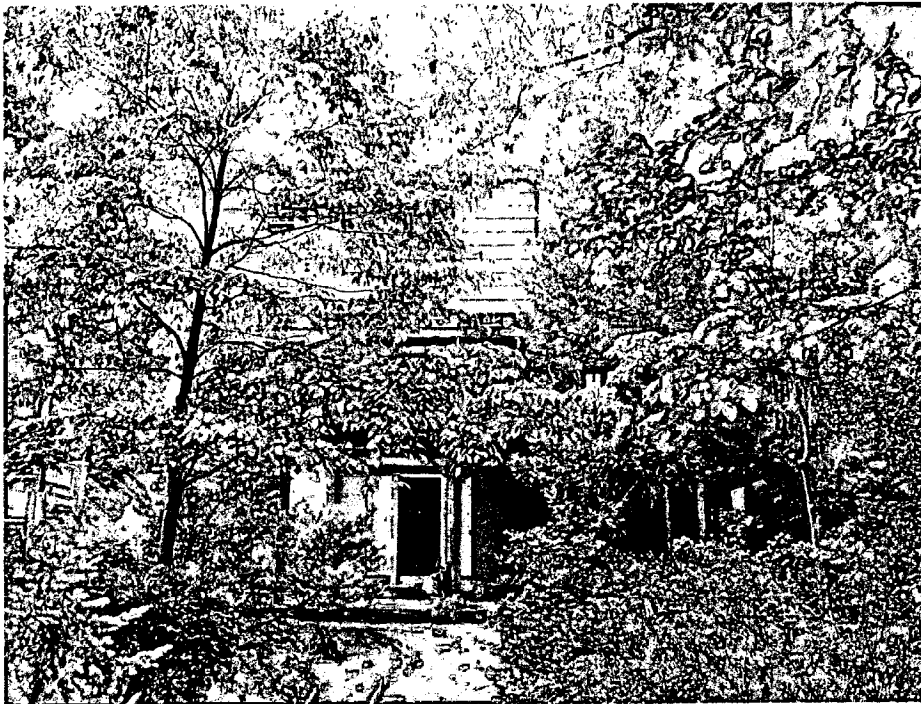
A-3







**HERMAN RESIDENCE**  
511 NEW YORK AVE., TAKOMA PARK, MD 20912  
FRONT ELEVATION



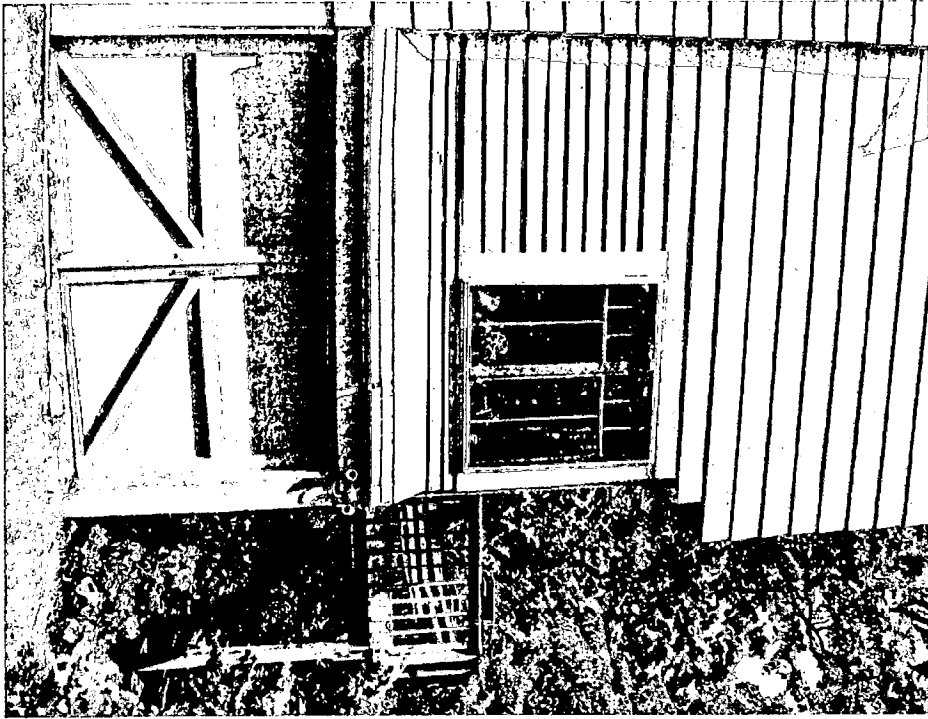
**HERMAN RESIDENCE**  
511 NEW YORK AVE., TAKOMA PARK, MD 20912  
REAR ELEVATION



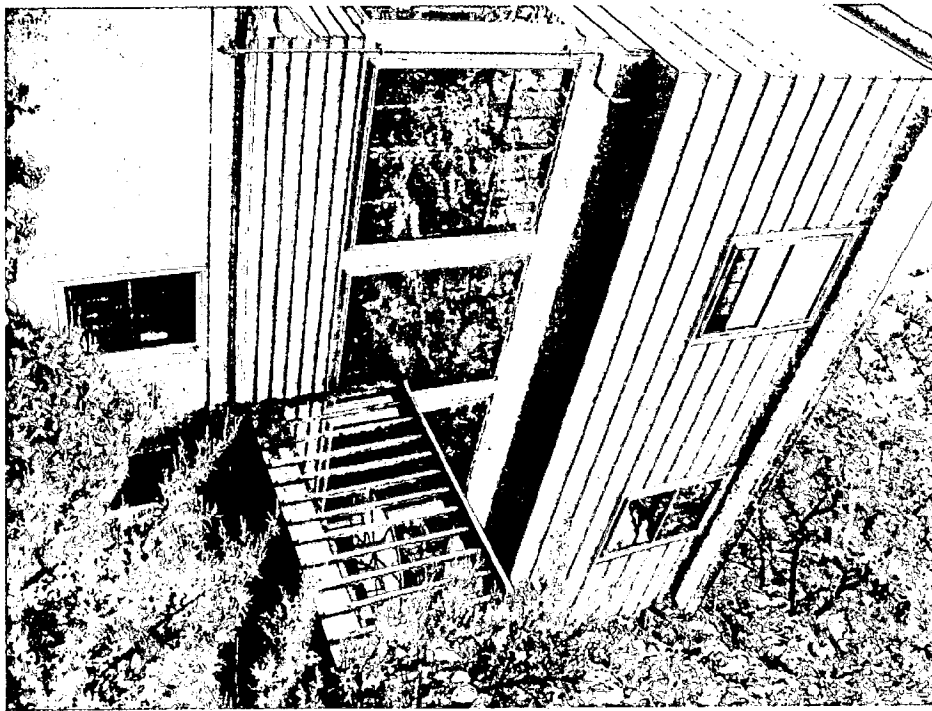
**HERMAN RESIDENCE**  
511 NEW YORK AVE., TAKOMA PARK, MD 20912  
VIEW FROM WEST RIGHT OF WAY



