

7102-04 Maple Avenue, Takoma Park  
HPC Case No 37103-08 ~~HH~~ HH  
Takoma Park Historic District

- called 1/2 time - left 2 messages  
Helen - called + left message; Mr. Chamberlain - left more  
some details. Will await return call.

Rachel

Roxanne Fulcher  
+ Keith  
Chamberlain,  
- of 710's made,  
stopped by today,  
Th. 6/12/08  
Sandia 4:30

The applicant  
will provide  
don specification  
Sheet to HPE  
Staff pins to  
Stamping/Plans.



HISTORIC PRESERVATION COMMISSION

Isiah Leggett  
County Executive

Jef Fuller  
Chairperson

Date: July 7, 2008

**MEMORANDUM**

TO: Carla Reid, Director  
Department of Permitting Services

FROM: Rachel Kennedy, Senior Planner *RK*  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #486910, Rear porch and basement step alterations

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was approved with following conditions at the June 25, 2008 meeting.

*One: The applicant will provide a door specification sheet for the rear screen doors to HPC staff prior to stamping of plans.*

*Two: Replacement of the original fifteen light wood front balcony door is not approved. Applicants should repair the original second floor front balcony door and use it as a guide to replace the nonhistoric hollow core balcony door. Additionally, applicants must provide HPC staff with a specification sheet detailing the new wood true divided light door before final approval. The new door must be an exact replica of the old door.*

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Keith Chamberlin & Roxanne Fulcher  
Address: 7102-7104 Maple Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.



# APPLICATION FOR HISTORIC AREA WORK PERMIT

780910

R

Date filed: 6/4/08  
Date issued

Contact Person: Keith Chamberlin

Daytime Phone No.: 301-286-2580

Tax Account No.: 161301068620

Name of Property Owner: Keith Chamberlin and Roxanne Fulcher Daytime Phone No.: 301-286-2580

Address: 7227 Central Ave, Takoma Park, MD 20912  
Street Number City Street Zip Code

Contractor: Socrates Kondilis Phone No.: 301-286-2580

Contractor Registration No.:

Agent for Owner: Daytime Phone No.: 301-910-3709

## LOCATION OF BUILDING/PREMISE

House Number: 7102/7104 Street: Maple Ave

Town/City: Takoma Park Nearest Cross Street: Carroll Ave

Lot: Pt 17, Pt 18 Block: 4 Subdivision: Takoma Park

Liber: 13424 Folio: 457 Parcel:

## PART ONE: TYPE OF PERMIT ACTION AND USE

### 1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

### CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: ✓

1B. Construction cost estimate: \$ 20,000 ✓

1C. If this is a revision of a previously approved active permit, see Permit #

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other:

2B. Type of water supply: 01  WSSC 02  Well 03  Other:

## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

*[Signature]*  
Signature of owner or authorized agent

6/04/08  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The house is a 2 story home with a flat roof. It is broken into 4 individual apartments for rental use. It is zoned single family home, R-60, grand father exception for multi-use. It is an outstanding resource for the Montgomery County Historical Society.

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- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Replace/rebuild 2 brick support tiers. Replace porch, all wood, to make structurally sound and bring up to current building codes. Dimensions will remain identical to original structure but a landing will be constructed for entrances to both sides of porch from one set of steps. Current porch is pulling away from house and out of brick pockets. It has 4x4 support posts, which are insufficient. Some of the joists are twisted and rotting as well as the floor boards. Inferior old construction techniques were used which makes the porch structurally inadequate by today's standards. Replace front balcony doors with original style door, all wood, full door window panes (15 pane door)

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## 2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

## 3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

## 4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

## 5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

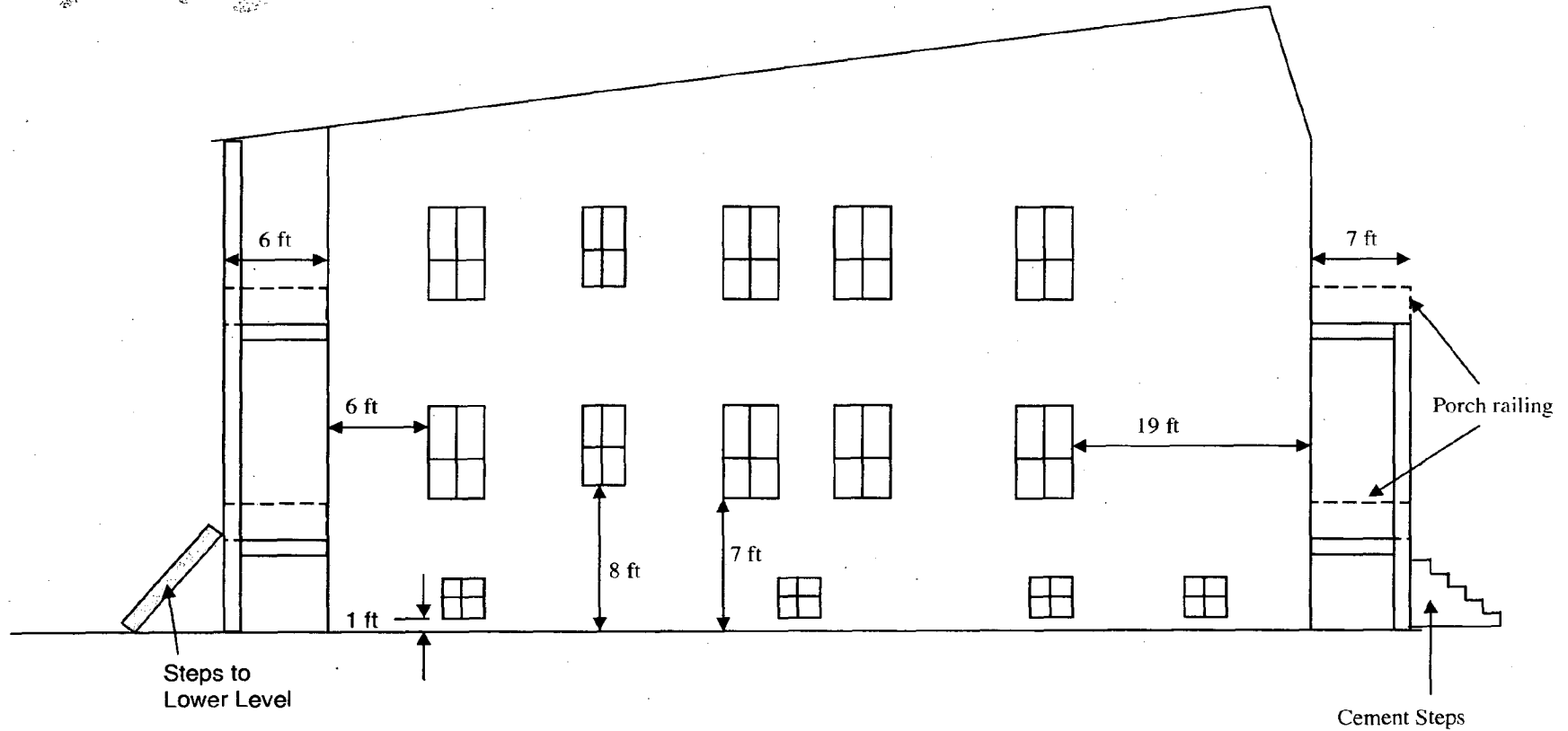
## 6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

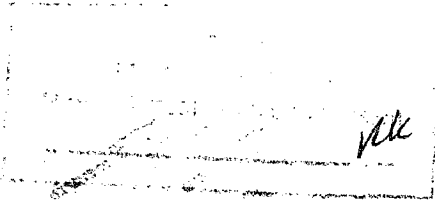
## 7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS



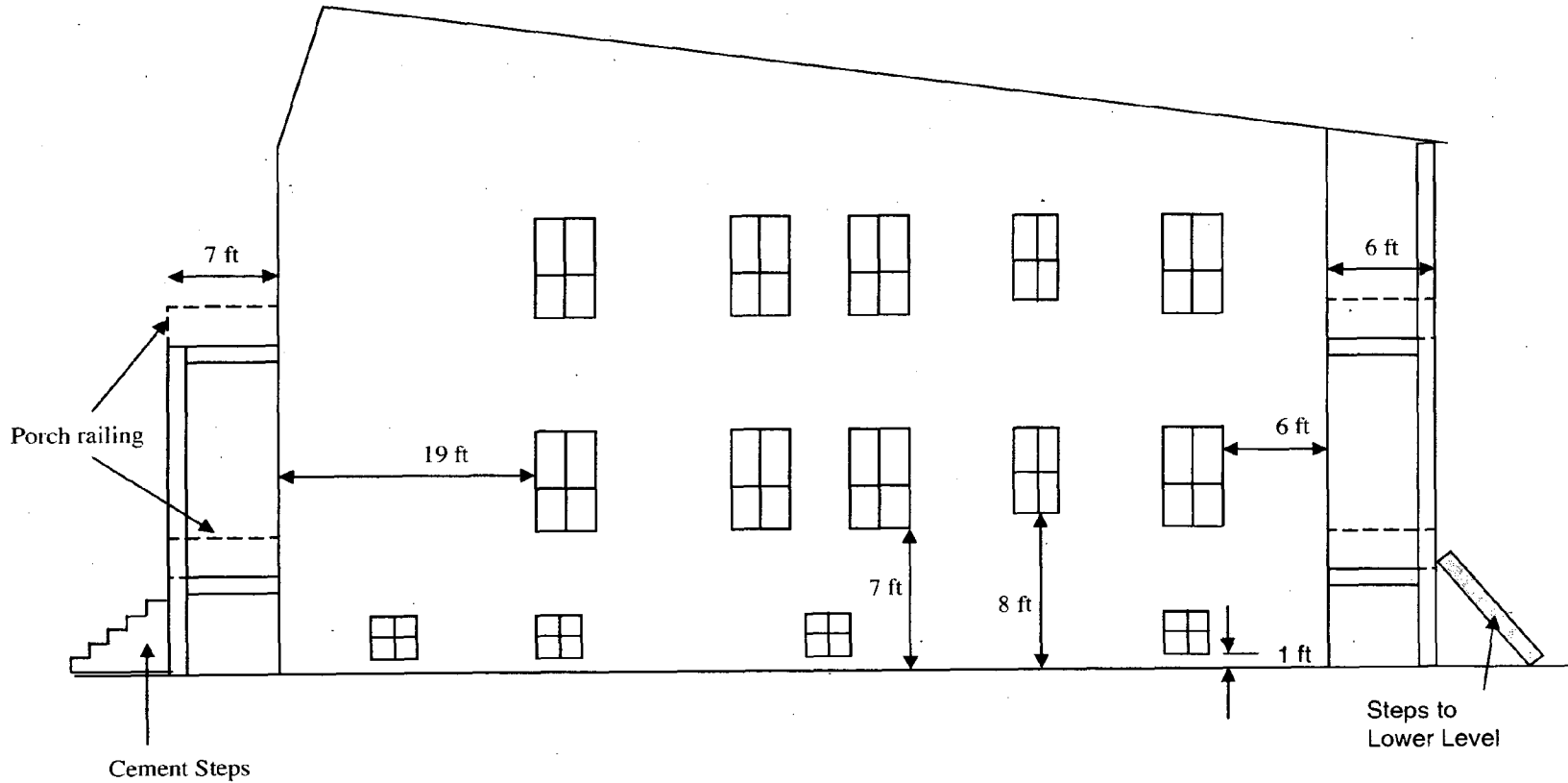
# Left Façade (Existing)



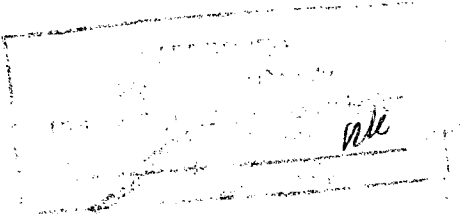
7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair



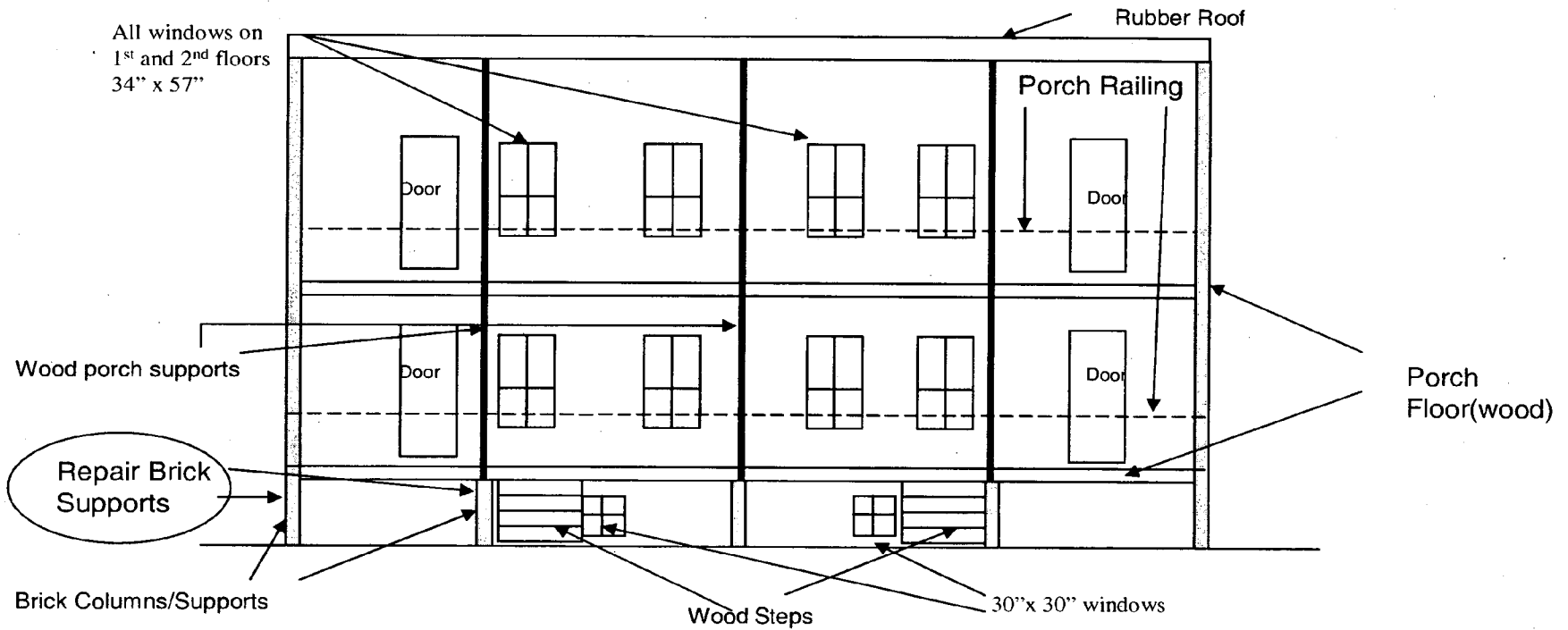
# Right Façade (Existing)



7102 Maple Ave, Takoma Park  
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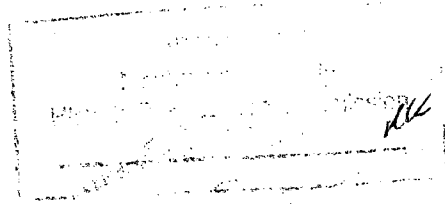


# Rear Façade (Existing)

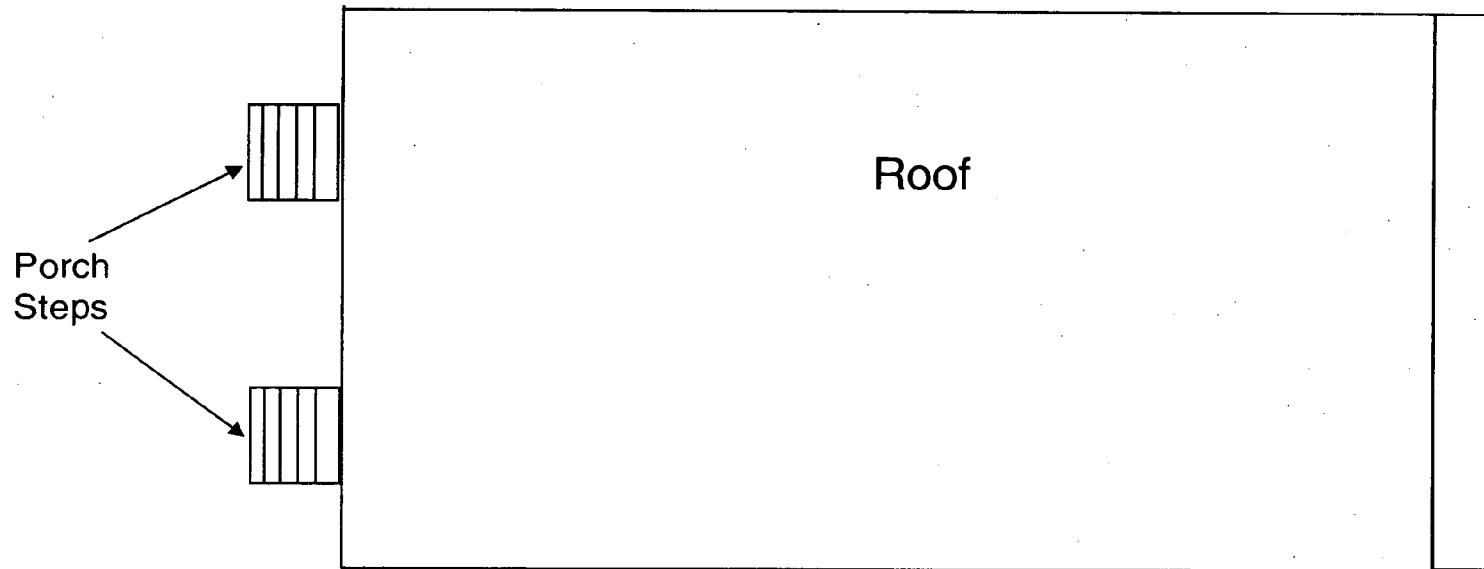


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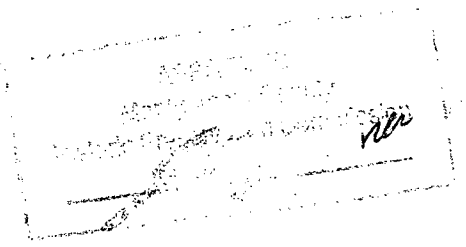


# Top View (Existing)



Top View

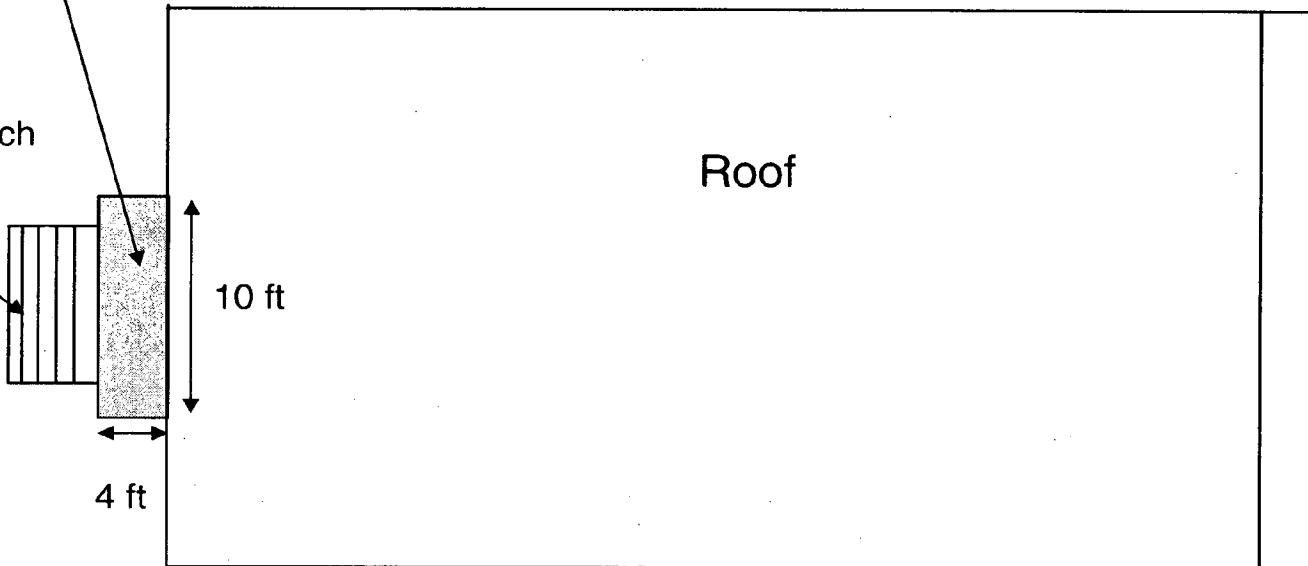
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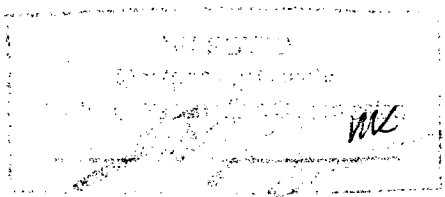
# Top View (After replacement)