**HERMAN RESIDENCE**  
511 NEW YORK AVE., TAKOMA PARK, MD 20912  
VIEW FROM RIGHT OF WAY

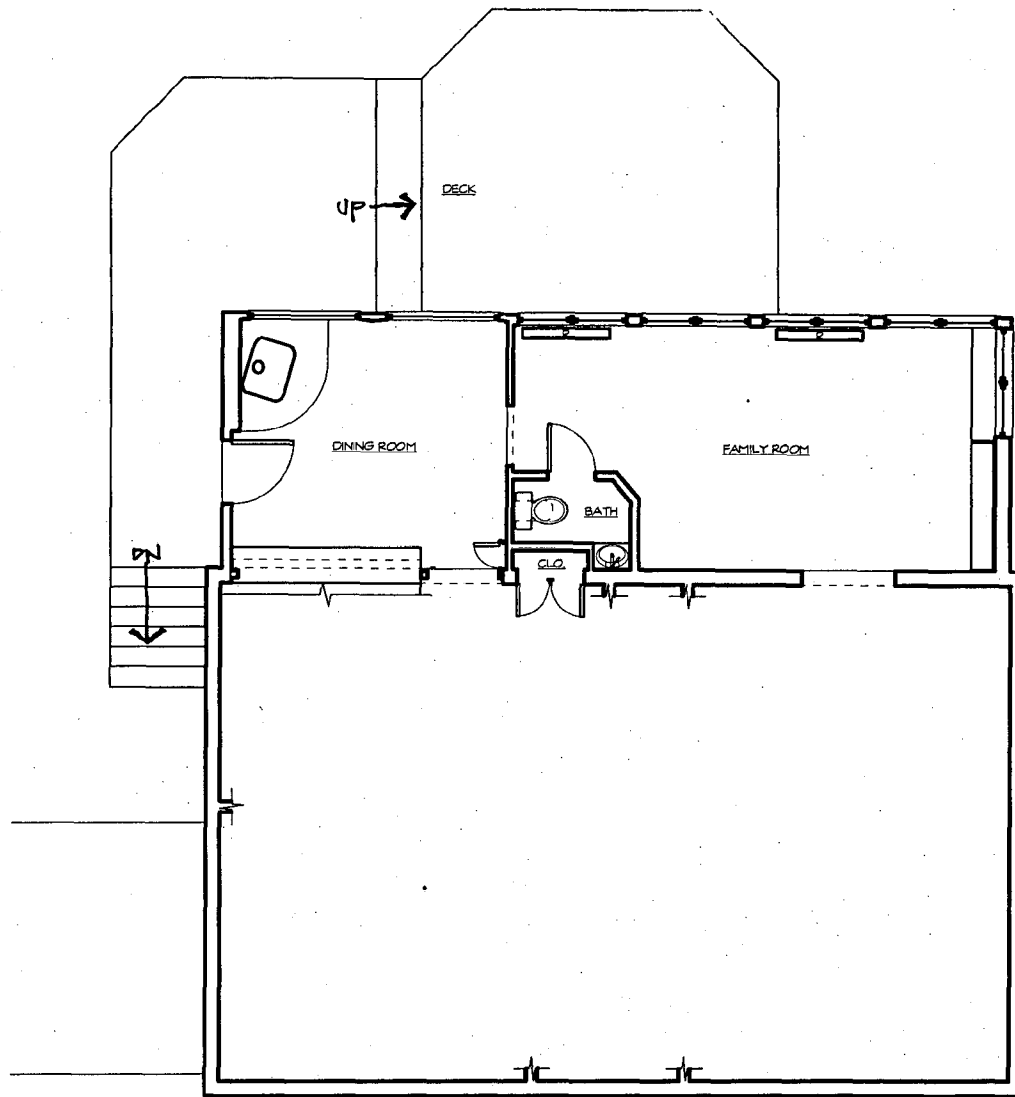


**HERMAN RESIDENCE**  
511 NEW YORK AVE., TAKOMA PARK, MD 20912  
REAR CORNER OF SIDE ELEVATION



**HERMAN RESIDENCE**  
511 NEW YORK AVE., TAKOMA PARK, MD 20912  
LEFT CORNER OF REAR ELEVATION





# Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

EXISTING FIRST FLOOR

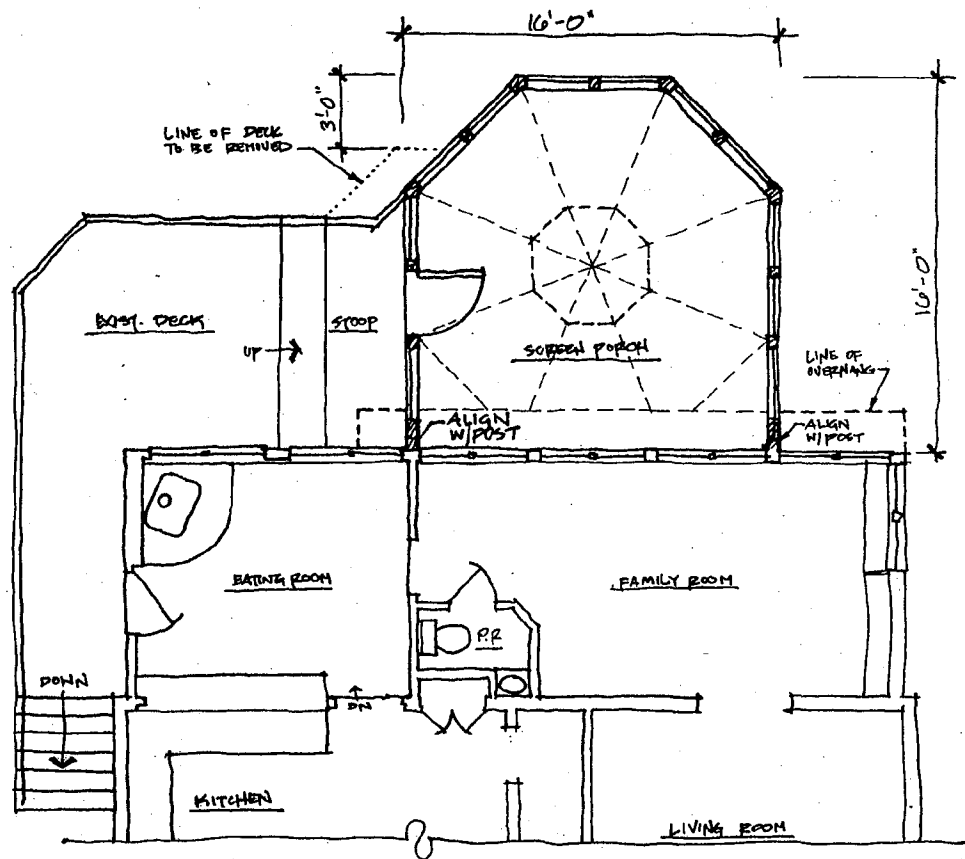
#0619

1/8" = 1'-0"

08.23.06

EC-1





# Herman Porch Addition

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Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

PROPOSED FIRST FLOOR

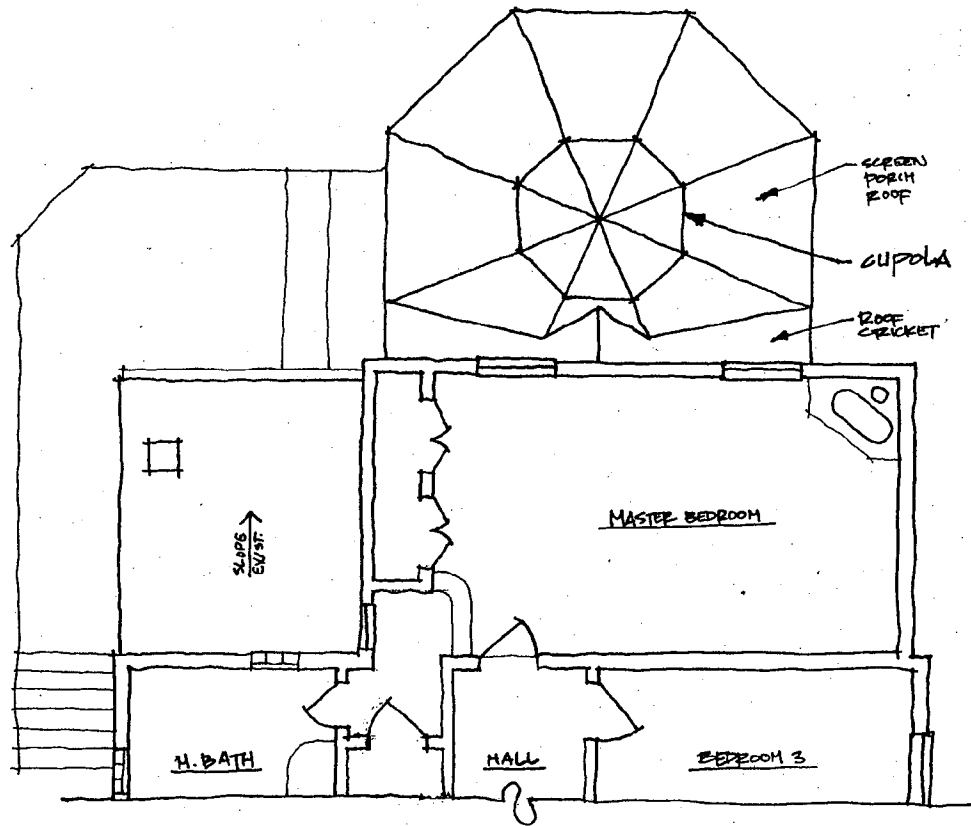
#0619

1/8" = 1'-0"

08.23.06

A-1





# Herman Porch Addition

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7003 Carroll Avenue

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301-270-9480

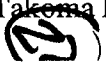
## PROPOSED SECOND FLOOR/ROOF PLAN

#0619

1/8" = 1'-0"

08.23.06

A-2



**511 New York Avenue, Takoma Park, MD 20912**  
**Confronting and Adjacent Neighbors**

Eugene U. & E.C Herman (Applicant)  
511 New York Avenue  
Takoma Park, MD 20912

Jerry & S.L. Ainsfield  
509 New York Avenue  
Takoma Park, MD 20912

Henry S. & D.M. Allen  
513 New York Avenue  
Takoma Park, MD 20912

Daniel P. Cunningham & Mary C. Hennessey  
7427 Buffalo Avenue  
Takoma Park, MD 20912

Diane Kay Bartz  
7426 Buffalo Avenue  
Takoma Park, MD 20912

Jose G. & M.E. Aragon  
504 Philadelphia Avenue  
Takoma Park, MD 20912

Francine Pollner  
510 Philadelphia Avenue  
Takoma Park, MD 20912



***EXPEDITED***  
**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	511 New York Ave, Takoma Park	<b>Meeting Date:</b>	9/13/2006
<b>Resource:</b>	Contributing Resource Takoma Park Historic District	<b>Report Date:</b>	9/6/2006
<b>Applicant:</b>	Eugene & Esther Herman (Susan Darcy)	<b>Public Notice:</b>	8/30/2006
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	37/03-06VV	<b>Staff:</b>	Tania Tully
<b>PROPOSAL:</b>	Screen porch addition		
<b>RECOMMENDATION:</b>	Approve		

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource Within The Takoma Park Historic District  
**STYLE:** Colonial Revival  
**DATE:** c1917

**PROPOSAL:**

Construct a gazebo style screened porch on top of an existing rear deck. The deck and screened porch connect to a c.1975 addition and will not be visible from the public right-of-way.

**STAFF RECOMMENDATION:**

- Approval**  
 Approval with conditions

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- 1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or
- 2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

- 3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or
- 4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- 5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- 6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

and with the general condition that the applicant shall present the **3 permit sets of drawings – if applicable – to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits

## Policy On Use of Expedited Staff Reports for Simple HAWP Cases

This policy is developed with the understanding that:

- I. The HPC's policy regarding in-kind replacement has not changed, that is, all replacement of exterior features with exactly matching materials may be done without a HAWP.
- II. Staff will continue to notify Local Advisory Panel (LAP), and adjacent and confronting owners of all HAWP applications and, if a neighbor is known to object to a proposal, the Expedited Staff Report will not be used.
- III. If, because of the specifics of the case, staff is uncertain whether the Expedited Staff Report format is appropriate, or if an applicant requests it, the Standard Staff Report will be used.
- IV. The expedited Staff Report format may be used on the following type of cases:
  1. Alterations to properties on which the Maryland Historical Trust (MHT) holds an easement and which have been reviewed and approved by the MHT Easement Committee.
  2. Modifications to a property, which do not significantly alter its visual character. These include, but are not limited to:
    - A. Repair or replacement of masonry foundations with new materials that match the original closely.
    - B. Installation of vents, venting pipes, and exterior grills.
    - C. New installation of gutters.
  3. Removal of asbestos, asphalt, or other artificial siding when the original siding is to be repaired, and where necessary, replaced in kind.
  4. Removal of accessory buildings that are not original to the site or otherwise historically significant.
  5. Replacement of missing architectural details, providing that at least one example of the detail to be replaced exists on the house, and/or physical or documentary evidence exists that illustrates or describes the missing detail or details.
  6. Signs that are in conformance with all other County sign regulations.
  7. Construction of wooden decks that are at the rear of a structure and are not readily visible from a public right-of-way. This applies to all categories of resources: Outstanding, Contributing, Individually Designated Sites, or Non-Contributing.
  8. Replacement of roofs on non-contributing or out-of-period buildings, as well as new installation of historically appropriate roofing materials on outstanding and contributing buildings.
  9. Installation of exterior storm windows or doors that are compatible with the historic site or district in terms of material or design.
  10. Construction of fences that are compatible with historic site or district in terms of material, height, location, and design. Requests for fences higher than 48" to be located in the front yard of a property will not be reviewed using an Expedited Staff Report.
  11. Construction or replacement of walkways, parking areas, patios, driveways, or other paved areas that are not readily visible from a public right-of-way and/or are compatible in material, location, and design with the visual character of the historic site or district.
  12. Construction or repair of retaining walls where the new walls are compatible in material, location, design and height with the visual character of the historic site or district.
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Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

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 Revision  Repair  Revocable

### CHECK ALL APPLICABLE:

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 Solar  Fireplace  Woodburning Stove  Single Family  
 Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 20,000

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2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Susan Darcy

Signature of owner or authorized agent

23 AUG 2006

Date

Approved: \_\_\_\_\_

For Chairperson, Historic Preservation Commission

(4)

1. VERBAL DESCRIPTION OF PROJECT

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6/1 DOUBLE HUNG WINDOWS W/ WOOD SHUTTERS, 4 1/2" EXPOSURE WOOD SIDING ON  
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- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
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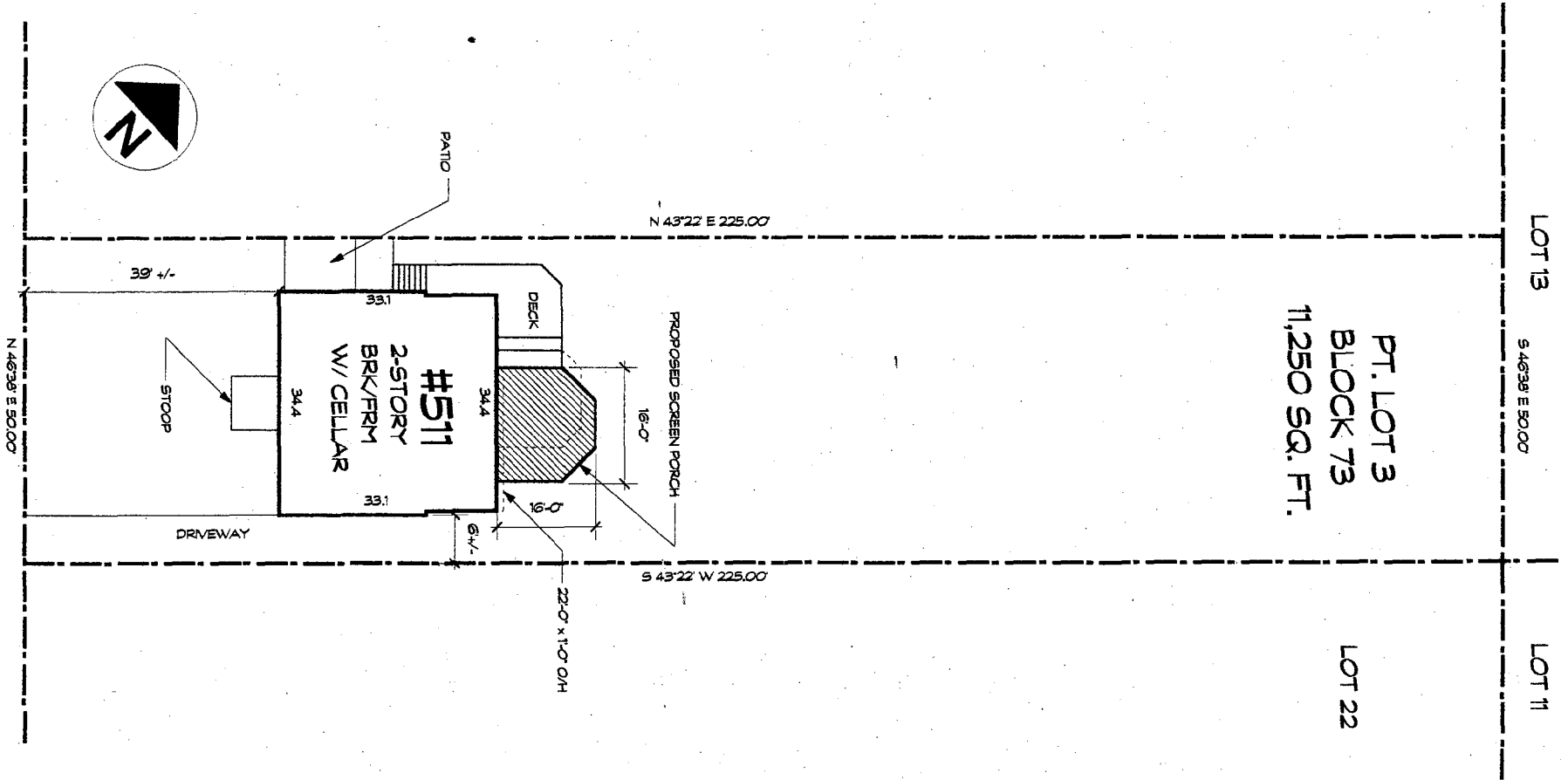
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7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