Lower Porch landing

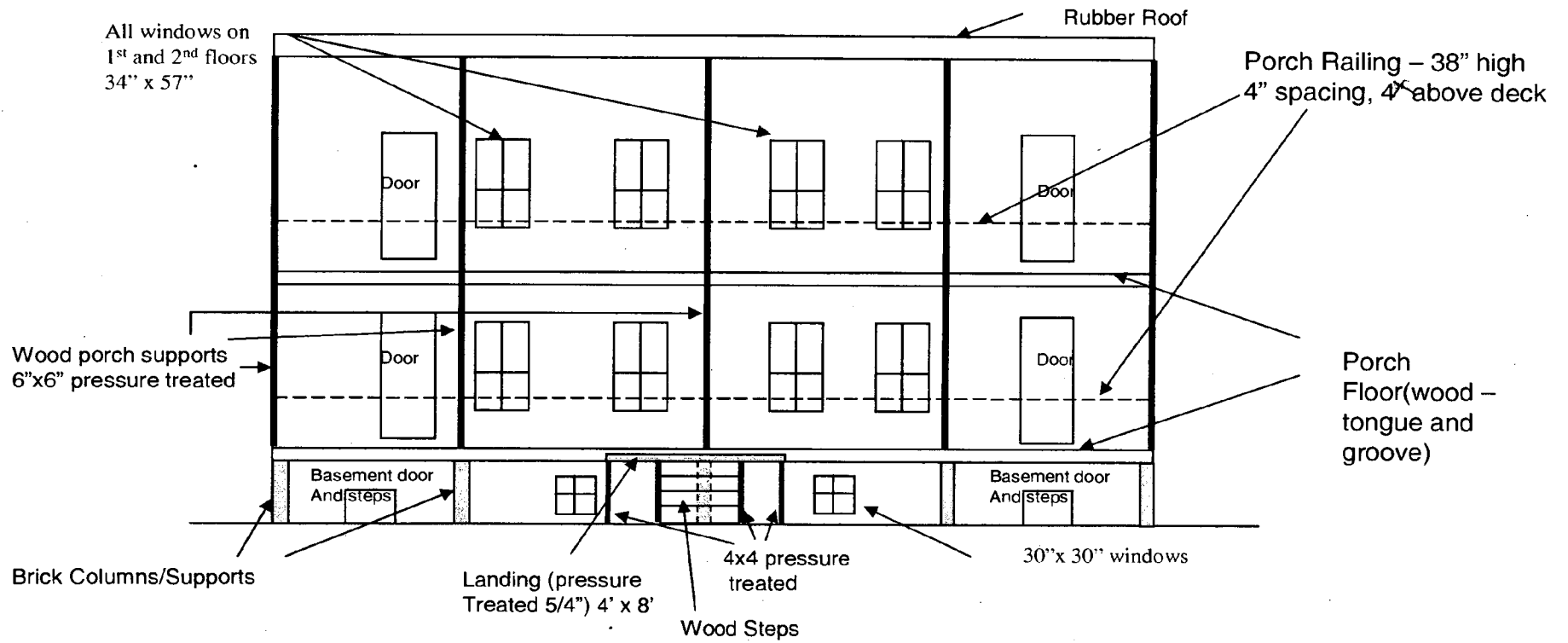
Lower Porch Steps



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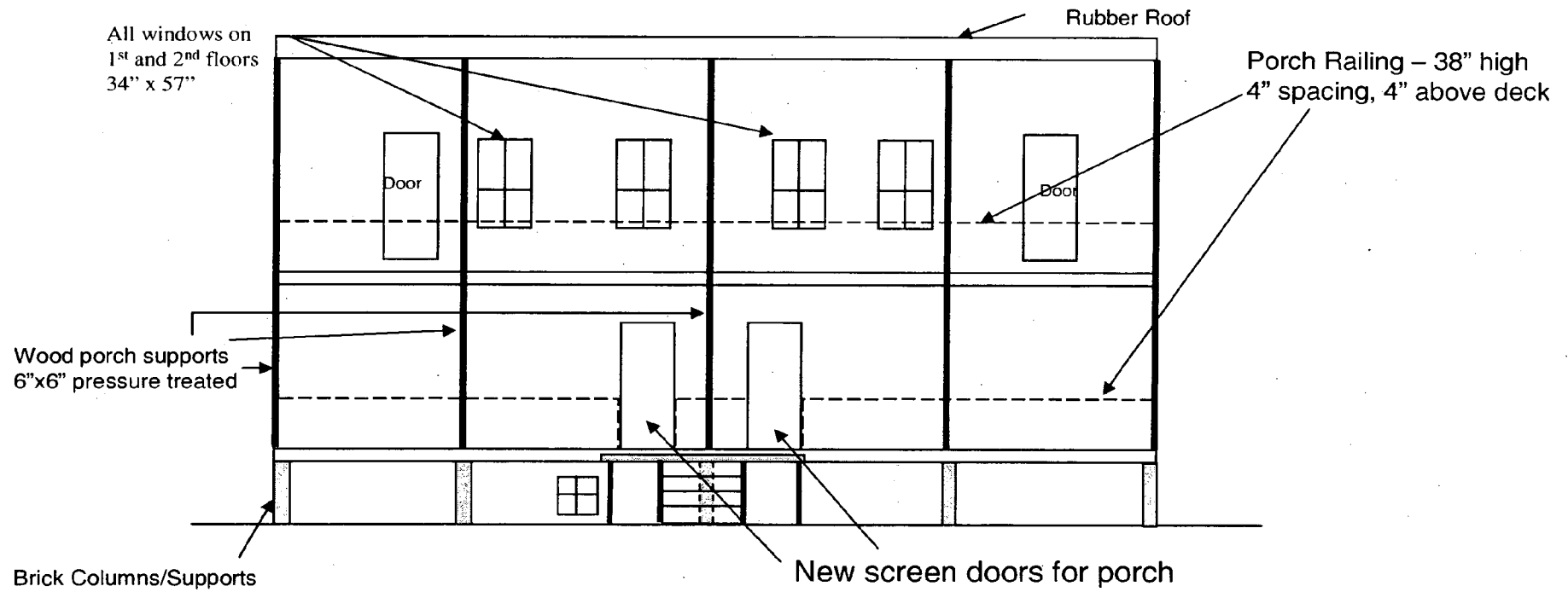


# Rear Façade (After replacement)



7102 Maple Ave, Takoma Park  
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**Rear Façade (After replacement showing screen doors)**

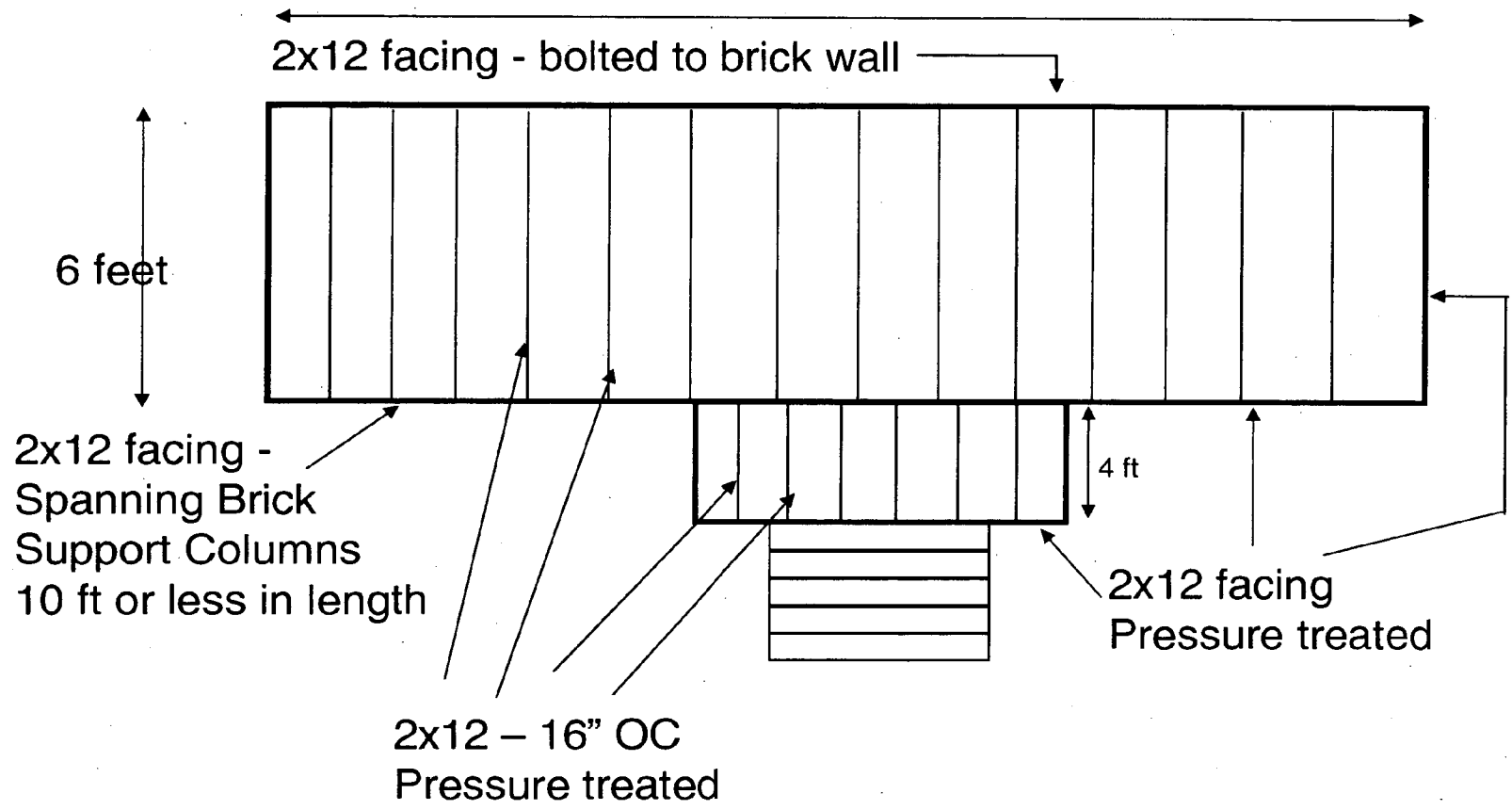


7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair



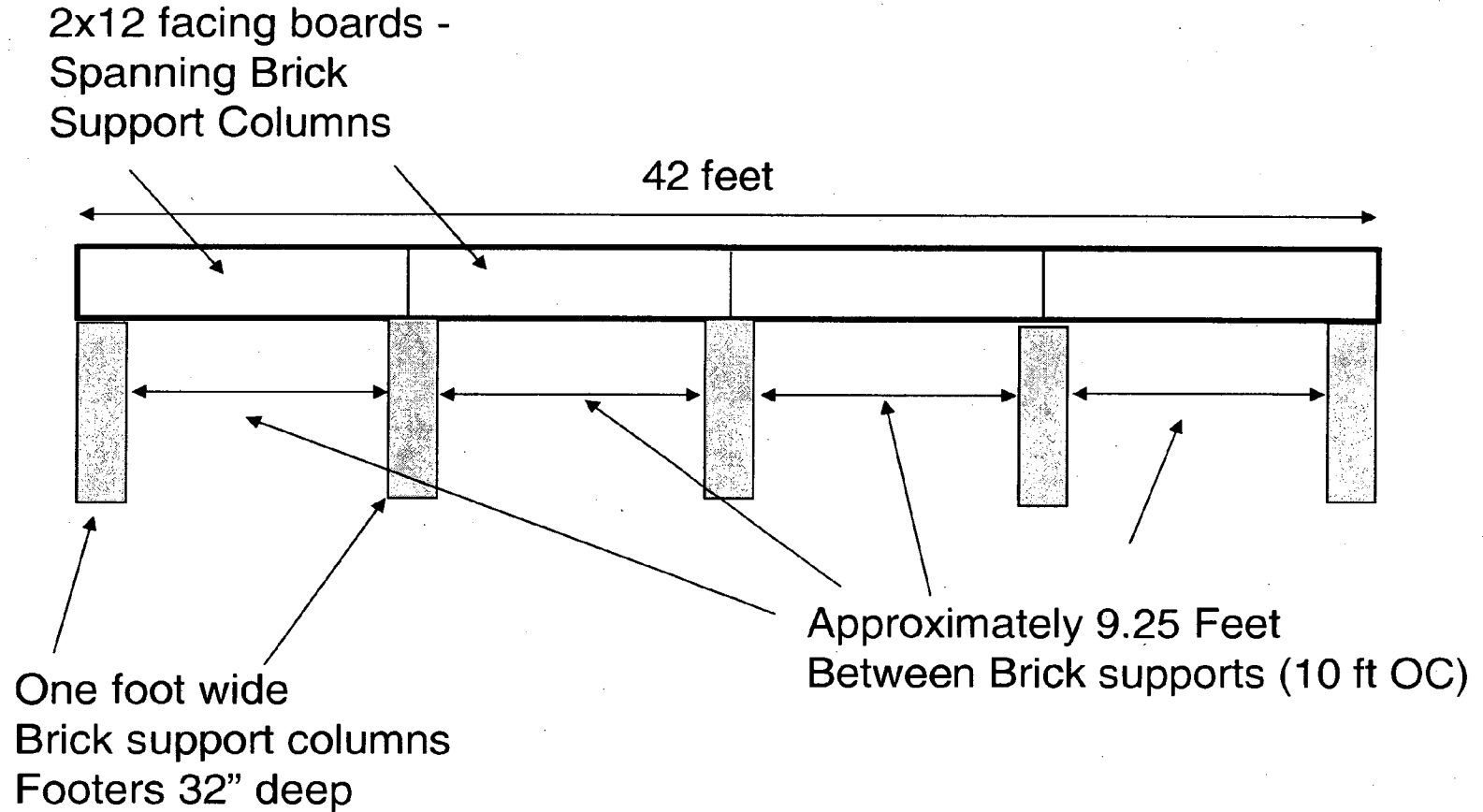
# Porch and Landing – Top View

42 feet



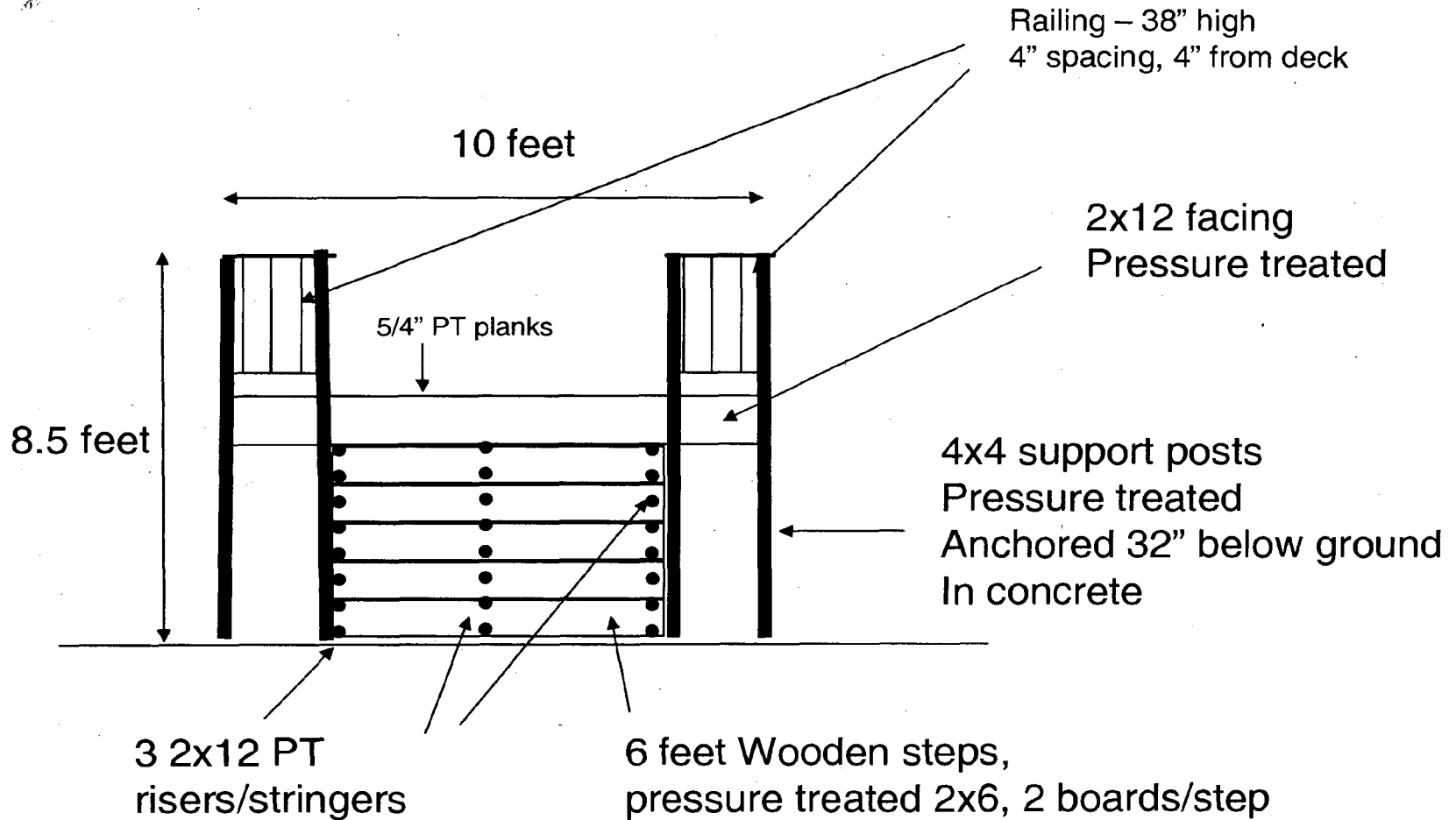
7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

*W/C* Rear Porch – Facing view w/o landing



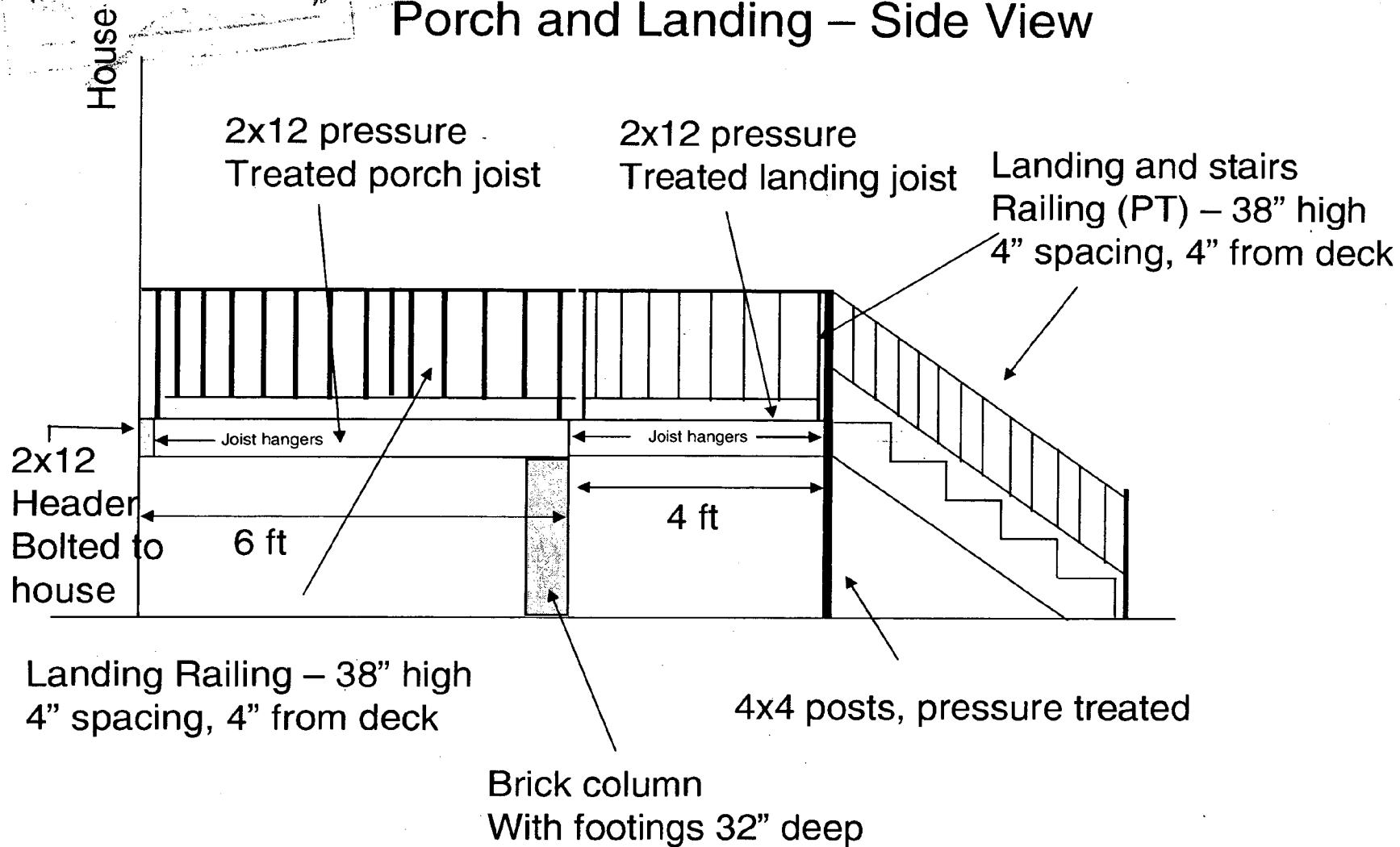
7102 Maple Ave, Takoma Park  
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*Mc*  
Landing – view facing house