5

NEW YORK AVE



6

**HERMAN PORCH ADDITION**

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

SITE PLAN

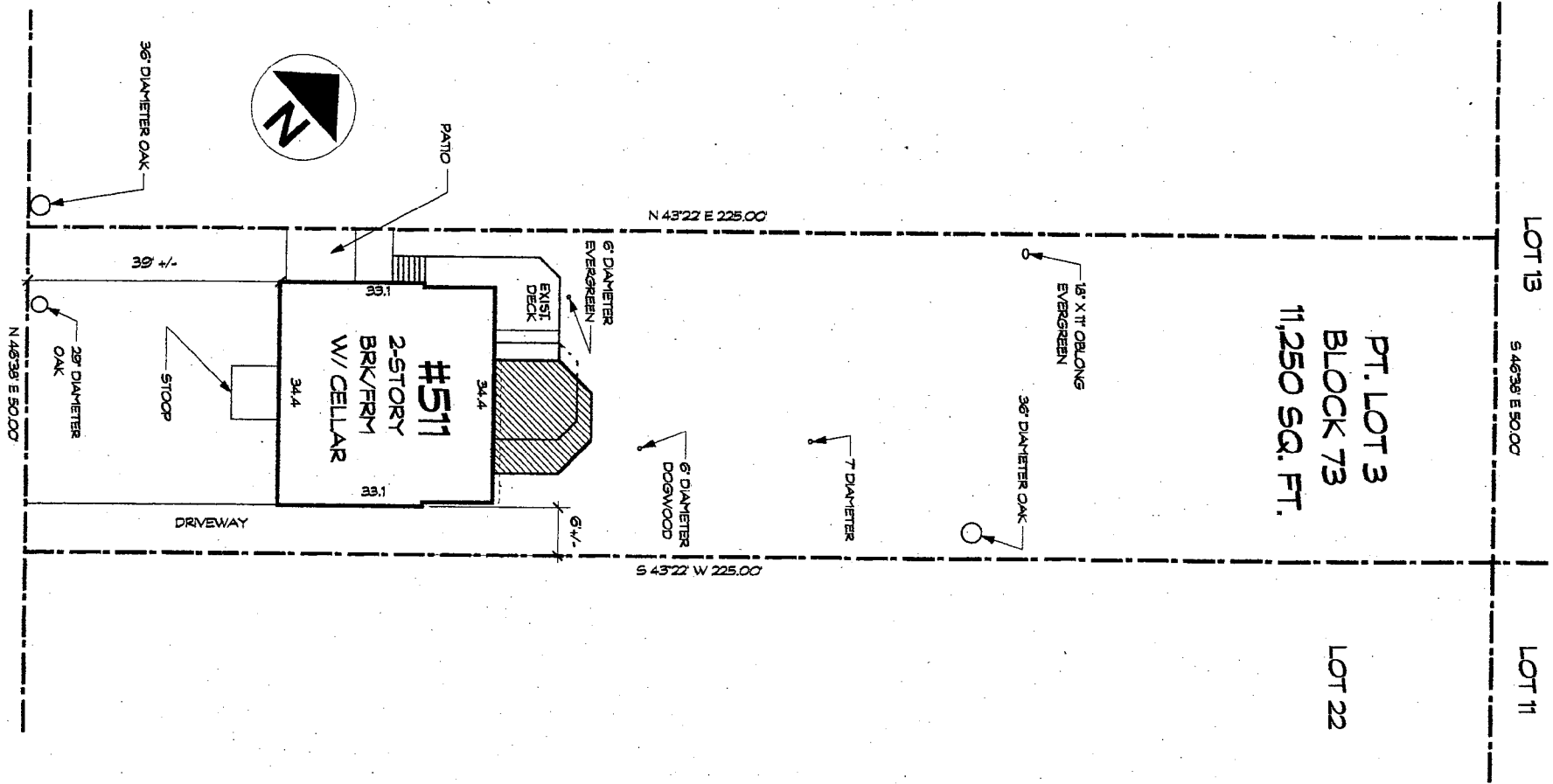
#0619  
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SP-1

PT. LOT 3  
BLOCK 73  
11,250 SQ. FT.

LOT 13 5 46'38" E 50.00'  
LOT 11  
LOT 22

NEW YORK AVE



**HERMAN PORCH ADDITION**

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7003 Carroll Avenue  
Takoma Park, Maryland 20912

301-270-9480

TREE SURVEY

#0619  
1/16" = 1'-0"  
08.23.06

TS-1



## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

EXISTING FRONT ELEVATION

#0619

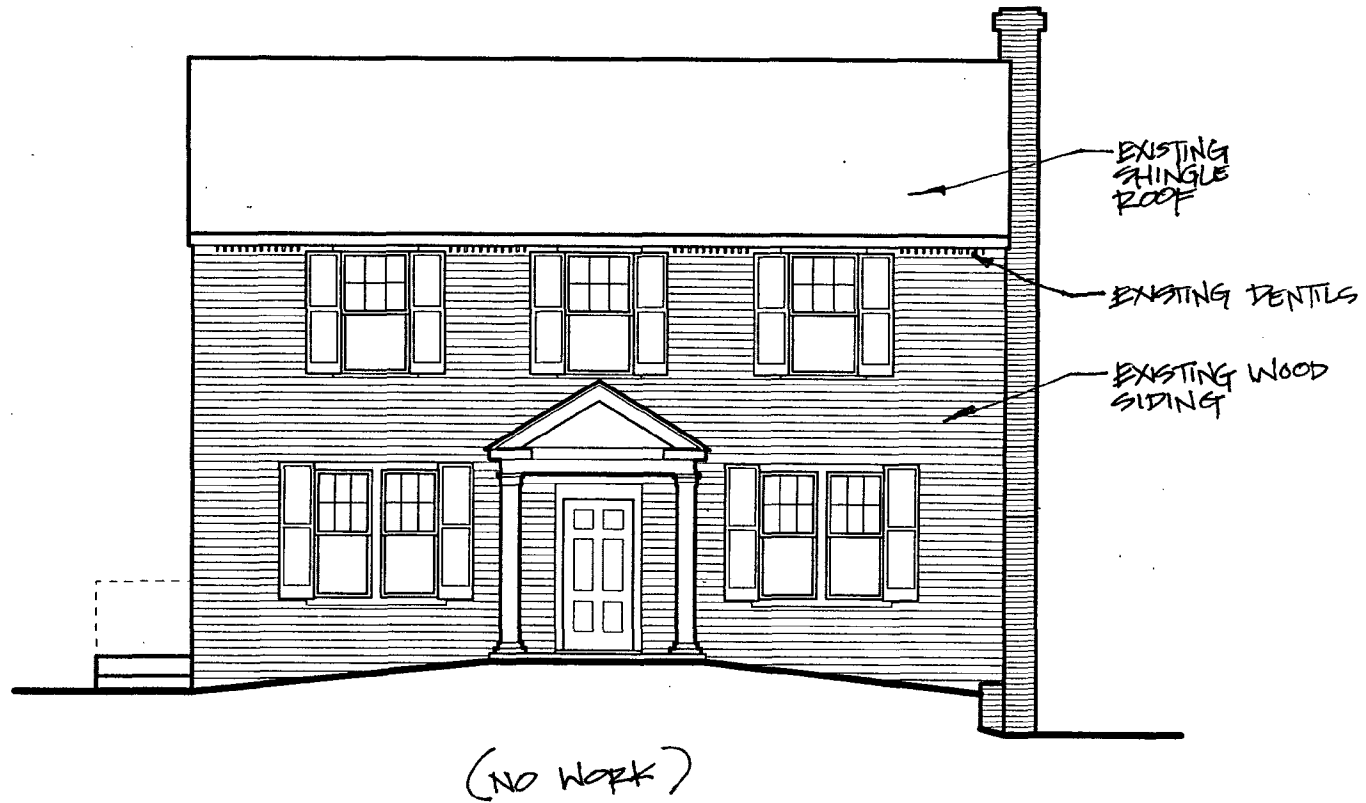
1/8" = 1'-0"