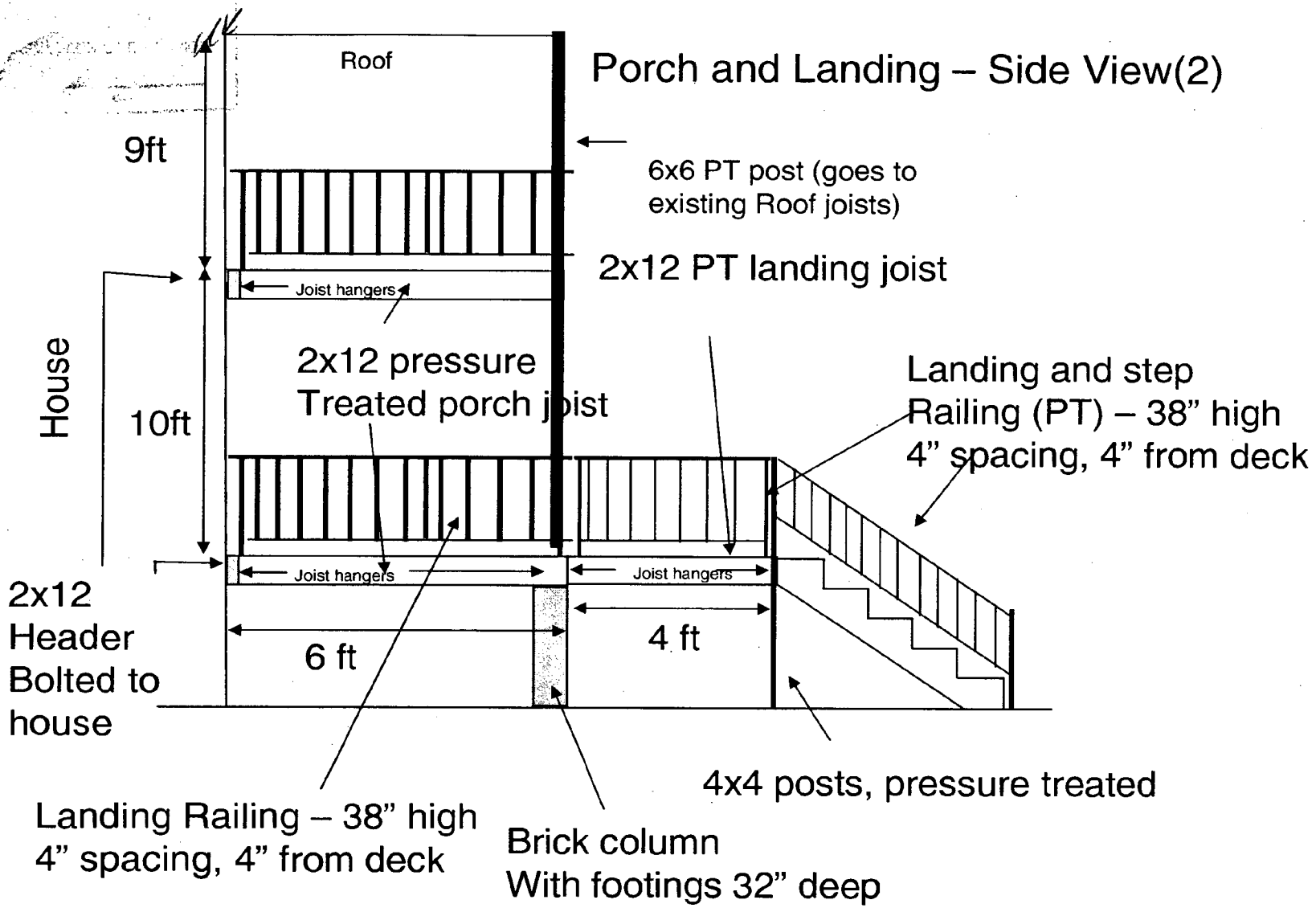
7102 Maple Ave, Takoma Park  
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# Porch and Landing – Side View

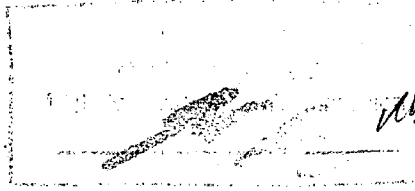


7102 Maple Ave, Takoma Park  
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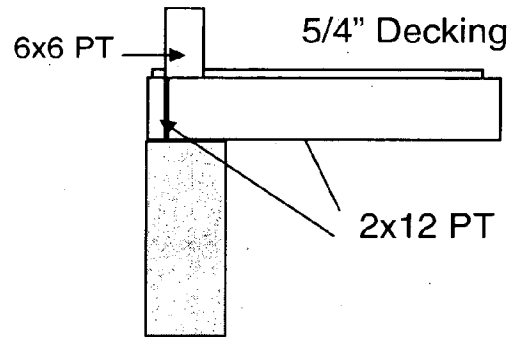


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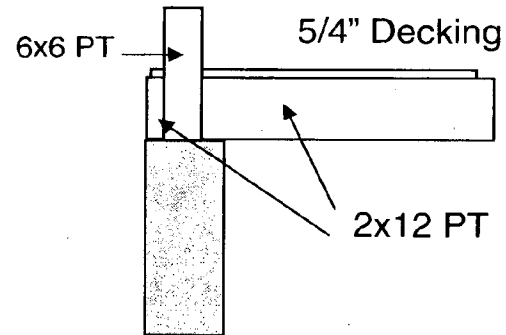
*1st* 1st Floor Support Post Installation

End Columns



Brick column  
13" x 13"

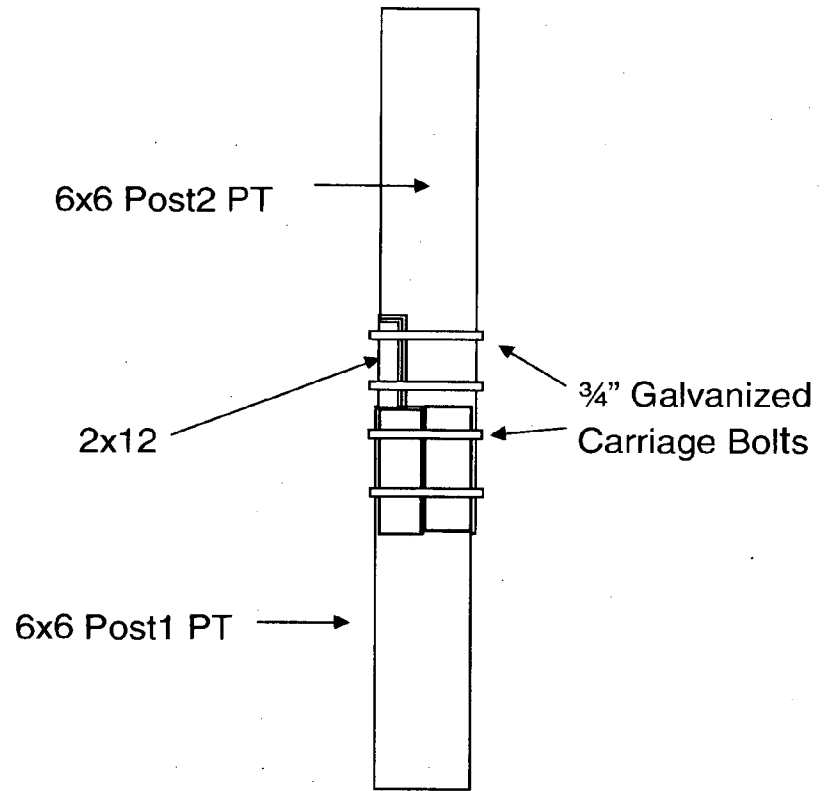
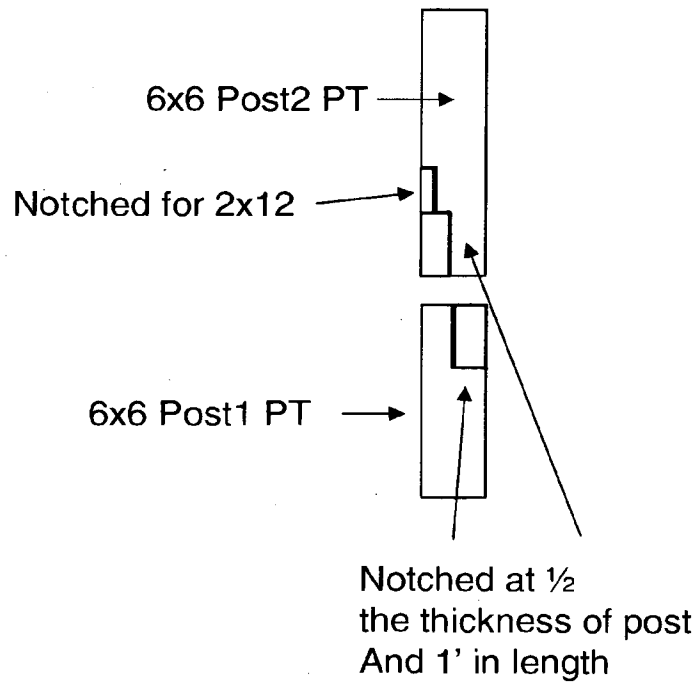
Middle Columns



Brick column  
13" x 13"

Note: Joist hangers attach 2x12 to each other and to 6x6 posts

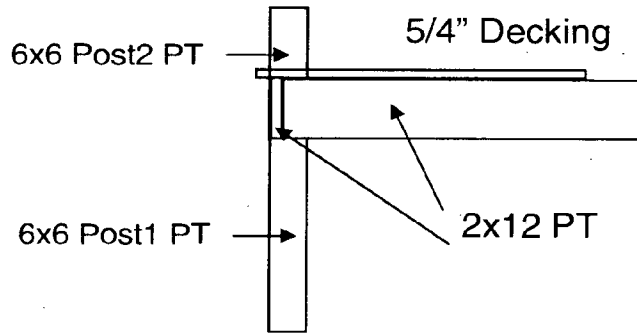
*W* 2nd Floor Support Post Notching



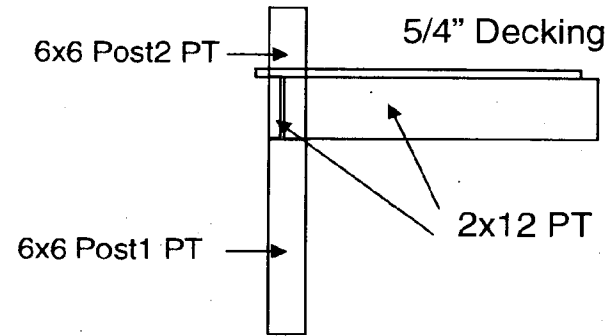
7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

*ML*  
2nd Floor Support Post Installation

End Joints



Middle Joints



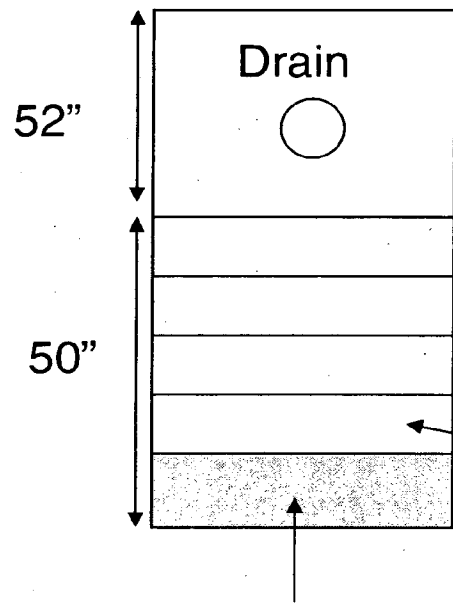
Note: Joist hangers attach 2x12 to each other and to 6x6 posts

7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair



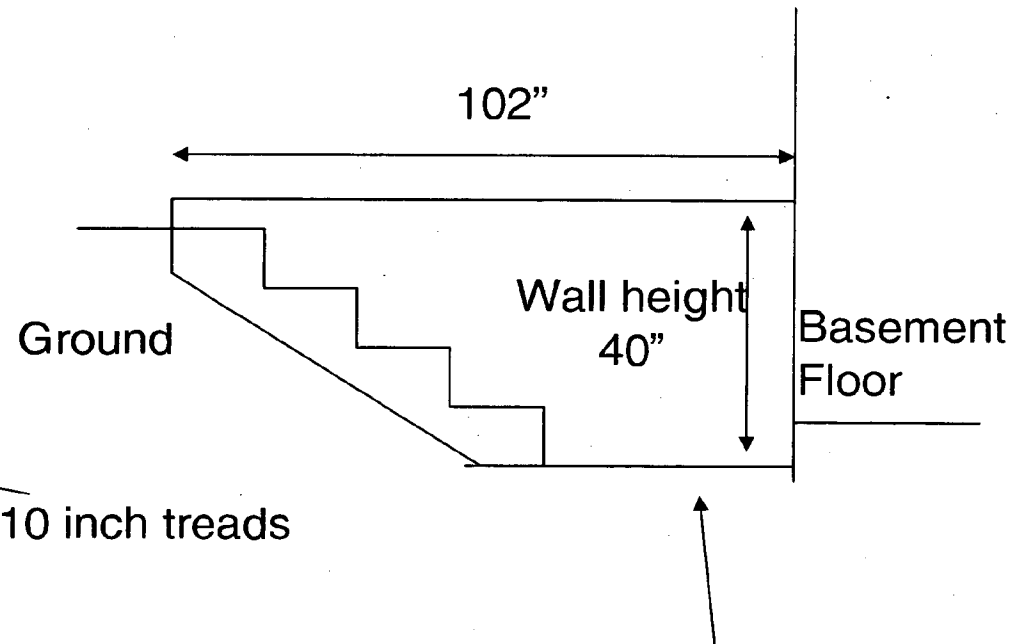
# Old Basement Steps

Top View



Top step is almost flush with ground

Side View

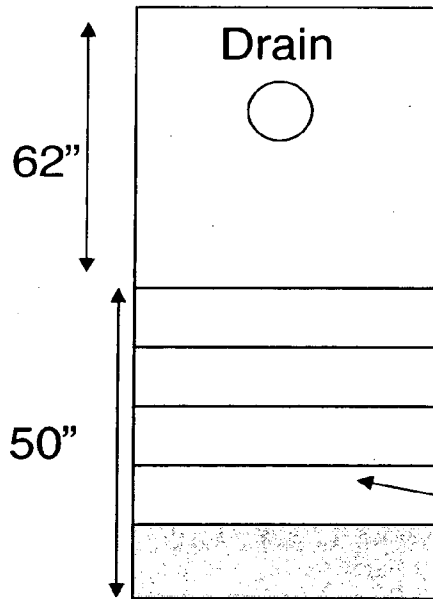


7102/7104 Maple Ave, Takoma  
Park, Porch Repair

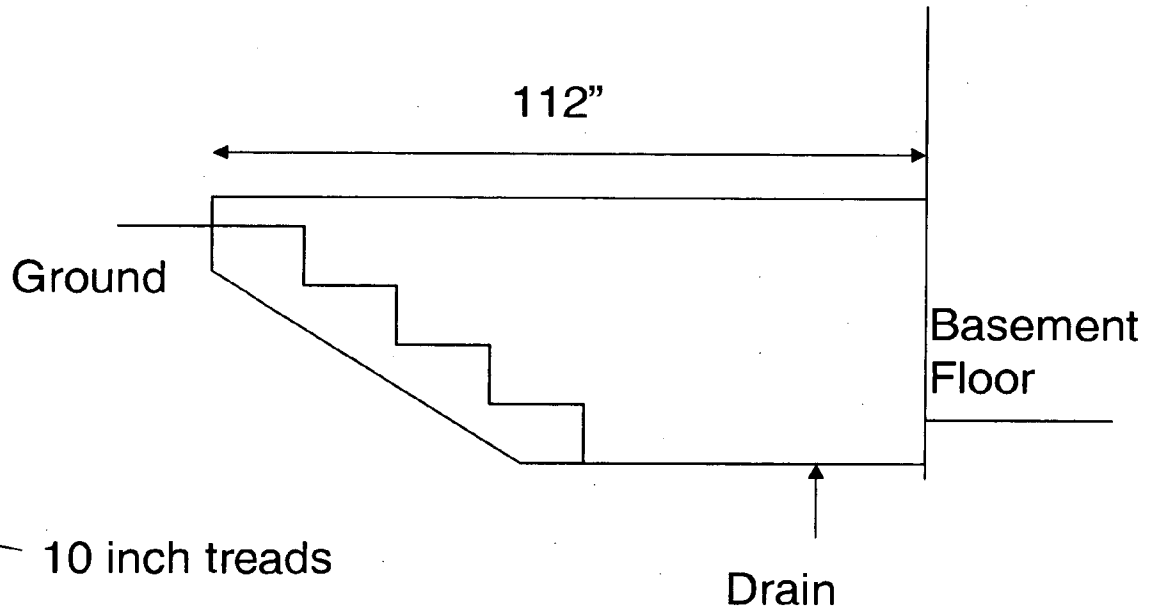


# New Basement Steps

Top View



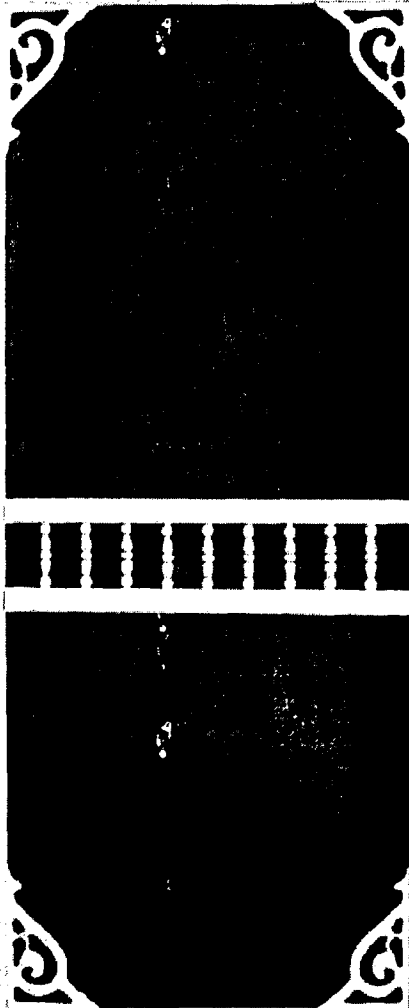
Side View



Change is to increase the overall length so that people don't Hit their head on the porch facing board as they descend the steps.

7102/7104 Maple Ave, Takoma  
Park, Porch Repair

*Fitcher / Chamberlain*  
*Rear Screen Door*



**Model # 360F1-D**

**Standard Door Sizes**

30" x 81" - 32" x 81" - 36" x 81"

Doors can be made in any size. See below.

To Place An Order:

**ORDER FORM**

For a Price Quote:

**QUOTE REQUEST**

*36 x 81*  
*Pine Door*

*1 1/8 inch Pine,*  
*Painted white*

**\*\*INFORMATION\*\*** such as Screen Types, Wood Types, Stair Diagrams, and answers to most questions can be found here by 'Information' link.

Thickness & Wood Type	3/4" Pine	3/4" Doug Fir	3/4" Oak	3/4" Mahg.	1-1/8" Pine	1-1/8" Doug Fir	1-1/8" Oak, Cedar, Redwood	1-1/8" Mahg.	Stain	Paint White
Screen Door	124.00	161.00	218.00	249.00	178.00	216.00	305.00	359.00	28.00	56.00
Fixed Screen Removable Glass	N/A	N/A	N/A	N/A	253.00	291.00	380.00	434.00	28.00	56.00
Removable Screen Removable Glass	N/A	N/A	N/A	N/A	328.00	366.00	455.00	509.00	28.00	56.00

**Shipping Charges:**

Non-local (within U.S. excluding HI

**Custom Size Charges:**

Standard Sizes: 30", 32", 36" wide x 81" tall

and AK).

**\*For oversized doors, other quantities, or locations, or for exact rate on doors with glass, please contact us.**

1 door (no glass) = \$75.00  
size 36 x 81 or smaller

2 doors (no glass) = \$85.00 total  
size 36 x 81 or smaller

1 door with glass = \$95.00 to \$150.00  
size 36 x 81 or smaller

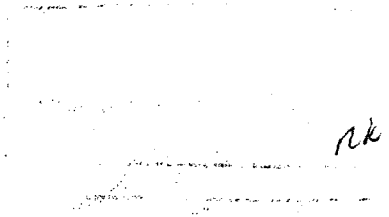
2 doors with glass = \$120.00 to  
\$170.00 total  
size 36 x 81 or smaller

**Width:**

Under 36" (other than 30" or 32") = \$10.00  
36-1/8" to 42" = \$25.00  
42-1/8" to 48" = \$30.00  
48-1/8" to 54" = \$45.00  
Over 54" please contact us.

**Height:**

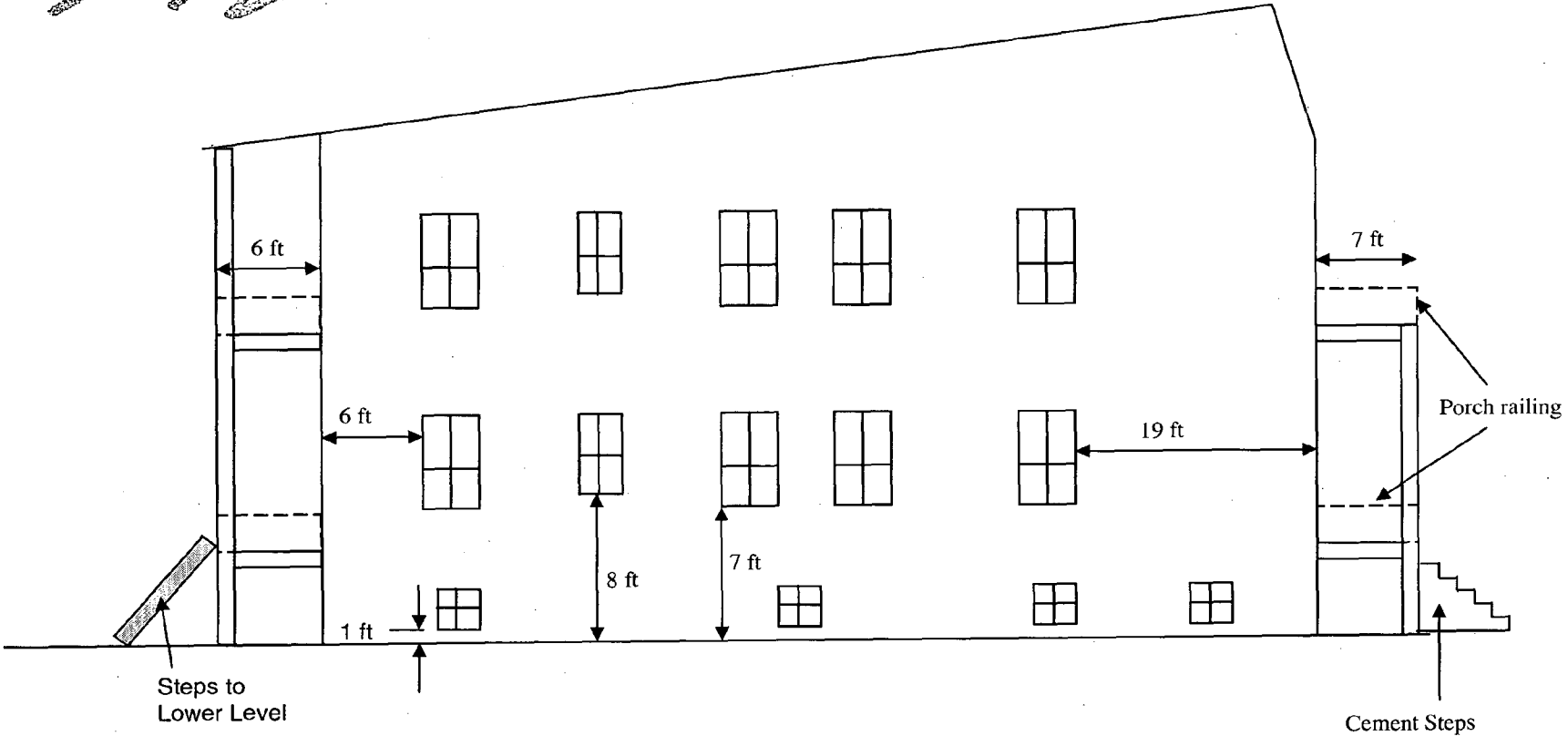
Under 81" = \$5.00  
81-1/8" to 84" = \$10.00  
84-1/8" to 87" = \$20.00  
87-1/8" to 90" = \$25.00  
90-1/8" to 93" = \$30.00  
93-1/8" to 96" = \$35.00  
96-1/8" to 99" = \$45.00  
Over 99" please contact us





APPROVED  
Montgomery County  
Historic Preservation Commission

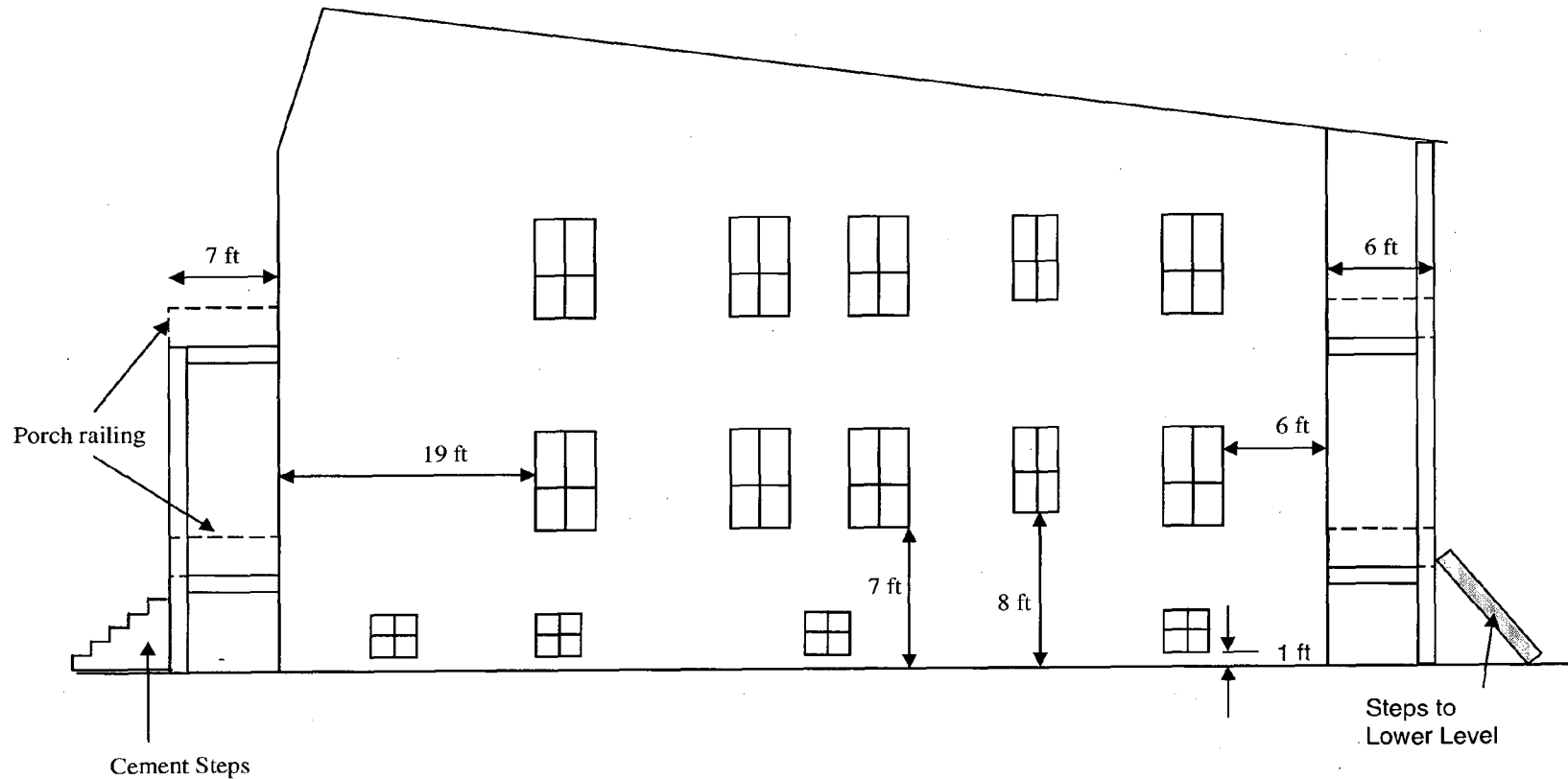
# Left Façade (Existing)



7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*

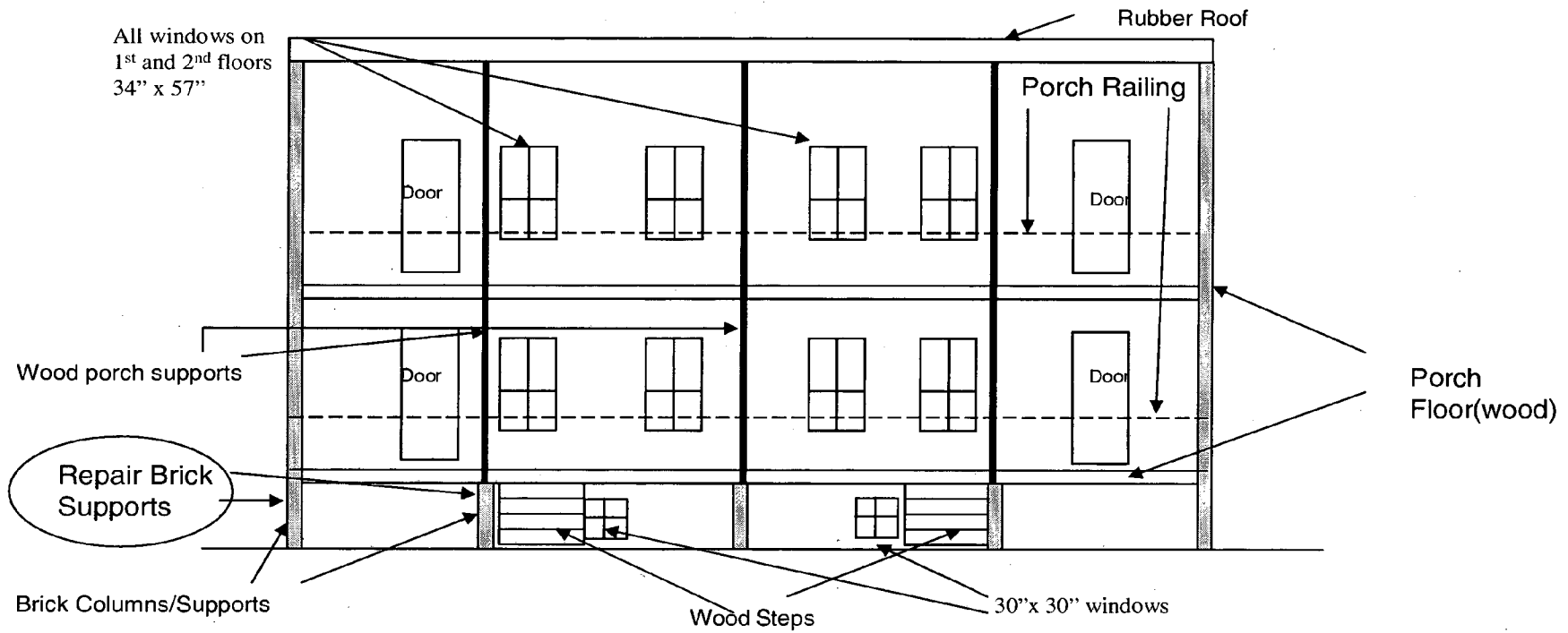
# Right Façade (Existing)



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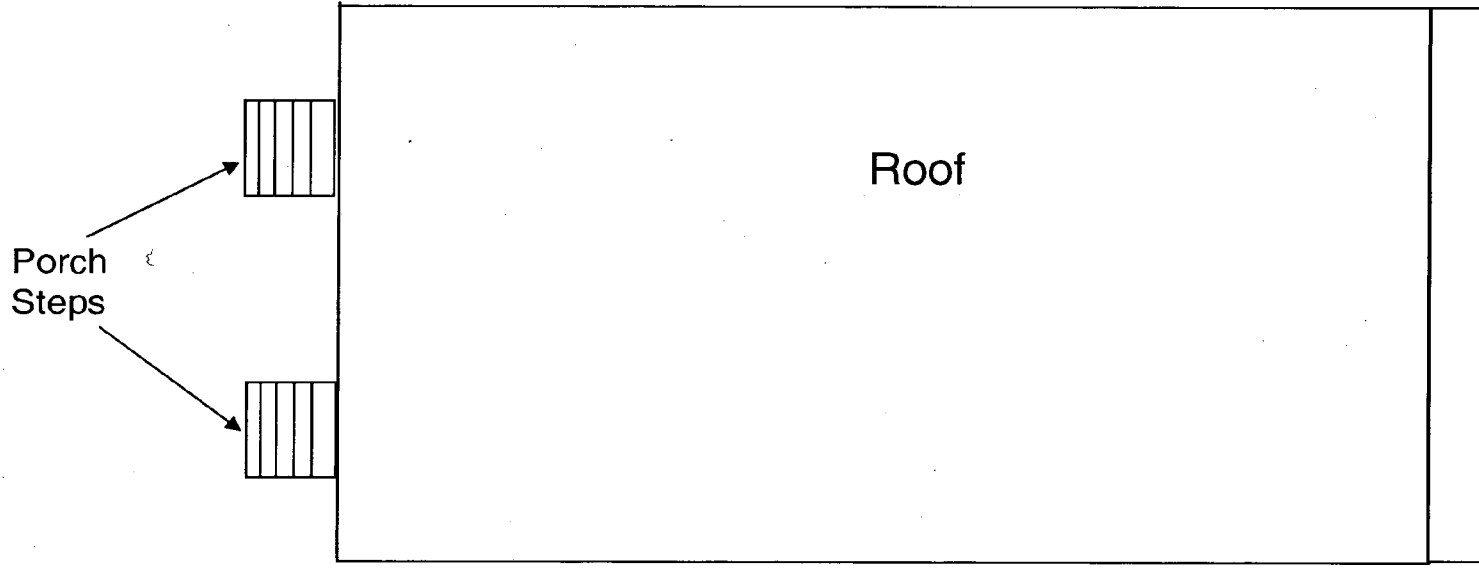
# Rear Façade (Existing)



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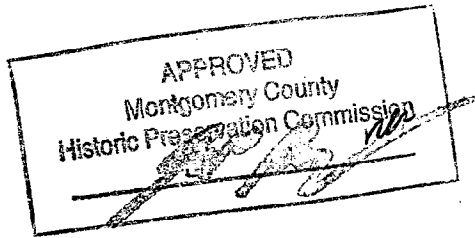
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Montgomery County  
Historic Preservation Commission

Top View (Existing)



Top View

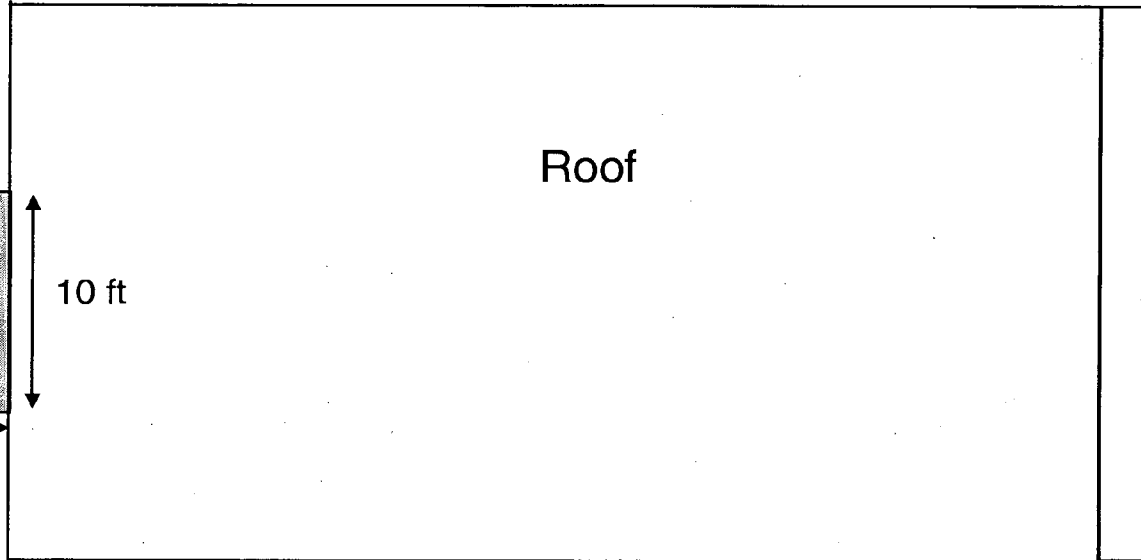
7102 Maple Ave, Takoma Park  
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# Top View (After replacement)

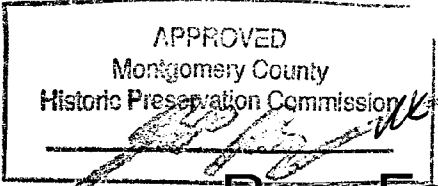
Lower Porch landing

Lower Porch Steps

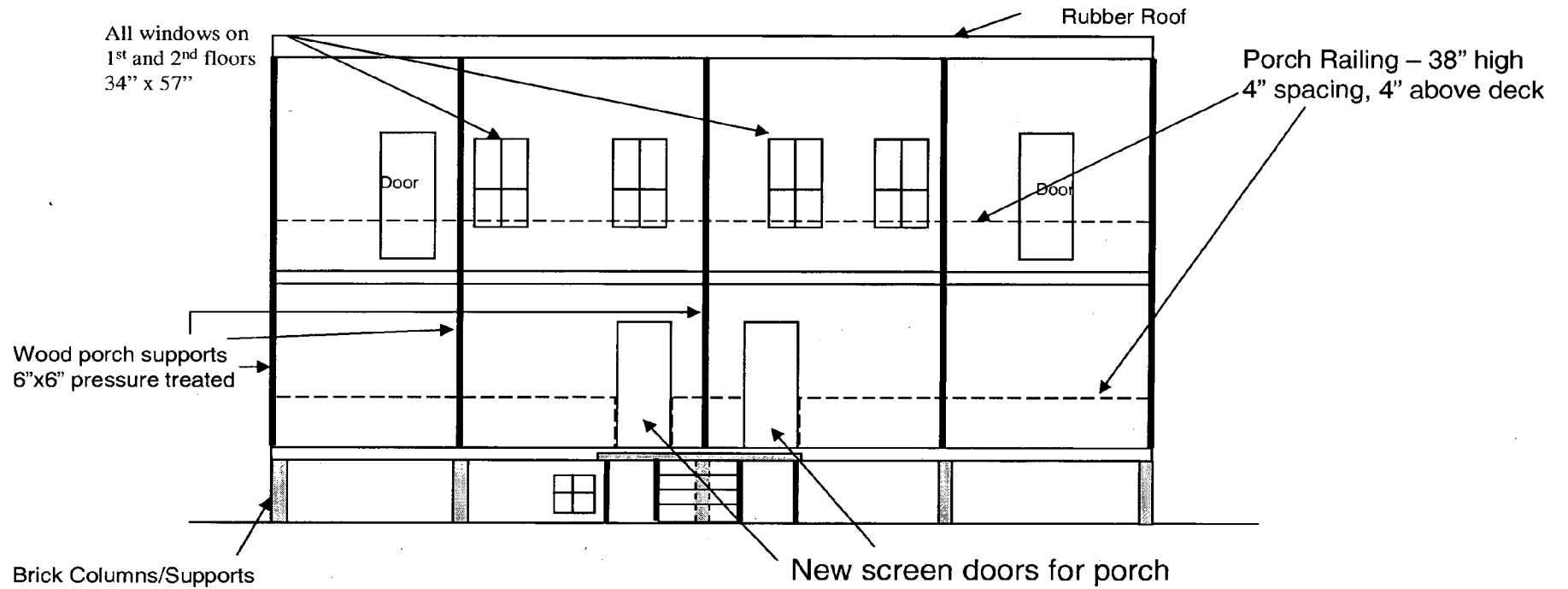


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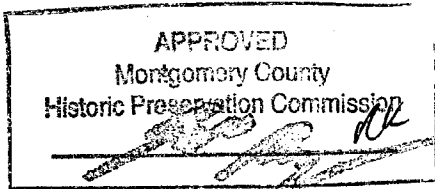