08.23.06

EC-2







## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

PROPOSED FRONT ELEVATION

#0619

1/8" = 1'-0"

08.23.06

A-6



## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

EXISTING SIDE ELEVATION

#0619

1/8" = 1'-0"

08.23.06

EC-3



## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

PROPOSED SIDE ELEVATION

#0619

1/8" = 1'-0"

08.23.06

A-5





## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

EXISTING REAR ELEVATION

#0619

1/8" = 1'-0"

08.23.06

EC-4



# Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

PROPOSED BACK ELEVATION

#0619

1/8" = 1'-0"

08.23.06

A-4

13



## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

EXISTING SIDE ELEVATION

#0619

1/8" = 1'-0"

08.23.06

EC-5





# Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

PROPOSED SIDE ELEVATION

#0619

1/8" = 1'-0"

08.23.06

A-3





**HERMAN RESIDENCE**  
511 NEW YORK AVE., TAKOMA PARK, MD 20912  
FRONT ELEVATION



**HERMAN RESIDENCE**  
511 NEW YORK AVE., TAKOMA PARK, MD 20912  
REAR ELEVATION





**HERMAN RESIDENCE**  
511 NEW YORK AVE., TAKOMA PARK, MD 20912  
VIEW FROM WEST RIGHT OF WAY



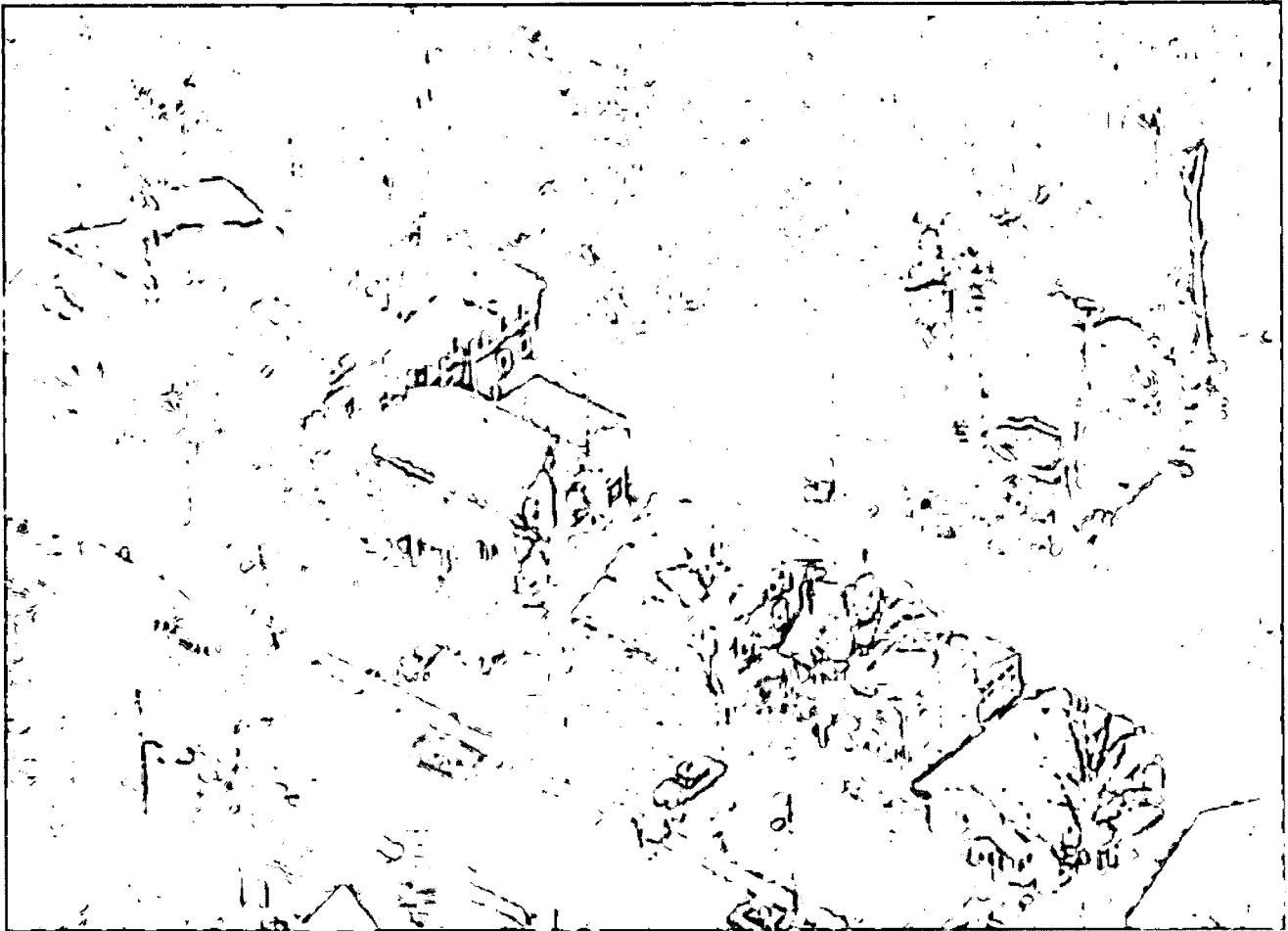
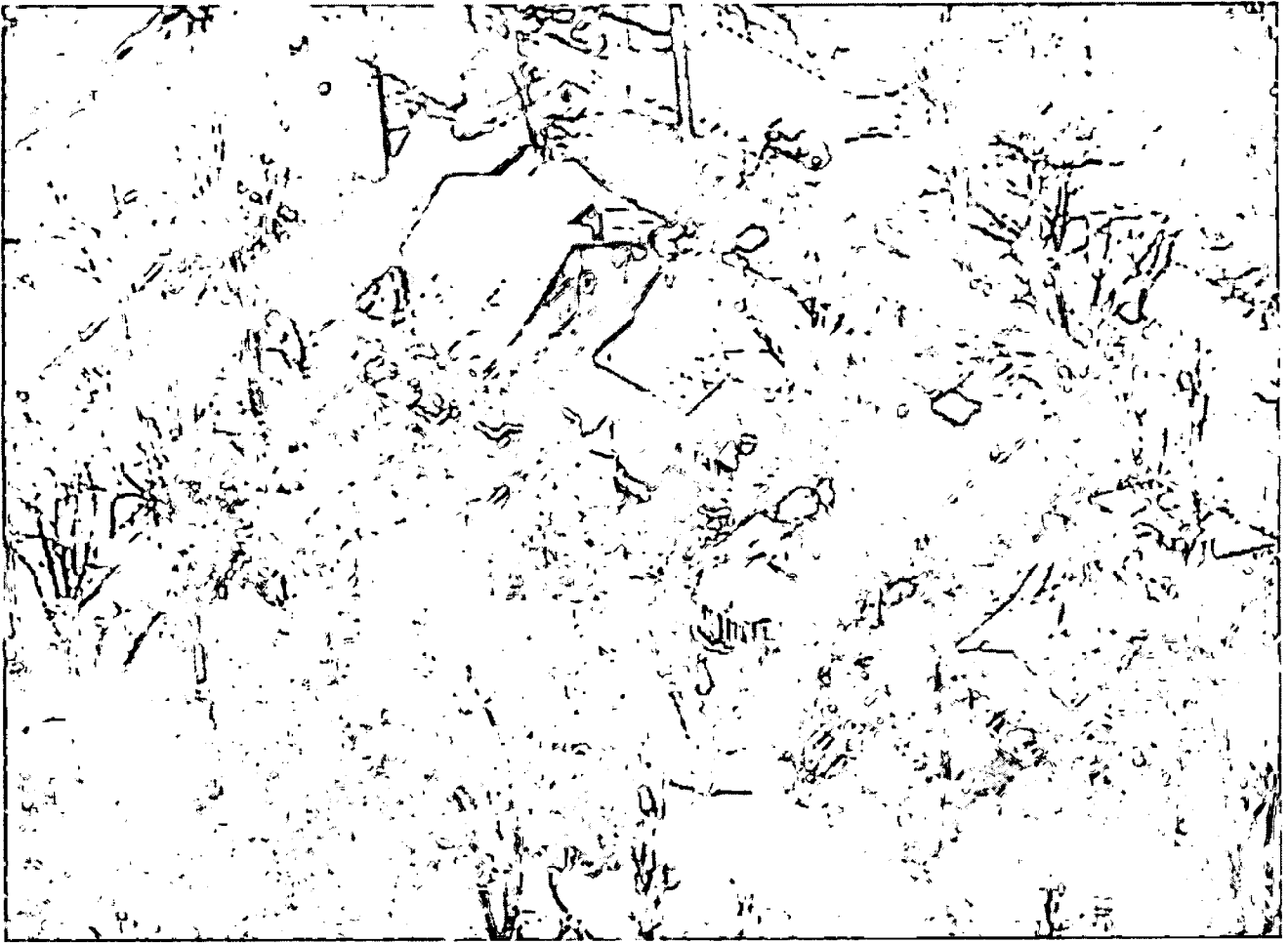
**HERMAN RESIDENCE**  
511 NEW YORK AVE., TAKOMA PARK, MD 20912  
VIEW FROM RIGHT OF WAY