# Rear Façade (After replacement showing screen doors)

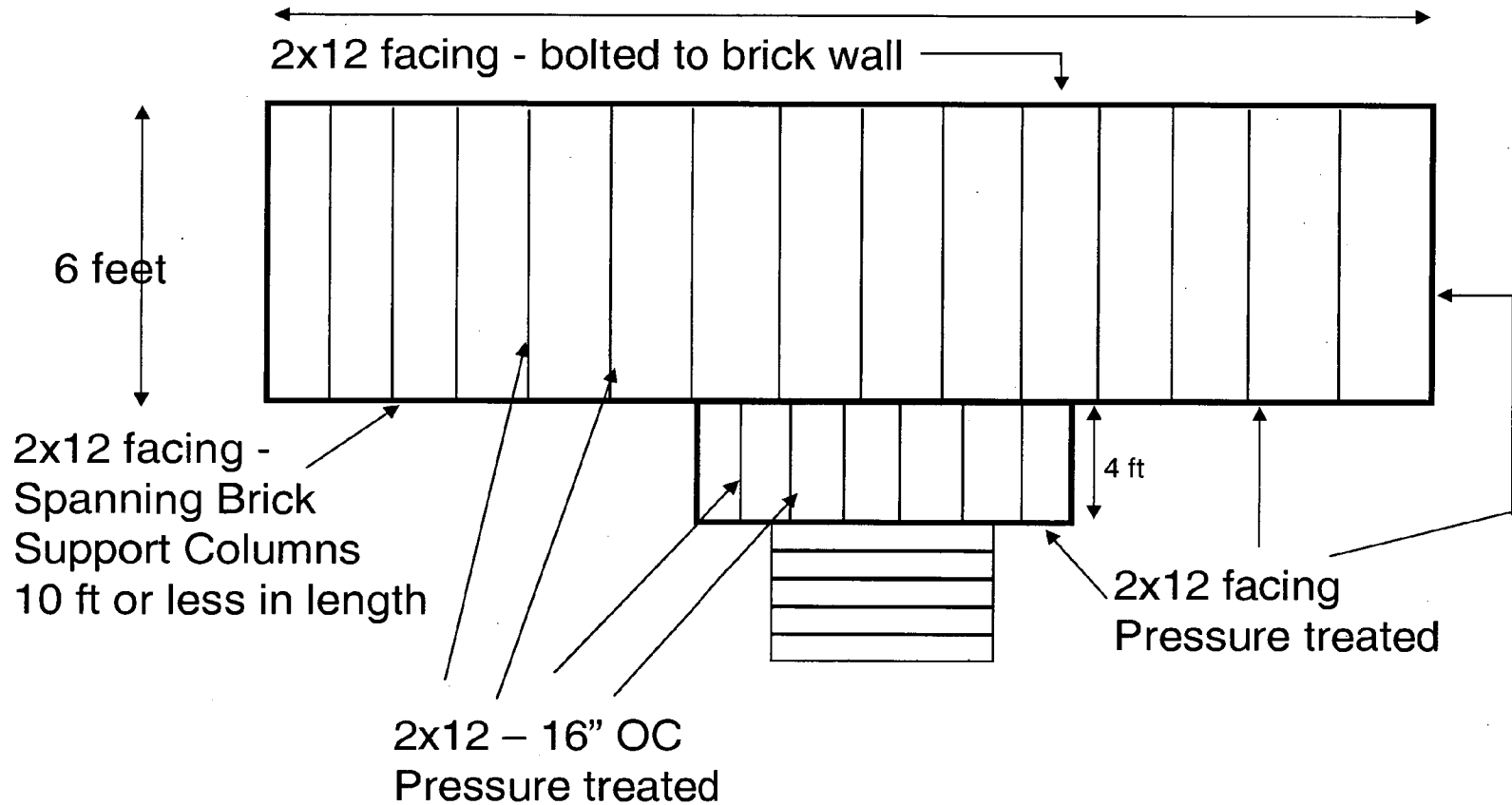


7102 Maple Ave, Takoma Park  
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# Porch and Landing – Top View

42 feet

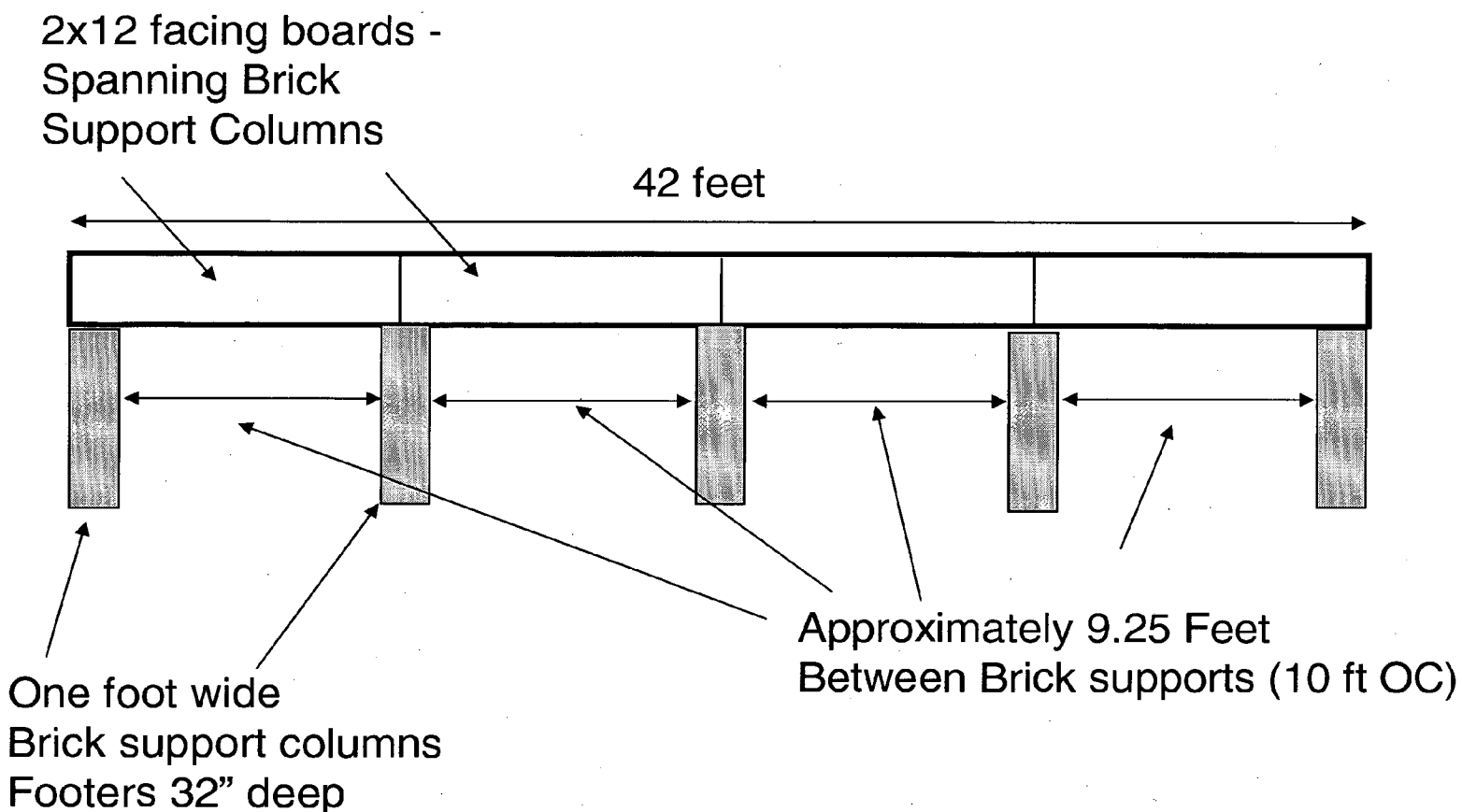


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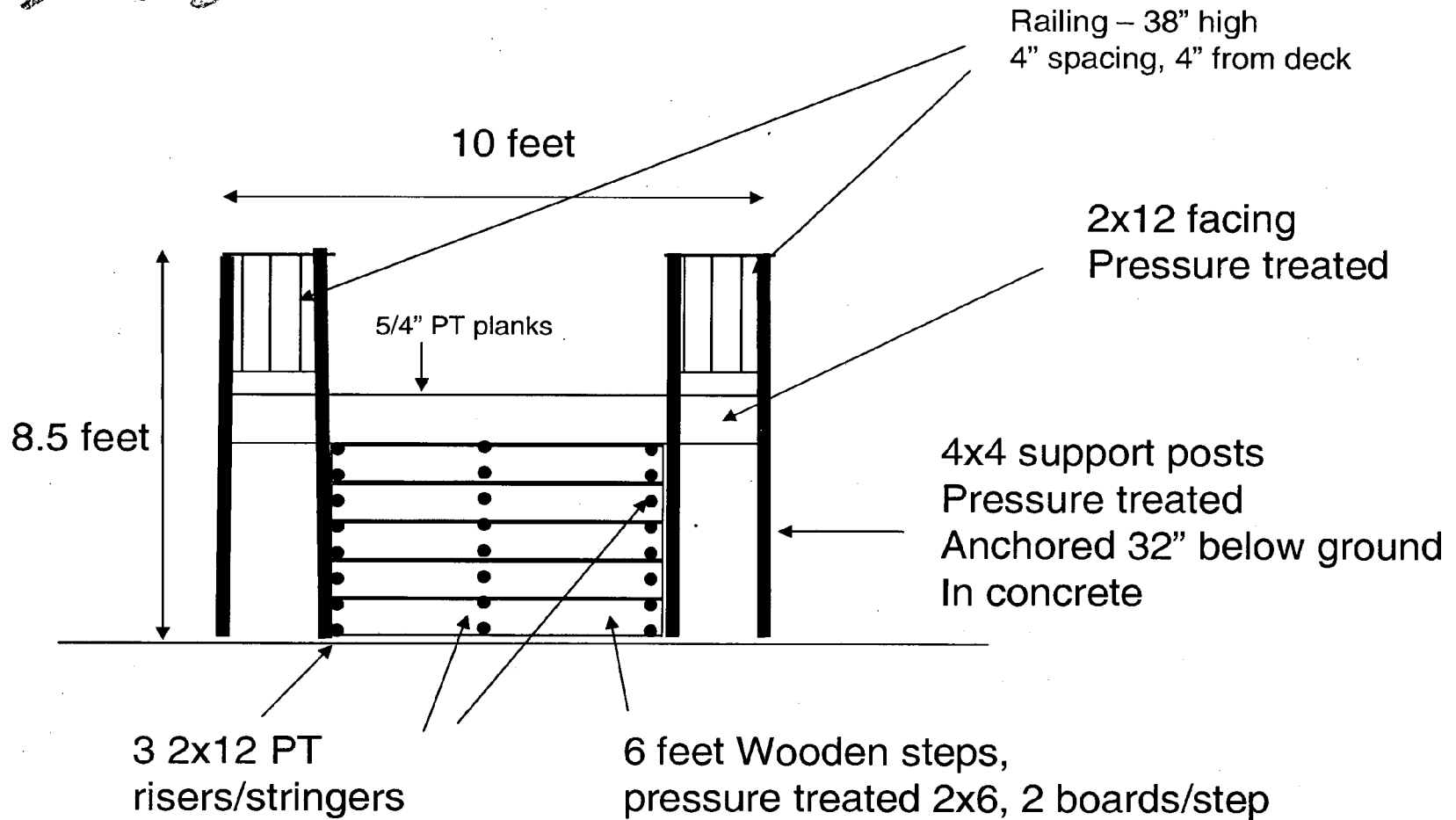
# Rear Porch – Facing view w/o landing



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Montgomery County  
Historic Preservation Commission

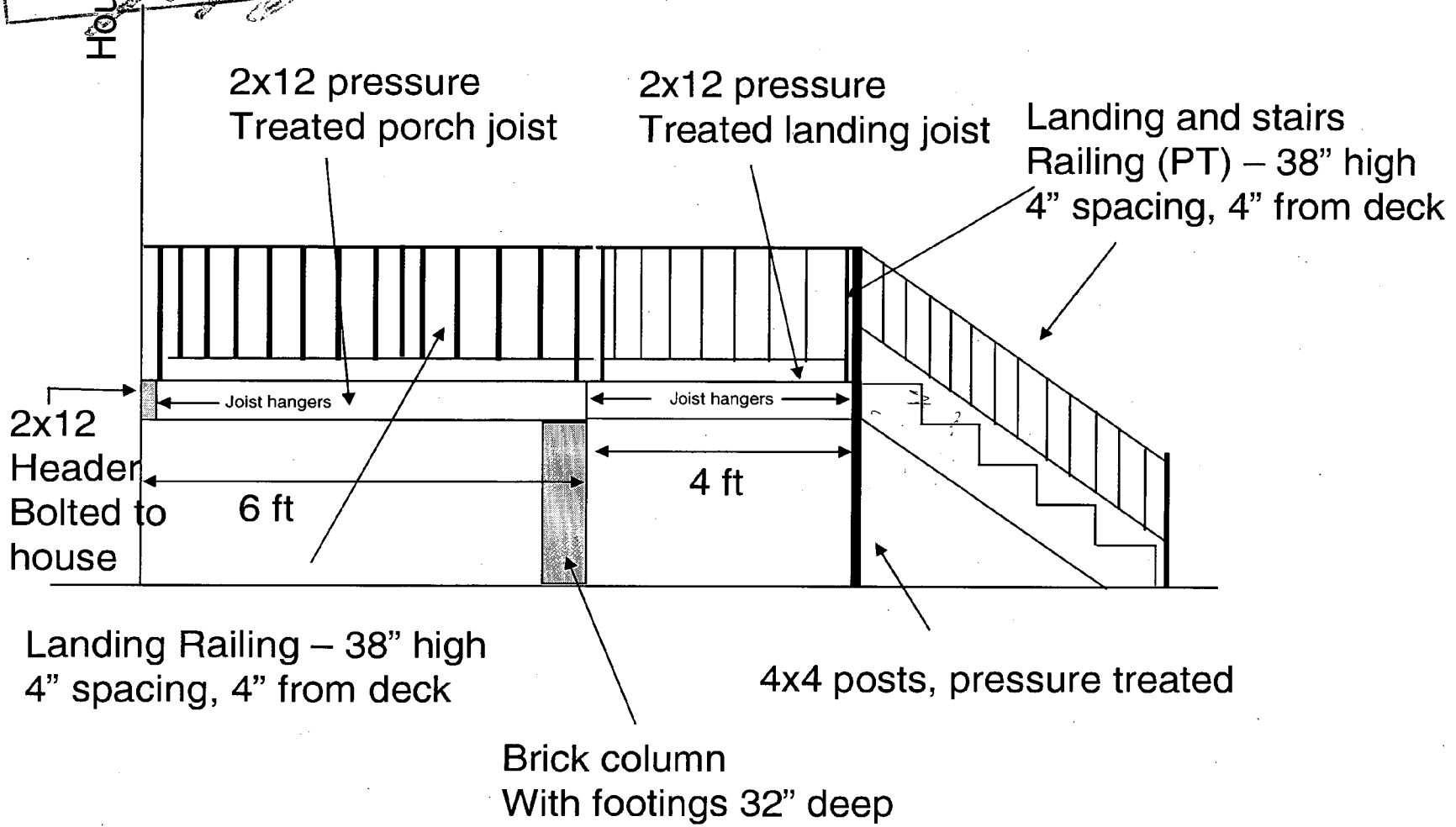
# Landing – view facing house



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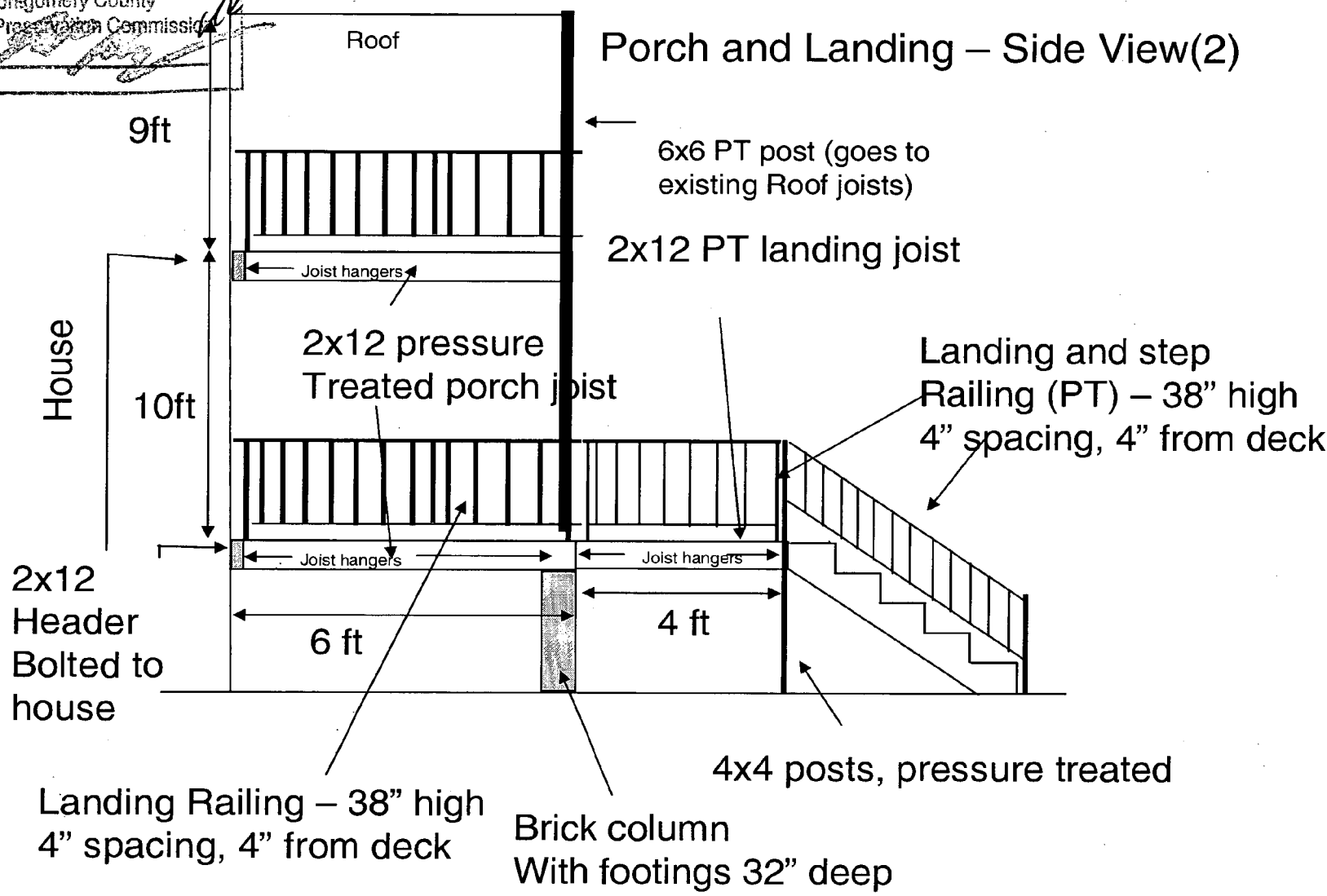
APPROVED  
Montgomery County  
Historic Preservation Commission

# Porch and Landing – Side View



7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

APPROVED  
 Montgomery County  
 Historic Preservation Commission

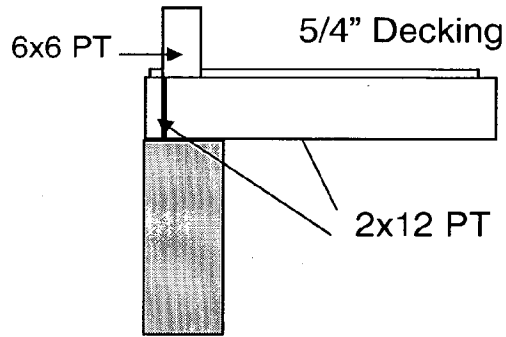


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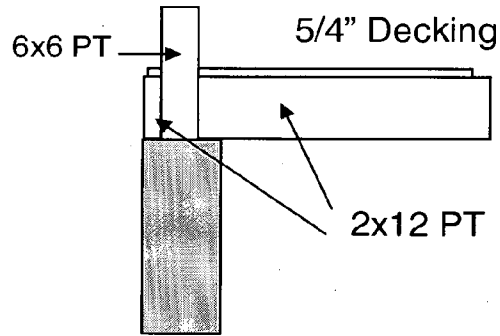
# 1st Floor Support Post Installation

## End Columns



Brick column  
13" x 13"

## Middle Columns



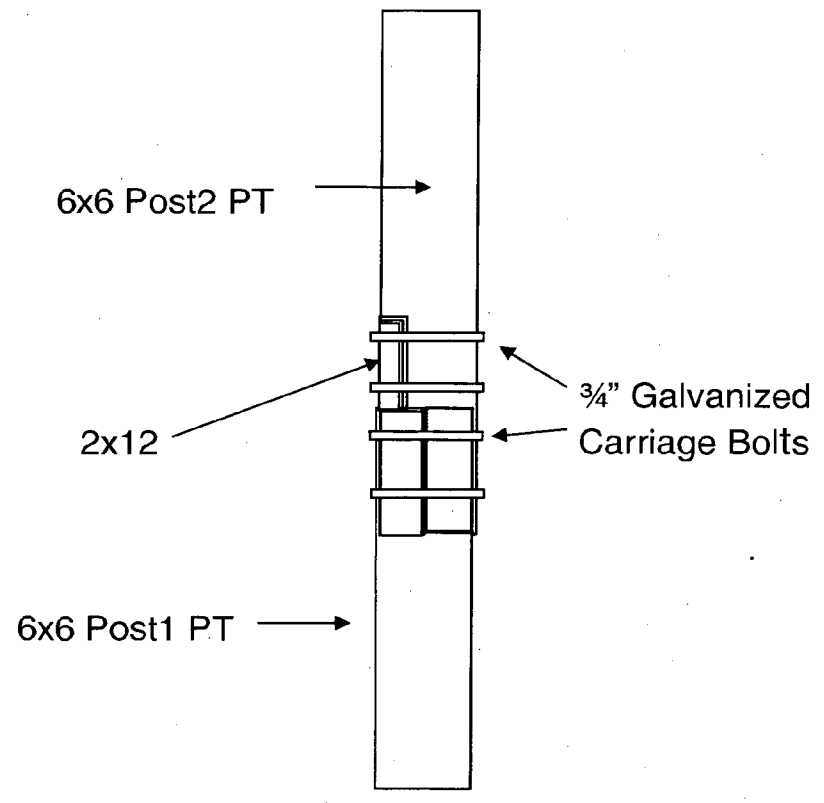
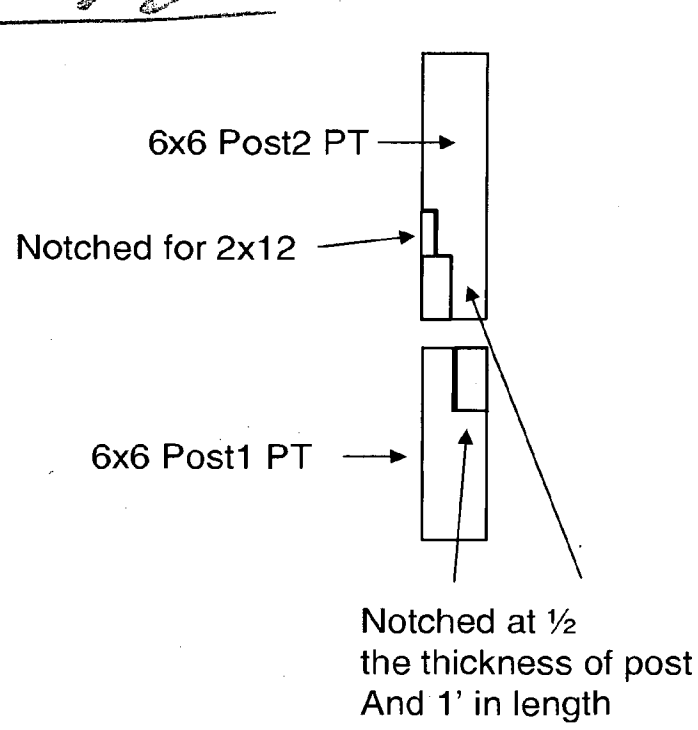
Brick column  
13" x 13"

Note: Joist hangers attach 2x12 to each other and to 6x6 posts

7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

APPROVED  
Montgomery County  
Historic Preservation Commission

# 2nd Floor Support Post Notching

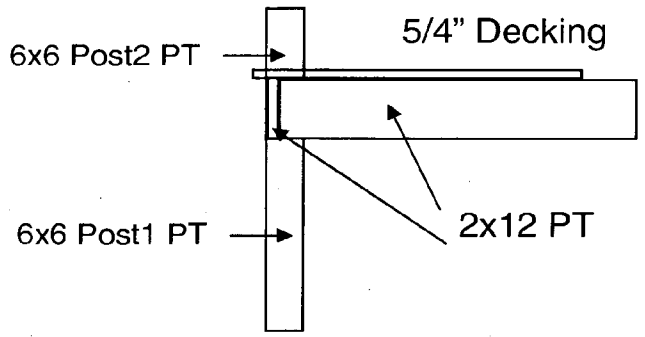


7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

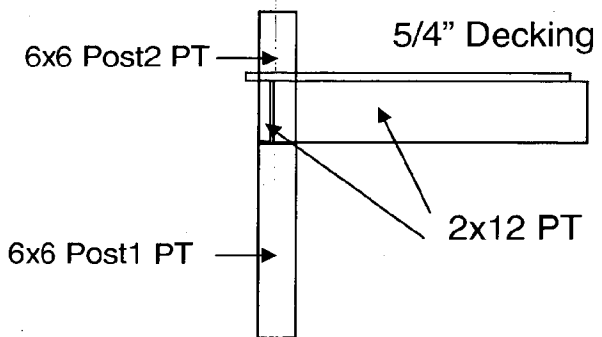
APPROVED  
Montgomery County  
Historic Preservation Commission

## 2nd Floor Support Post Installation

### End Joints



### Middle Joints



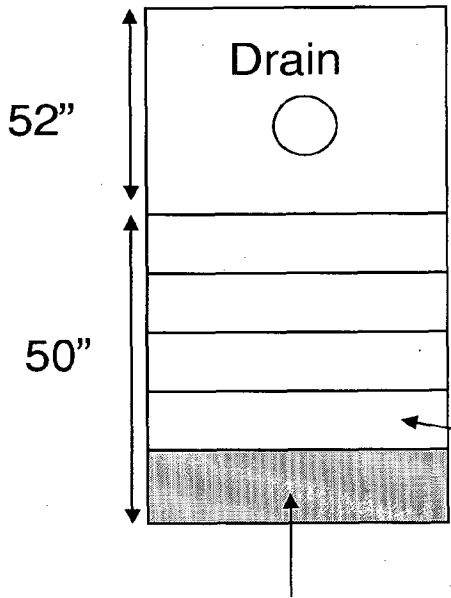
Note: Joist hangers attach 2x12 to each other and to 6x6 posts

7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair



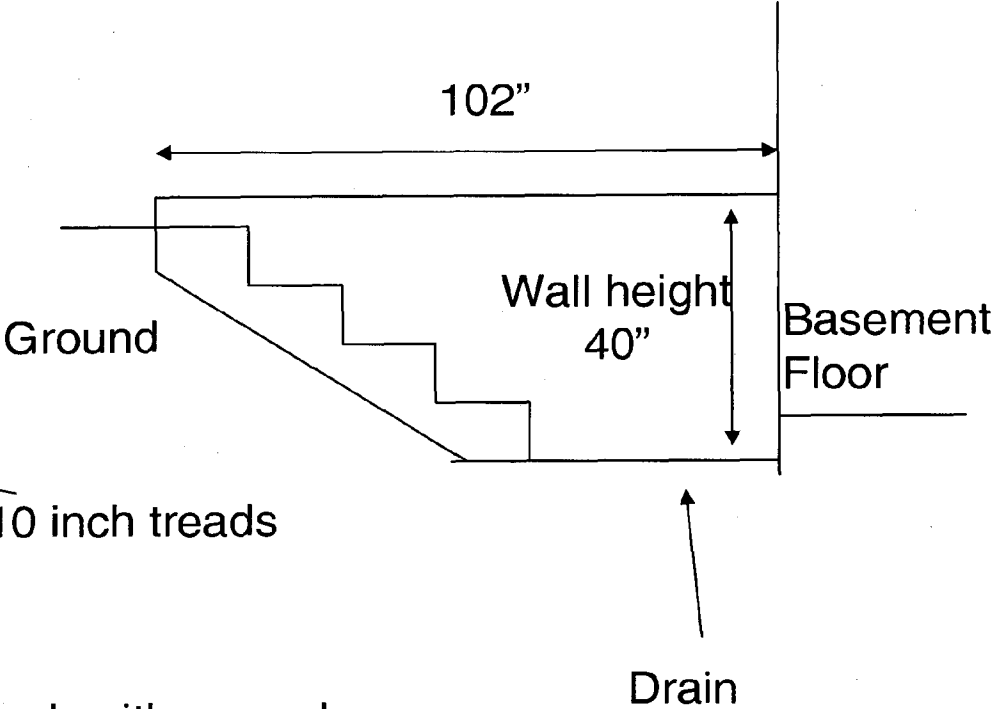
# Old Basement Steps

Top View



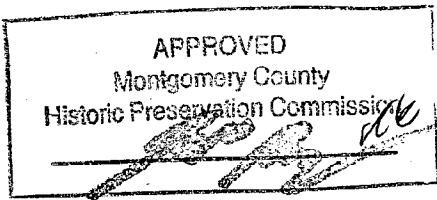
Top step is almost flush with ground

Side View



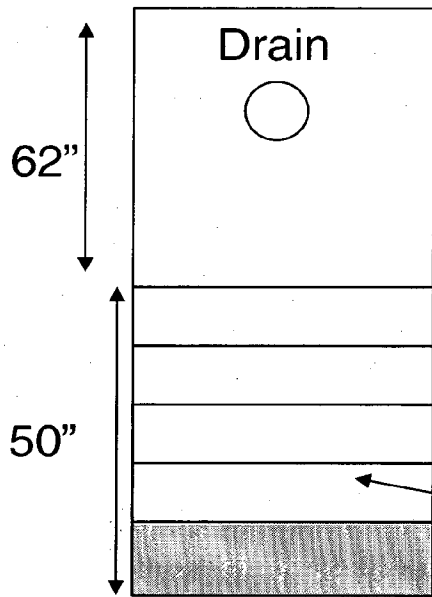
7102/7104 Maple Ave, Takoma  
Park, Porch Repair



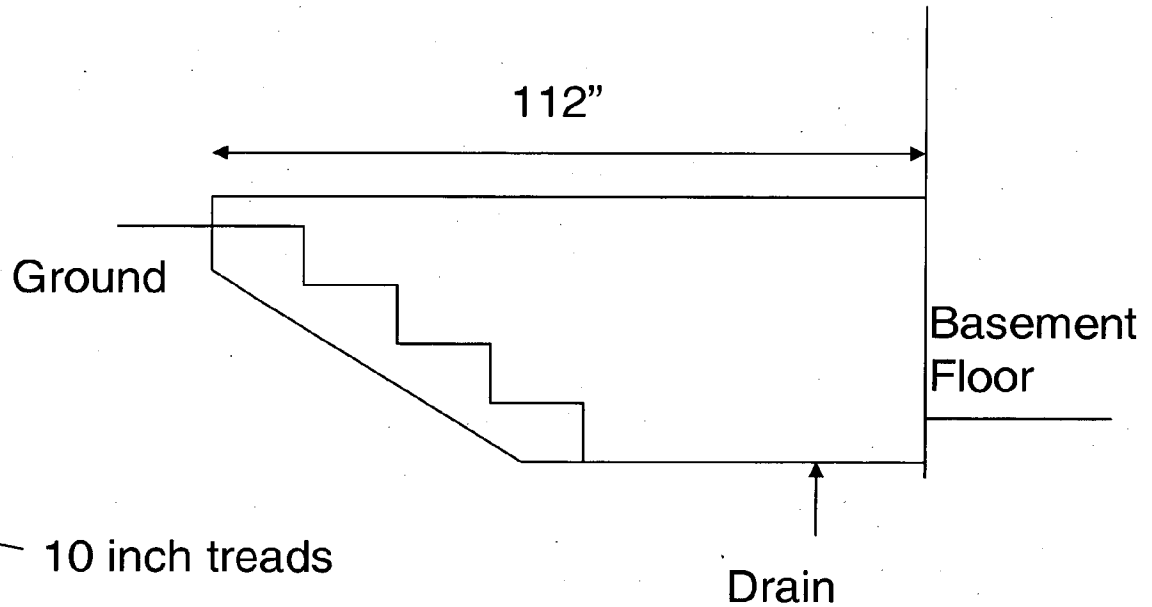


# New Basement Steps

Top View



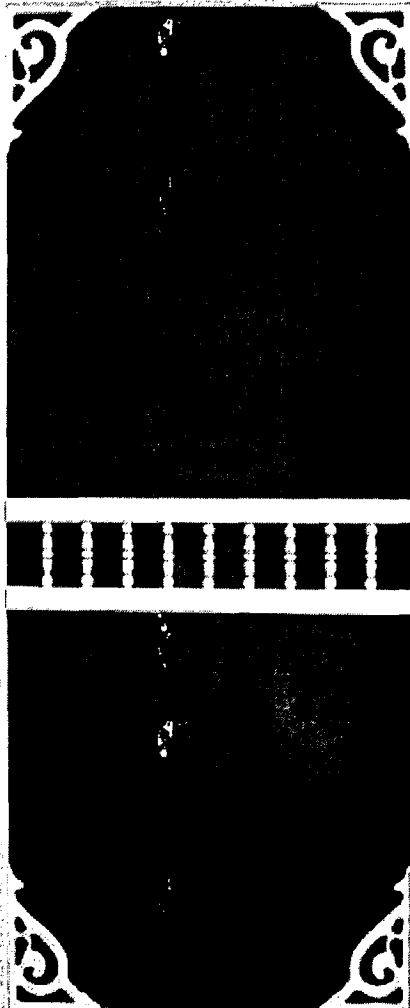
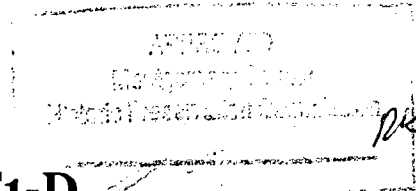
Side View



Change is to increase the overall length so that people don't hit their head on the porch facing board as they descend the steps.

7102/7104 Maple Ave, Takoma  
Park, Porch Repair

Fulcher / Chamblain ~~door~~  
Rear Screen Door



## Model # 360F1-D

### Standard Door Sizes

30" x 81" - 32" x 81" - 36" x 81"

Doors can be made in any size. See below.

To Place An Order:

ORDER FORM

For a Price Quote:

QUOTE REQUEST

36 x 81  
Pine Door

1 1/8 inch Pine,  
Painted White

**\*\*INFORMATION\*\*** such as Screen Types, Wood Types, Stair Diagrams, and answers to most questions can be found here by 'Information' link.

Thickness & Wood Type	3/4" Pine	3/4" Doug Fir	3/4" Oak	3/4" Mahg.	1-1/8" Pine	1-1/8" Doug Fir	1-1/8" Oak, Cedar, Redwood	1-1/8" Mahg.	Stain	Paint White
Screen Door	124.00	161.00	218.00	249.00	178.00	216.00	305.00	359.00	28.00	56.00
Fixed Screen Removable Glass	N/A	N/A	N/A	N/A	253.00	291.00	380.00	434.00	28.00	56.00
Removable Screen Removable Glass	N/A	N/A	N/A	N/A	328.00	366.00	455.00	509.00	28.00	56.00

### Shipping Charges:

Non-local (within U.S. excluding HI)

### Custom Size Charges:

Standard Sizes: 30", 32", 36" wide x 81" tall

and AK).

**\*For oversized doors, other quantities, or locations, or for exact rate on doors with glass, please contact us.**

1 door (no glass) = \$75.00  
size 36 x 81 or smaller

2 doors (no glass) = \$85.00 total  
size 36 x 81 or smaller

1 door with glass = \$95.00 to \$150.00  
size 36 x 81 or smaller

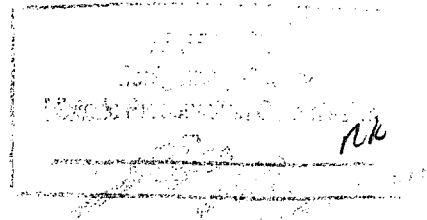
2 doors with glass = \$120.00 to \$170.00 total  
size 36 x 81 or smaller

**Width:**

Under 36" (other than 30" or 32") = \$10.00  
36-1/8" to 42" = \$25.00  
42-1/8" to 48" = \$30.00  
48-1/8" to 54" = \$45.00  
Over 54" please contact us

**Height:**

Under 81" = \$5.00  
81-1/8" to 84" = \$10.00  
84-1/8" to 87" = \$20.00  
87-1/8" to 90" = \$25.00  
90-1/8" to 93" = \$30.00  
93-1/8" to 96" = \$35.00  
96-1/8" to 99" = \$45.00  
Over 99" please contact us



**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	7102-04 Maple Avenue, Takoma Park	<b>Meeting Date:</b>	6.25.2008
<b>Resource:</b>	Outstanding Resource Takoma Park Historic District	<b>Report Date:</b>	6.18.2008
<b>Applicant:</b>	Keith Chamberlin and Roxanne Fulcher	<b>Public Notice:</b>	6.11.2008
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	Partial
<b>Case Number:</b>	37/03-08HH	<b>Staff:</b>	Rachel Kennedy
<b>PROPOSAL:</b>	Rear porch alterations and front balcony door replacement		

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**STAFF RECOMMENDATION:**

Staff is recommending that the HPC **approve** this HAWP application with the following conditions:

**One:** The applicant will provide a door specification sheet for the rear screen doors to HPC staff prior to stamping of plans.

**Two:** Replacement of the original fifteen light wood front balcony door is not approved. Applicants should repair the original second floor front balcony door and use it as a guide to replace the nonhistoric hollow core balcony door. Additionally, applicants must provide HPC staff with a specification sheet detailing the new wood true divided light door before final approval.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Outstanding Resource Within The Takoma Park Historic District  
**STYLE:** Italianate (Fourplex)  
**DATE:** c1907

**HISTORIC CONTEXT**

Takoma Park is historically significant as both an early railroad suburb and a streetcar community. It was the one of the earliest railroad suburbs of Washington. The community was given new lifeblood in the early-20th century with the opening of streetcar lines, which led to the development of new subdivisions in Takoma Park.

Before 1883, the area that became Takoma Park was used for farming and vacation homes for Washingtonians. A few houses from this period still exist.

Benjamin Franklin Gilbert was the developer of Takoma Park, which he promoted for its natural environment and healthy setting. The site offered fresh water, trees, and a high elevation to escape the malaria-ridden District of Columbia. In 1883, Gilbert purchased a 90-acre farm and platted a subdivision

with picturesque, winding streets named for native trees, including Sycamore, Chestnut, Hickory, and Oak. Equally reflective of Gilbert's promotion of the natural setting is the use of the Native American "Takoma", meaning "exalted" or "near heaven." Later he added the "Park" appellation to draw attention to its healthy environment.

Takoma Park houses built between 1883 and 1900 were fanciful, turreted, multi-gabled affairs of Queen Anne, Stick Style, and Shingle Style influence. The substantial houses had spacious settings, with deep, narrow lots of 50 feet by 200-300 feet, with 40-foot setback requirements. Extensive numbers of these houses (built from 1883 to 1900) remain, particularly concentrated along Maple, Cedar, and Holly Avenues. The earliest houses were built on Cedar Avenue (originally known as Oak Avenue). Gilbert was more than just the developer of the community - he was a resident and civic leader. He built one of the first houses in the new community for himself and later became the town's first mayor. By 1886, Takoma Park had a post office and a new railroad station. Fifteen trains a day ran between Washington and Takoma Park and the population had reached 100.

By 1893, the town's population quadrupled. Four subdivisions had expanded the town, which was incorporated in 1890. Takoma Avenue, Pine Avenue, and Holly Avenue were among the streets to develop during this period.

The first multi-family buildings in Montgomery County were built in Takoma Park. The earliest documented multi-family dwelling is the *Ford House* at 7137-39 Maple Avenue. Brothers Byron and Seth Ford built this large, elaborate, frame double-house in 1885 for their families. The next multi-family dwellings to be built in the county were not constructed until 1907.

The start of streetcar service along Carroll Avenue in 1897, operated by the Baltimore and Washington Transit Company, made the adjacent areas more attractive for residential development, leading to new subdivisions. This line, supplemented in 1910 by the Washington and Maryland line (1910-27), led to the creation of eight additional subdivisions extending out from the trolley lines. The inexpensive electric streetcar, the availability of low-cost house plans and kit houses in combination with smaller lot sizes made home ownership in Takoma Park possible for individuals of more modest income levels than during the previous period. By 1922, the population soared to 4,144, making Takoma Park the tenth largest incorporated town in Maryland. Among the streets, which developed during the 1910s and 1920s in response to the establishment of streetcar lines are Willow, Park, Philadelphia, and Carroll Avenues.

The appearance today of much of the Takoma Park historic district is formed by the large numbers of dwellings constructed from 1900 into the 1920s. The houses built in Takoma Park during this period reveal changing American tastes in house design from the elaborate ornamentation of the late 19th century dwellings to more practical, simplified designs. Many of these early twentieth century houses reflect the aesthetics of the Arts and Crafts Movement, which emphasized the inherent nature of the building materials and structural elements for ornamentation. Residences put up in the American Four Square, Craftsman, Bungalow, and Colonial Revival designs continued the pattern of suburban development previously established - detached, wood frame single-family residences with uniform setbacks from the streets, though at a smaller scale. Entire streetscapes of these houses, particularly the Bungalow and Craftsman designs, are found along Willow, Park, Philadelphia, and Westmoreland Avenues. Scores of Bungalows, and Craftsman-style houses and catalog-order houses were built in this era.

Takoma Park continues to thrive today, with a population of 20,000. Though the train no longer stops there, the town's close relationship with mass transportation continues. The Metro enables residents to continue the tradition, started with the railroad and extended with the streetcars, of living in the suburbs and commuting to the District using mass transit. Two sections of the Montgomery County portion of Takoma Park have been listed on the National Register of Historic Places as the Takoma Park Historic District since 1976.

**PROPOSAL:**

The applicants are proposing to accomplish several tasks related to the reconstruction of their rear porch and the replacement of wooden front balcony doors that open onto the second story front porch. The majority of the work focuses on rebuilding and repairing the rear porch. The applicants intend to replace the porch decking and support posts with pressure treated wood and pressure treated tongue and groove flooring. All wood will be replaced with wood in-kind.

The applicants also propose to consolidate the double original rear porch stairs into a single stair with a double entry onto the screened porch, details of which are located in the applicant's packet. The new single stair will feature a four foot landing for access into two wood screened first floor porch doors.

Additionally, the applicants propose to rehabilitate the basement stairs on the left side of the rear elevation (when viewed from the rear of the house) located below the rear porch. The applicants will regrade the basement steps and step walls with concrete, as was the original treatment. The stair width and height will remain the same; however, the applicant proposes to move the basement stair back from the landing to increase landing space by ten inches.

Finally, the applicants propose to remove two second story front balcony doors and replace them with fifteen-light true divided light wood doors. An original door is currently in service and will be used as the model for obtaining or building two new doors. The other door appears to be a hollow core wood door (with no lights) installed in the last twenty years.

**APPLICABLE GUIDELINES:**

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 4A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

***Takoma Park Historic District Guidelines***

Outstanding Resources have the highest level of architectural and/or historical significance. While they will receive the most detailed level of design review, it is permissible to make sympathetic alterations, changes and additions to Outstanding Resources.

As a set of guiding principles for design review of Outstanding Resources, the Historic Preservation Commission will utilize the *Secretary of the Interior's Standards for Rehabilitation*.

The *Guidelines* that pertain to this project are as follows:

- Plans for all alterations should be compatible with the resource's original design;
- Preservation of original building materials and use of appropriate, compatible new materials is encouraged;
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.
- Preservation of original windows and doors, particularly those with specific architectural importance, and of original size and shape of openings is encouraged.

***Montgomery County Code; Chapter 24A***

The Commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

The Commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district; or
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter; or

***Secretary of the Interior's Standards for Rehabilitation***

- #2 The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- #6 Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

**STAFF DISCUSSION**

Staff is recommending that the Commission approve the HAWP application as being consistent with the *Guidelines* and *Standards* with the conditions specified on page one of this report. The proposed work on the rear porch and basement steps is confined to a non-street visible secondary elevation and utilizes appropriate materials. The proposed rear porch/basement steps work will have no impact on the house or streetscape of the historic district.

The applicants have agreed to provide HPC staff with photographs or a specification sheet to show the wood frame screen doors prior to their installation on the rear porch of the house and prior to final approval of the permit set of drawings from the applicant.

Staff does not support removal and replacement of an original front balcony door, as it is a character defining feature on an *outstanding* resource. The front porch balconies and the divided light French doors define the boundary between interior and exterior and give this resource its historic character. The *Guidelines* state that the preservation of original doors and windows and the related openings is encouraged. Staff does not believe that the original divided light door is beyond repair and feels that repair of the door and restoration of the adjacent door (a nonhistoric hollow core door) would be an excellent project eligible for the 2008 Montgomery County Historic Preservation Tax Credit Program.

Staff spoke with one of the applicants about the original balcony door and the potential for tax credits on June 16, 2008. The applicant insists that the door is beyond repair. The applicant was advised about the tax credit potential for door repair as well as the potential reason for the door's failure. Staff believes that the tenons (or pegs) have failed that let the rails into the stiles, possibly from harsh tenant use. Staff advised the applicant to have his carpenter strip the paint off the door and take it apart to view the possible tenon failure. Staff also advised the applicant that this is an outstanding resource and that any potential replacement of historic doors and windows on the front elevation will be given utmost scrutiny by the HPC. Staff applauds the applicants for attempting to replace the nonhistoric balcony door with a more historically appropriate door.

**STAFF RECOMMENDATION:**

Staff recommends that the Commission approve the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2) with the conditions listed on page one above;

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.