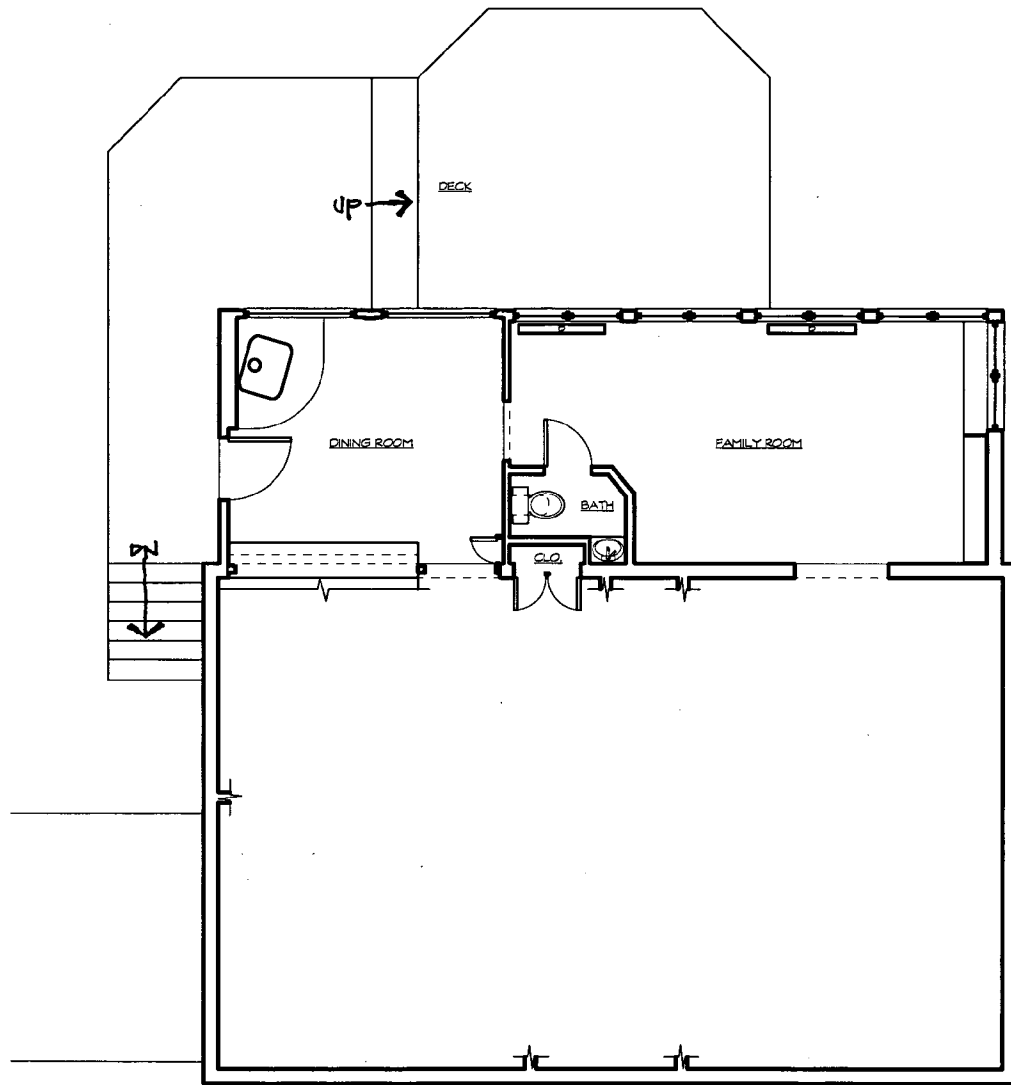


**HERMAN RESIDENCE**  
511 NEW YORK AVE., TAKOMA PARK, MD 20912  
REAR CORNER OF SIDE ELEVATION



**HERMAN RESIDENCE**  
511 NEW YORK AVE., TAKOMA PARK, MD 20912  
LEFT CORNER OF REAR ELEVATION





## Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

**Bennett Frank McCarthy Architects Inc.**

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

EXISTING FIRST FLOOR

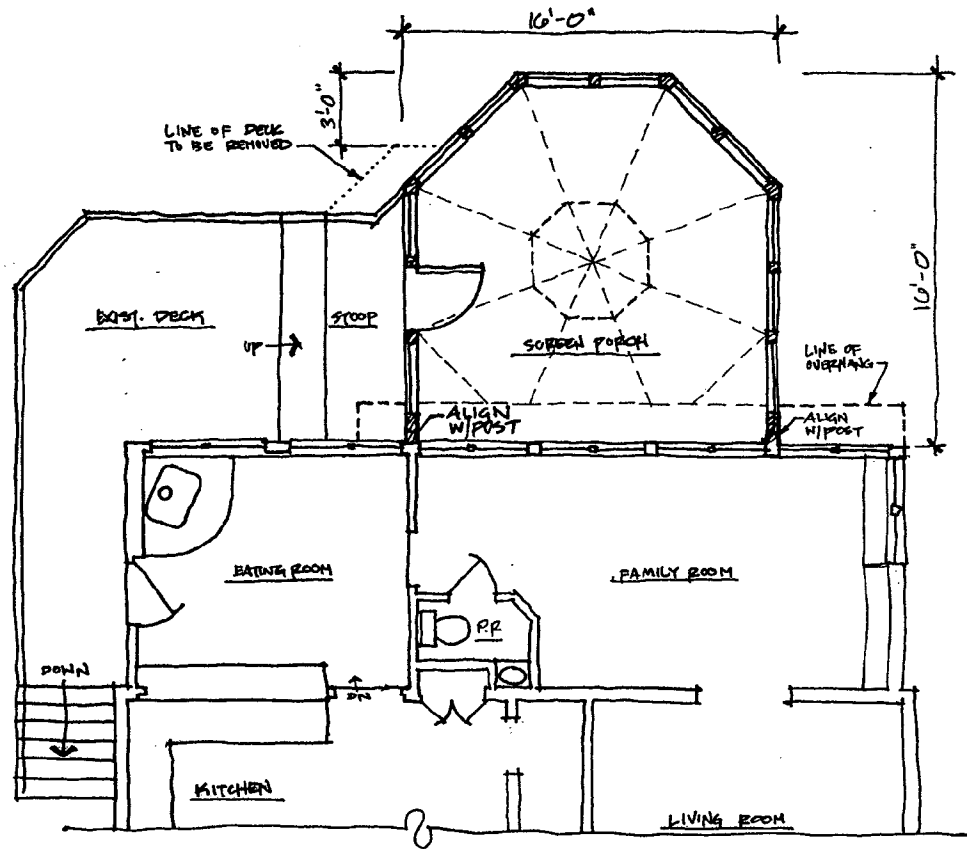
#0619

1/8" = 1'-0"

08.23.06

**EC-1**





# Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

PROPOSED FIRST FLOOR

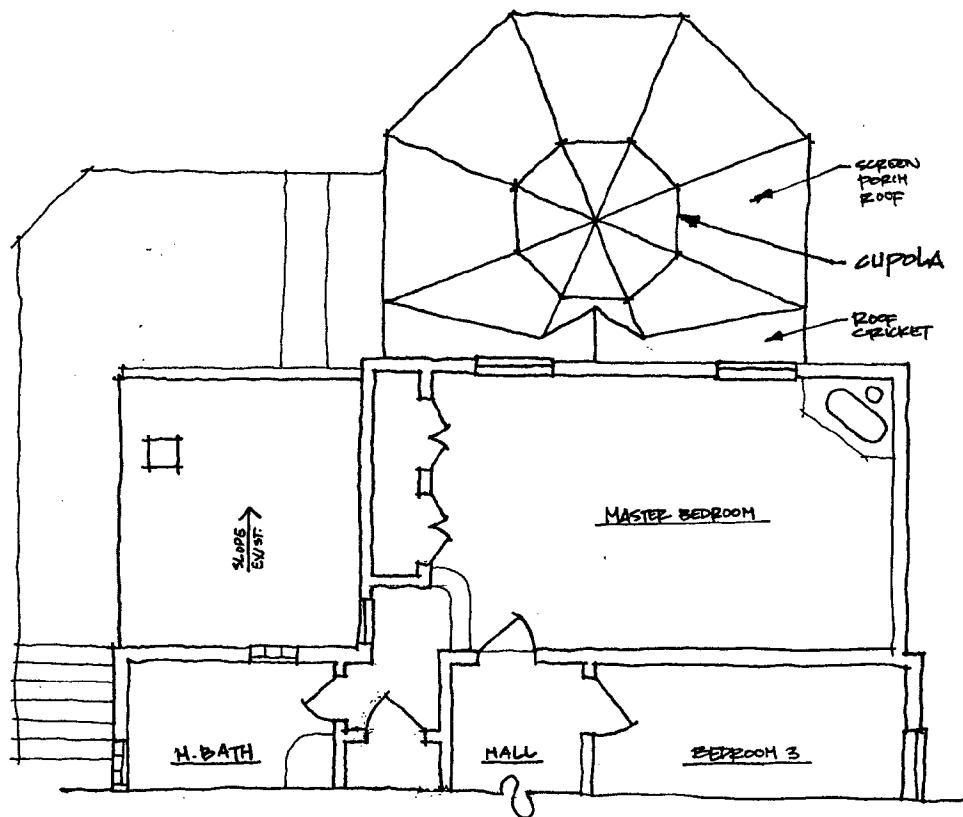
#0619

1/8" = 1'-0"

08.23.06

A-1





# Herman Porch Addition

511 New York Ave., Takoma Park, MD 20912

Bennett Frank McCarthy Architects Inc.

7003 Carroll Avenue

Takoma Park, Maryland 20912

301-270-9480

## PROPOSED SECOND FLOOR/ROOF PLAN

#0619

1/8" = 1'-0"

08.23.06

A-2



**511 New York Avenue, Takoma Park, MD 20912**  
**Confronting and Adjacent Neighbors**

Eugene U. & E.C Herman (Applicant)  
511 New York Avenue  
Takoma Park, MD 20912

Jerry & S.L. Ainsfield  
509 New York Avenue  
Takoma Park, MD 20912

Henry S. & D.M. Allen  
513 New York Avenue  
Takoma Park, MD 20912

Daniel P. Cunningham & Mary C. Hennessey  
7427 Buffalo Avenue  
Takoma Park, MD 20912

Diane Kay Bartz  
7426 Buffalo Avenue  
Takoma Park, MD 20912

Jose G. & M.E. Aragon  
504 Philadelphia Avenue  
Takoma Park, MD 20912

Francine Pollner  
510 Philadelphia Avenue  
Takoma Park, MD 20912