(5)



# APPLICATION FOR HISTORIC AREA WORK PERMIT

486910

Date filed: 6/4/08  
Date issued

Contact Person: Keith Chamberlin

Daytime Phone No.: 301-286-2580

Tax Account No.: 161301068620

Name of Property Owner: Keith Chamberlin and Roxanne Fulcher Daytime Phone No.: 301-286-2580

Address: 7227 Central Ave, Takoma Park, MD 20912  
Street Number City State Zip Code

Contractor: Socrates Kondilis Phone No.: 301-286-2580

Contractor Registration No.:

Agent for Owner: Daytime Phone No.: 301-910-3709

### LOCATION OF BUILDING/PREMISE

House Number: 7102/7104 Street: Maple Ave

Town/City: Takoma Park Nearest Cross Street: Carroll Ave

Lot: Pt 17, Pt 18 Block: 4 Subdivision: Takoma Park

Liber: 13424 Folio: 457 Parcel:

### PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- Construct
  - Extend
  - Alter/Renovate
  - Move
  - Install
  - Wreck/Raze
  - Revision
  - Repair
  - Revocable
- CHECK ALL APPLICABLE:
- A/C
  - Slab
  - Room Addition
  - Porch
  - Deck
  - Shed
  - Solar
  - Fireplace
  - Woodburning Stove
  - Single Family
  - Fence/Wall (complete Section 4)
  - Other: ✓

1B. Construction cost estimate: \$ 20,000 ✓

1C. If this is a revision of a previously approved active permit, see Permit #

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other:

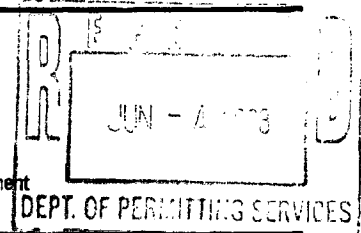
2B. Type of water supply: 01  WSSC 02  Well 03  Other:

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement



I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

*Keith Chamberlin*  
Signature of owner or authorized agent

6/04/08  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission (6)

**1. GENERAL DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The house is a 2 story home with a flat roof. It is broken into 4 individual apartments for rental use. It is zoned single family home, R-60, grand father exception for multi-use. It is an outstanding resource for the Montgomery County Historical Society.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Replace/rebuild 2 brick support tiers. Replace porch, all wood, to make structurally sound and bring up to current building codes. Dimensions will remain identical to original structure but a landing will be constructed for entrances to both sides of porch from one set of steps. Current porch is pulling away from house and out of brick pockets. It has 4x4 support posts, which are insufficient. Some of the joists are twisted and rotting as well as the floor boards. Inferior old construction techniques were used which makes the porch structurally inadequate by today's standards. Replace front balcony doors with original style door, all wood, full door window panes (15 pane door)

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

7

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

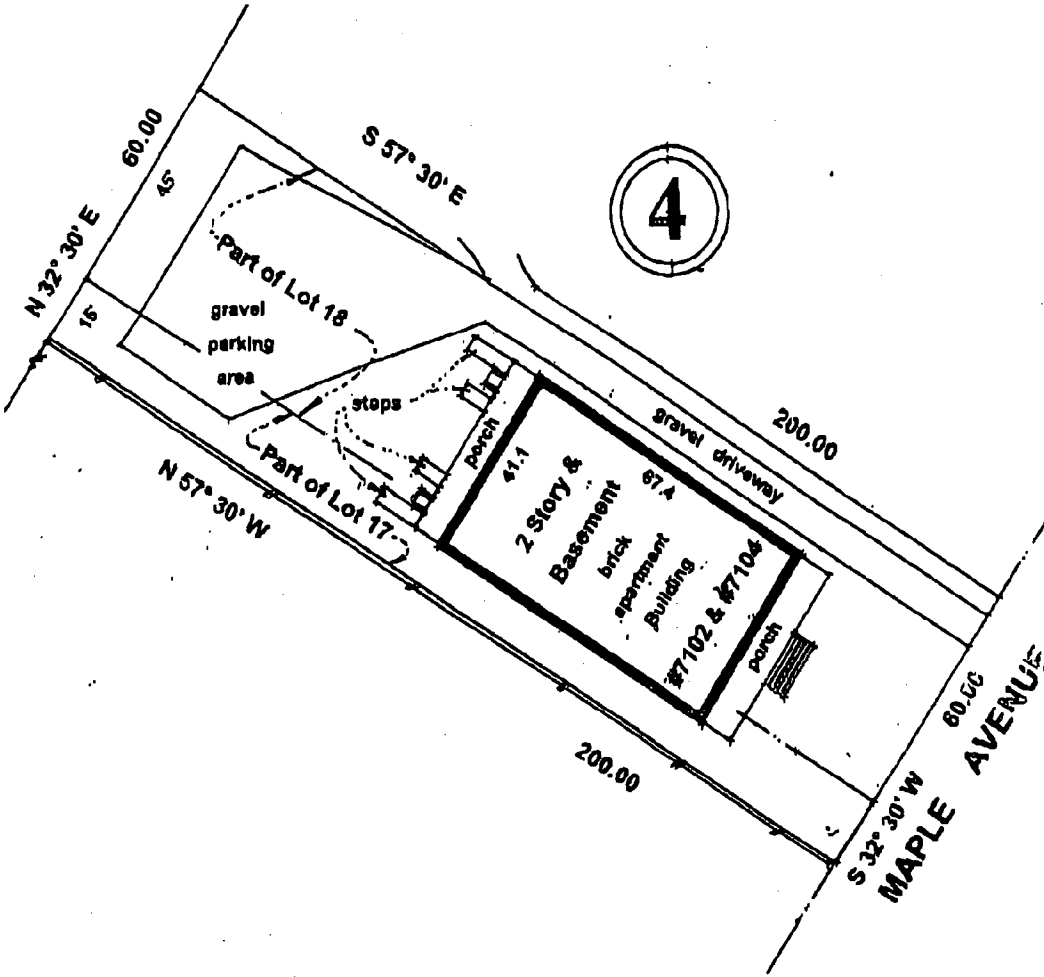
Addresses may be acquired from "Real Property Data Search" online: <http://www.dat.state.md.us/>

Owner's mailing address	Owner's Agent's mailing address
KEITH CHAMBERLIN 7227 CENTRAL AVE TAKOMA PARK, MD 20912	
<b>Adjacent and confronting Property Owners mailing addresses</b>	
THOMAS TWOMEY 2268 STARGATE LN CHARLOTTESVILLE, VA 22911-6322	ELIOT SCHWARTZ & KAREN FISHMAN 7103 CEDAR AVE TAKOMA PARK, MD 20912
DONALD DRYBURGH 7100 MAPLE AVE TAKOMA PARK, MD 20912	EDWARD MCMAHON 7105 CEDAR AVE TAKOMA PARK, MD 20912
DANCE EXCHANGE 7117 MAPLE AVE TAKOMA PARK, MD 20912	TAKOMA BUSINESS CENTER LLC 4 EVERGREEN RD #200 SEVERNA PARK, MD 21146-3802
SANFORD NEWMAN & CHRISTINE OWENS 7101 CEDAR AVE TAKOMA PARK, MD 20912	

8

# LANDTECH ASSOCIATES, INC.

10260 OLD COLUMBIA ROAD SUITE J  
 COLUMBIA, MARYLAND 21046-1721  
 PHONE: 410-290-8099 TOLL FREE: 888-290-1920  
 FAX: 410-290-8299 TOLL FREE 888-290-1922



Location Survey of:	LOT: Pt.17, Pt.18	BLOCK: 4
#7102-7104 Maple Ave.	PLAT BK: "A"	PLAT#: 3
B.F. Gilbert's Addition to	DATE: 2-14-08	SCALE: 1"=30'
<b>Takoma Park</b>	CASE NUMBER: 0813542-MP	
Montgomery Co., MD	FILE NUMBER: LT-2080197	



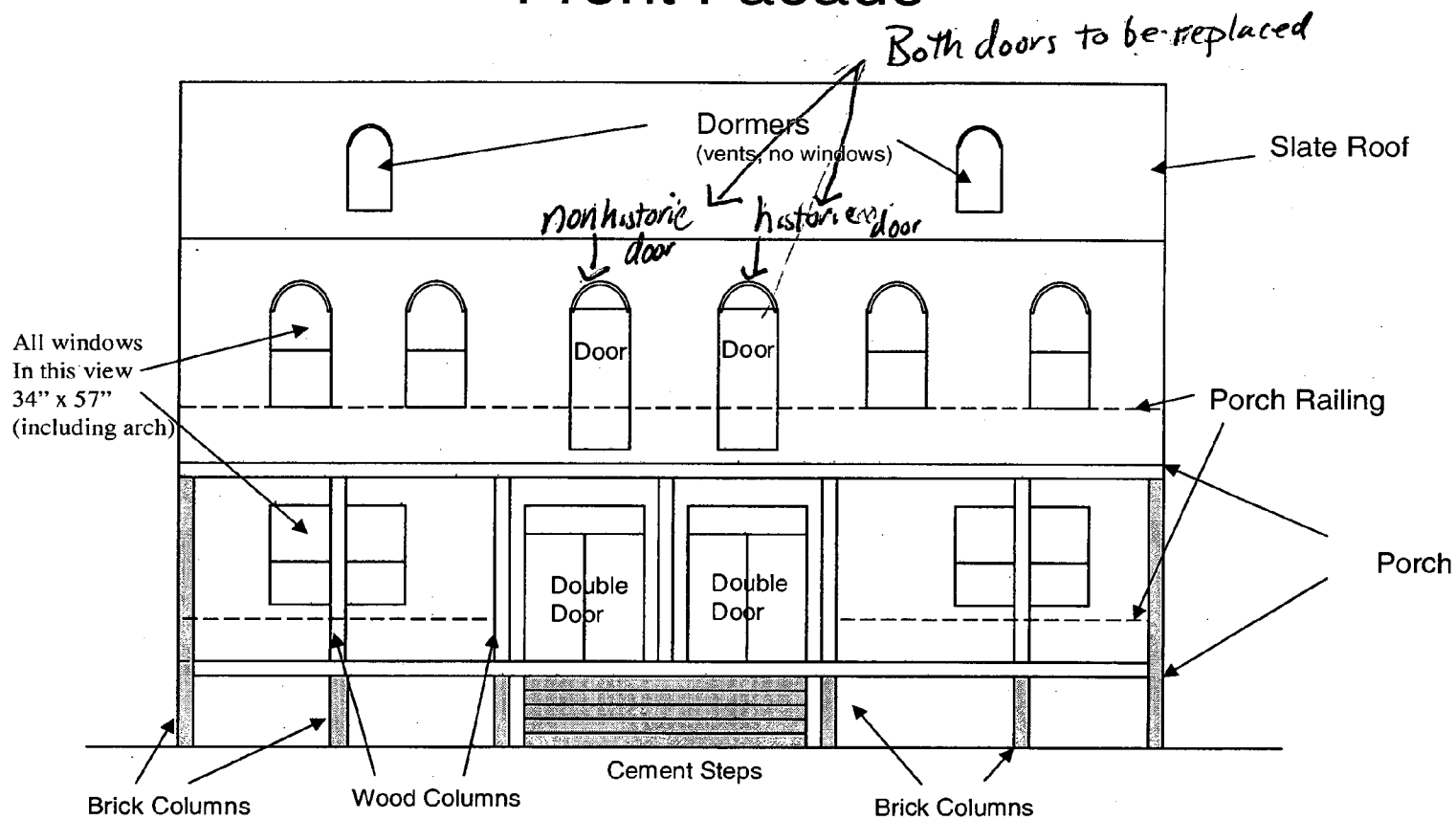
**NOTES:**

1. This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plat is not to be relied upon for the establishment or location of fences, garages, buildings or other existing or future improvements.
3. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Property line survey recommended to determine the exact location of improvements and/or encroachments, if any.
5. Property subject to any/all rights-of-way, easements, and/or covenants of record and/or imposed by law.
6. This plat is not to be used for the issuance of permits.
7. No title report furnished.

**CERTIFICATION:** I hereby certify that the position of the significant visible improvements on the above described property has been carefully established in compliance with the "Minimum Standards of Practice" for the State of Maryland.

9

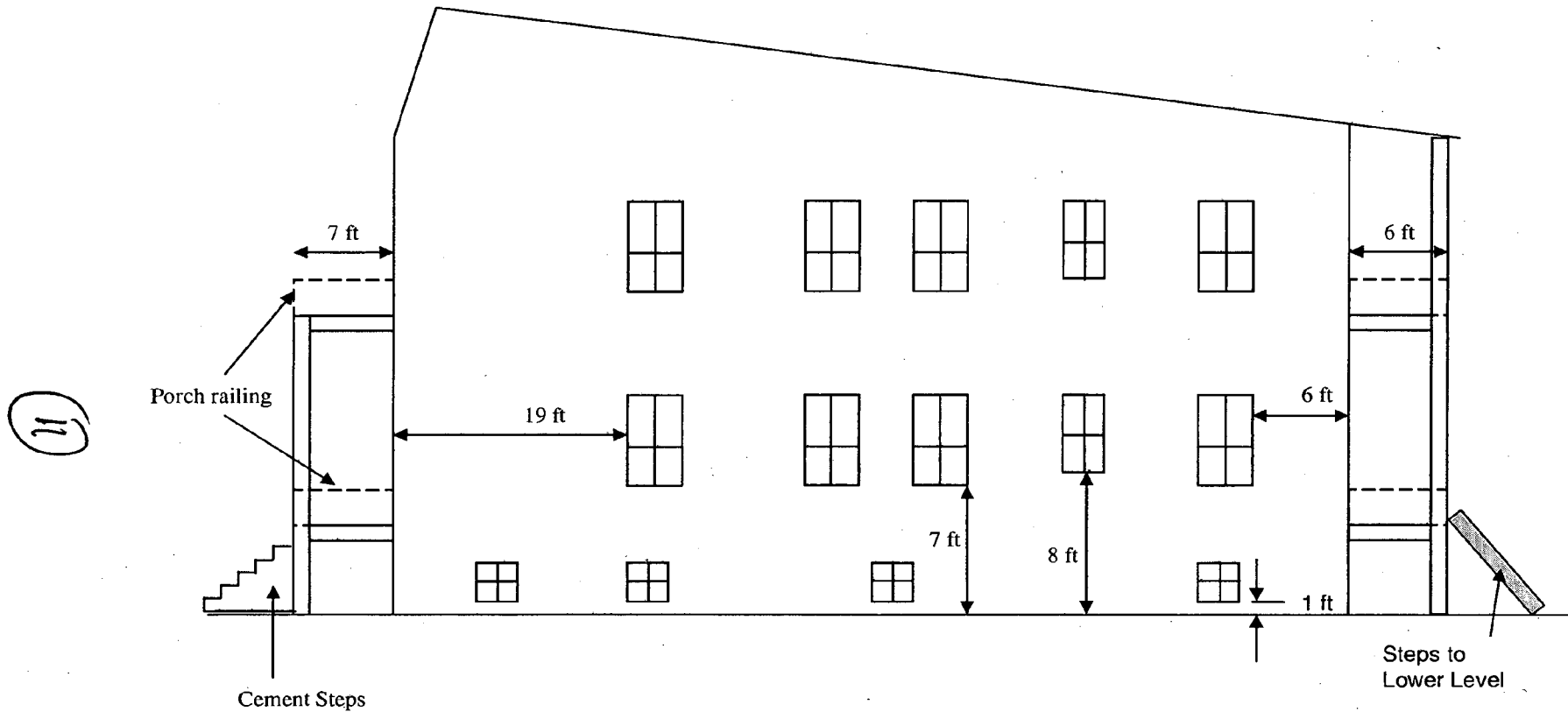
# Front Facade



10

7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

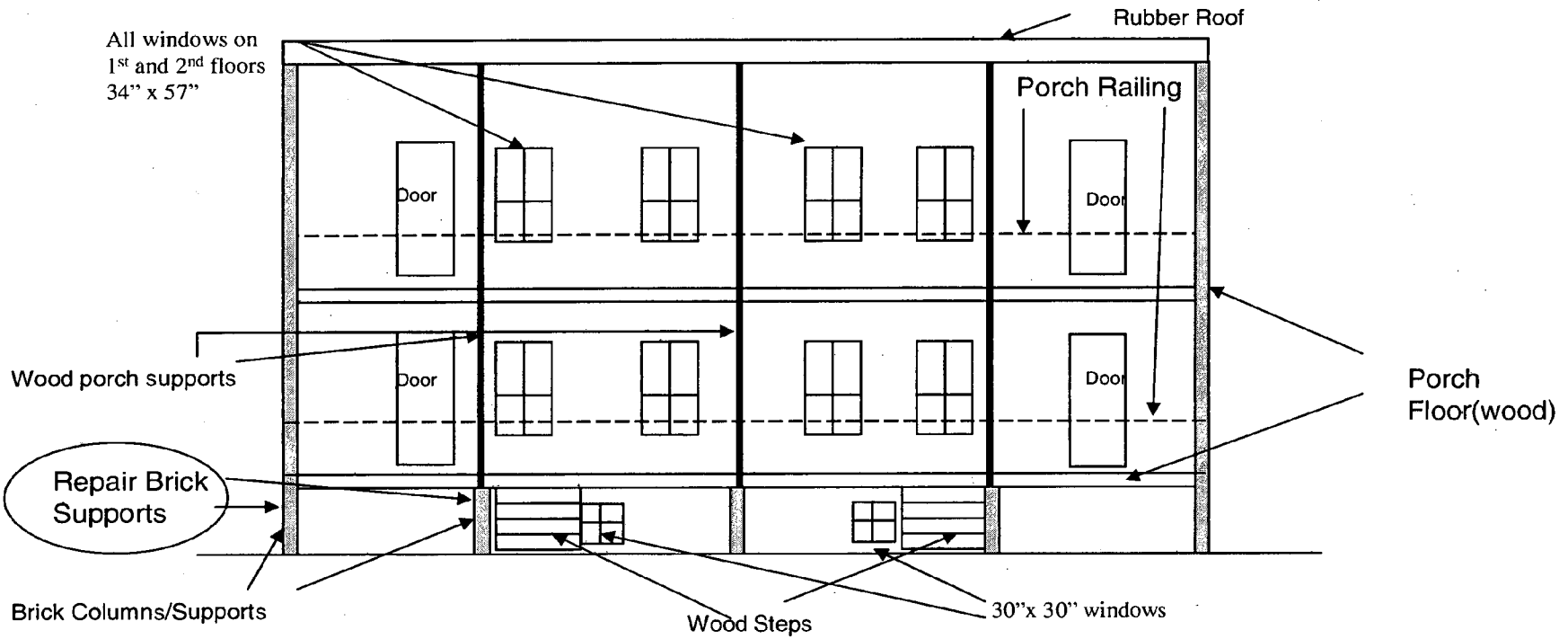
# Right Façade (Existing)



7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

# Rear Façade (Existing)

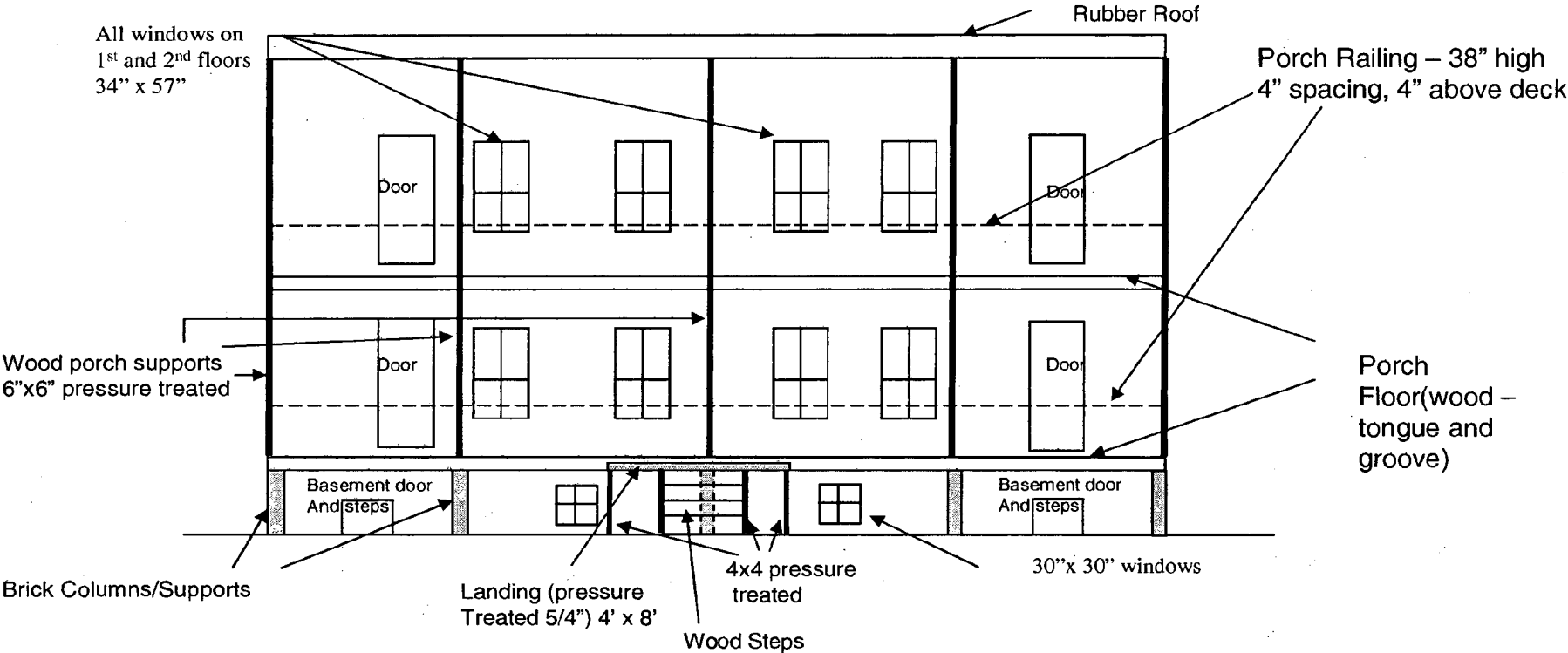
12



7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

# Rear Façade (After replacement)

3

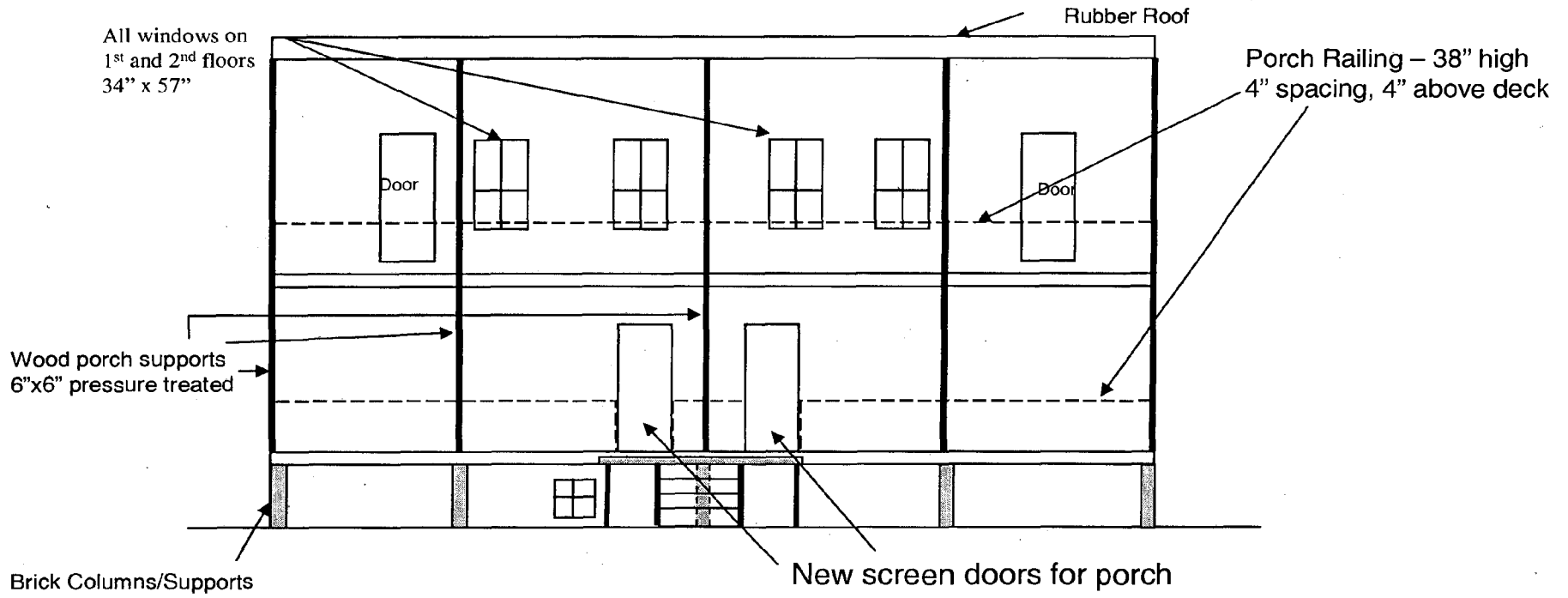


7102 Maple Ave, Takoma Park  
 Application for Permit for Stair Removal/Porch Repair



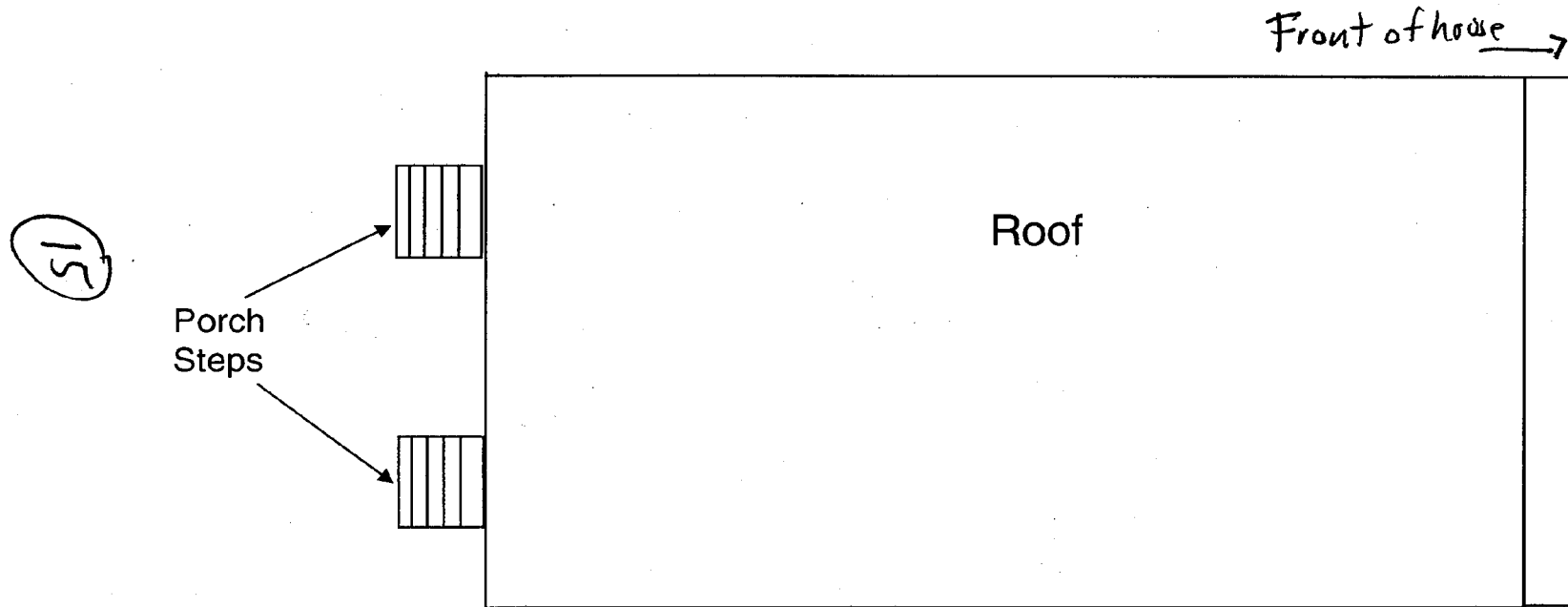
# Rear Façade (After replacement showing screen doors)

14



7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

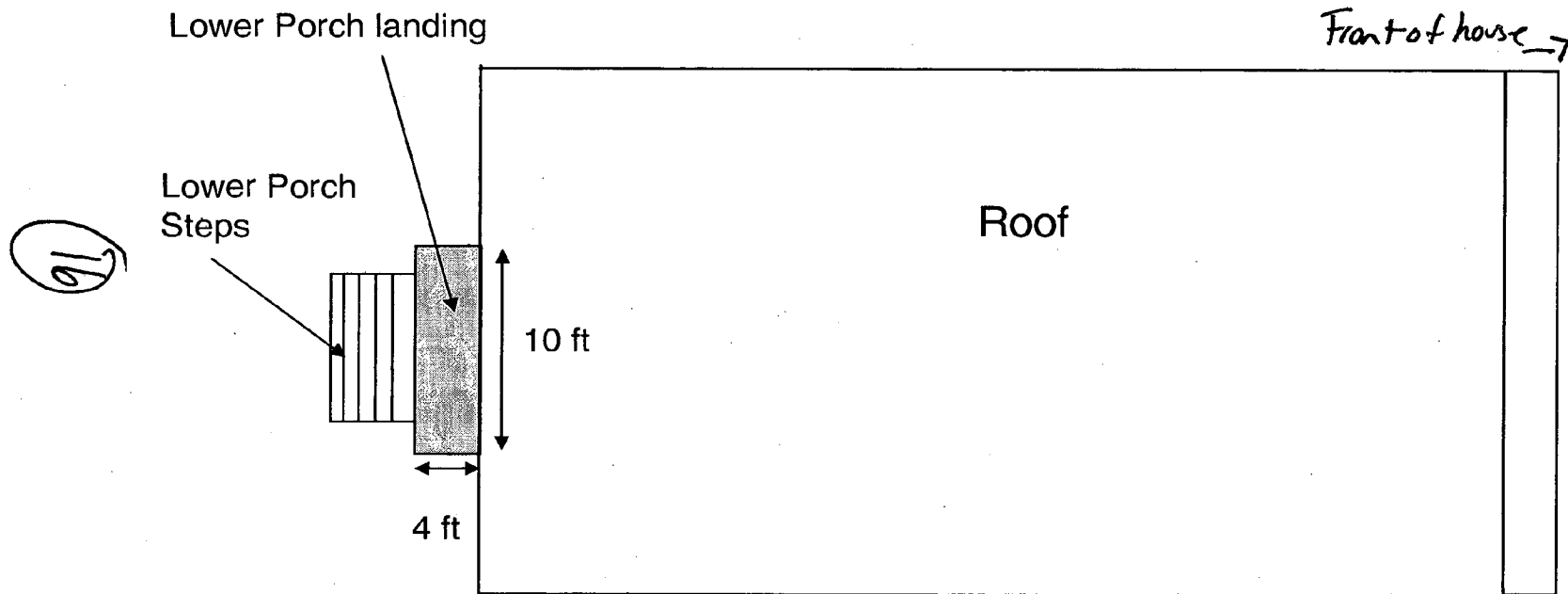
# Top View (Existing)



Top View

7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

# Top View (After replacement)



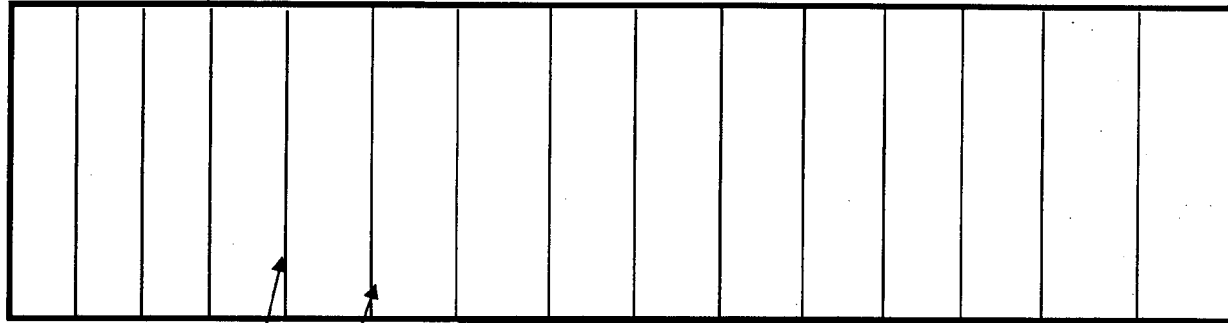
7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

Rear  
Porch and Landing – Top View

42 feet

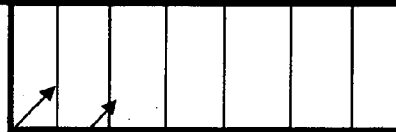
2x12 facing - bolted to brick wall

6 feet



17

2x12 facing -  
Spanning Brick  
Support Columns  
10 ft or less in length



4 ft

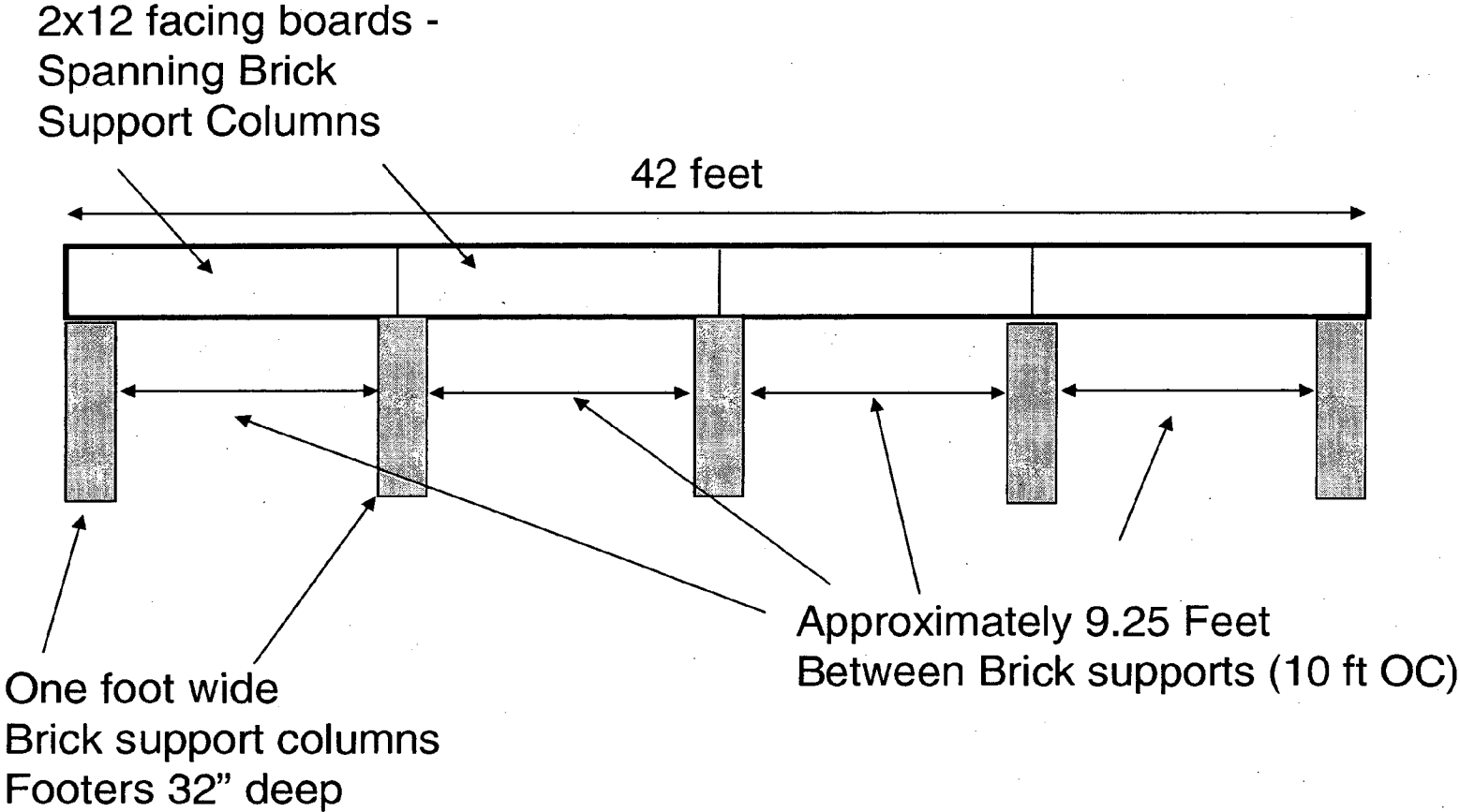
2x12 facing  
Pressure treated

2x12 – 16" OC  
Pressure treated

7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

# Rear Porch – Facing view w/o landing

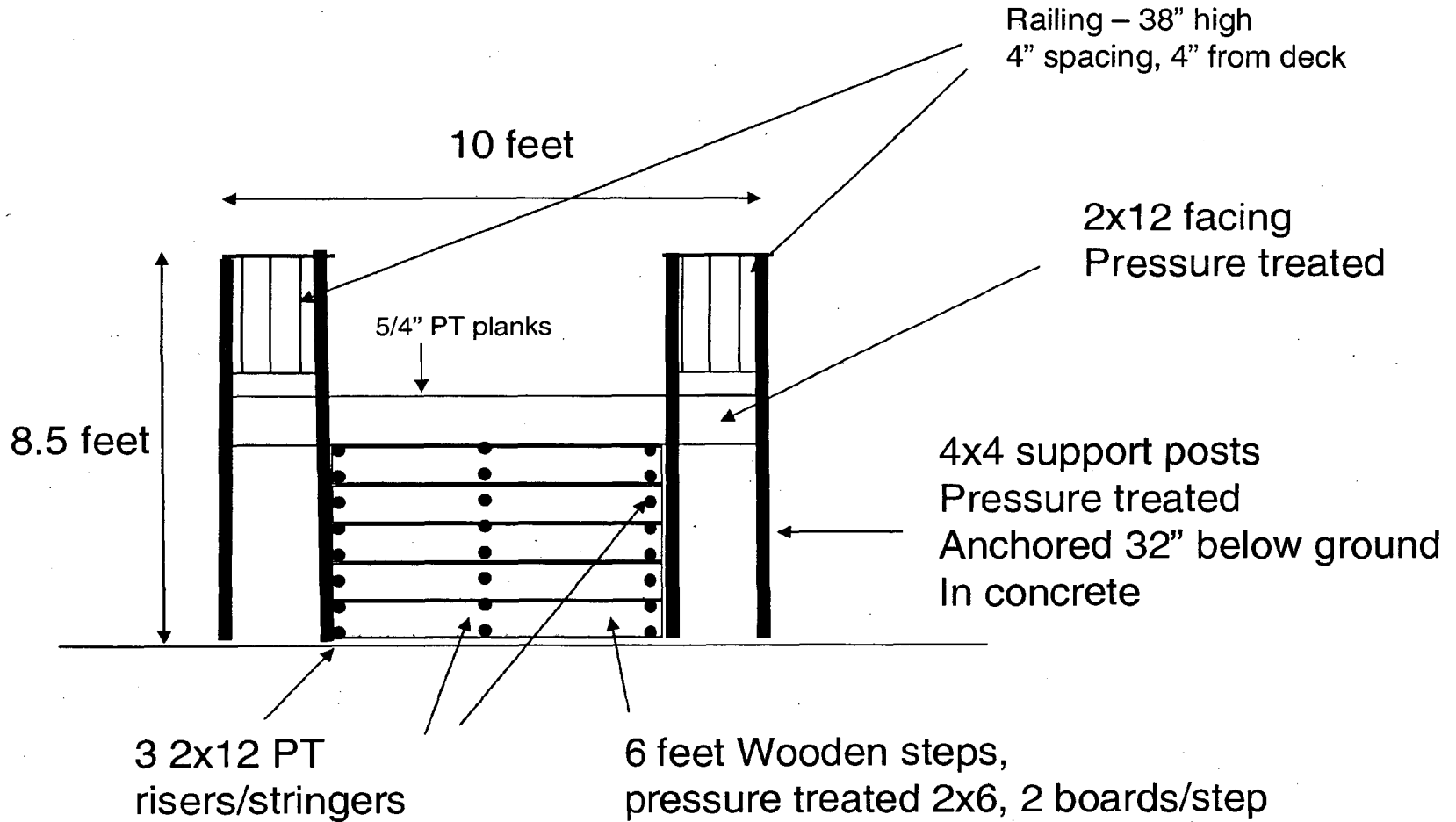
18



7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

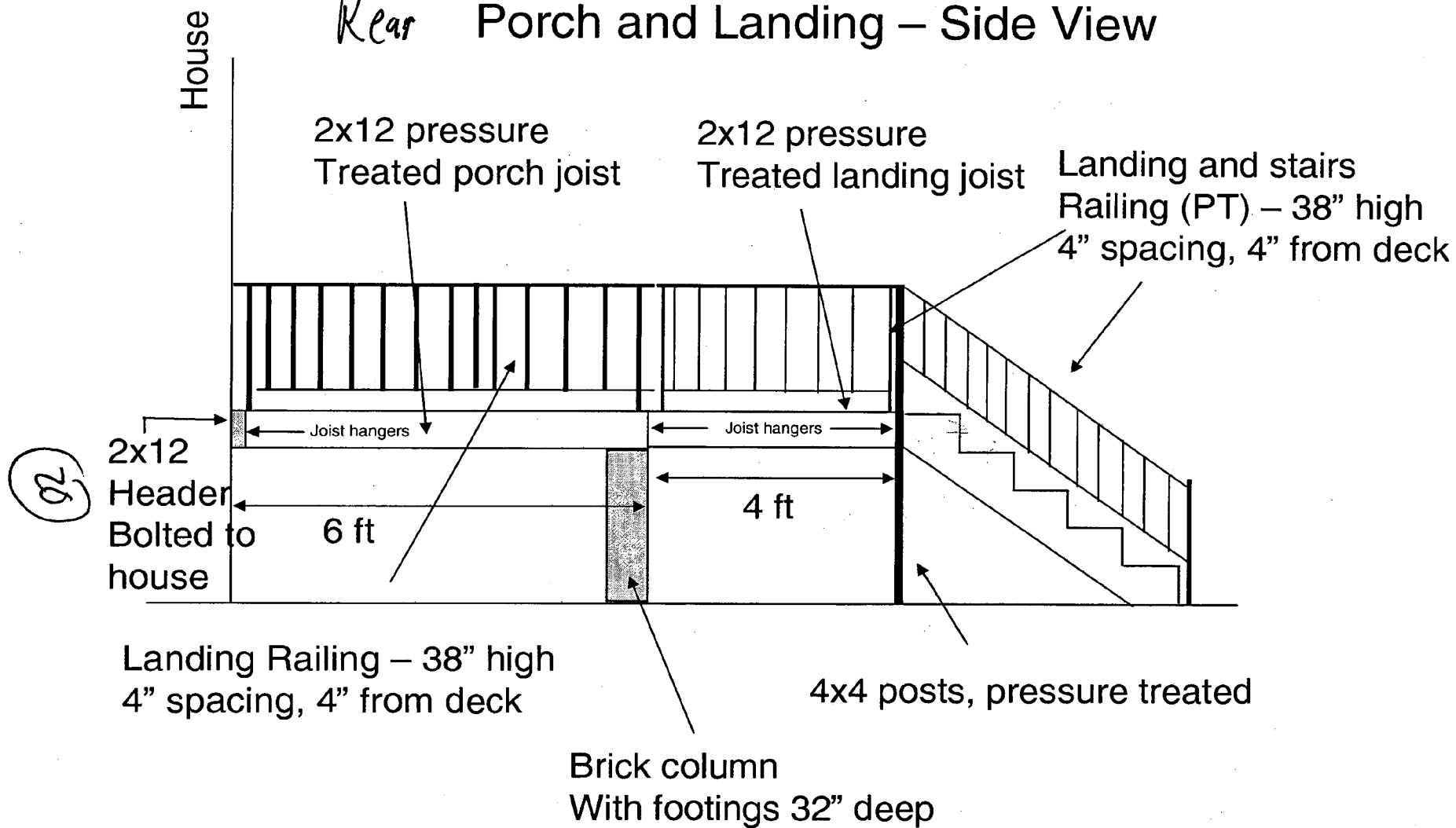
Rear Porch  
Landing – view facing house

19



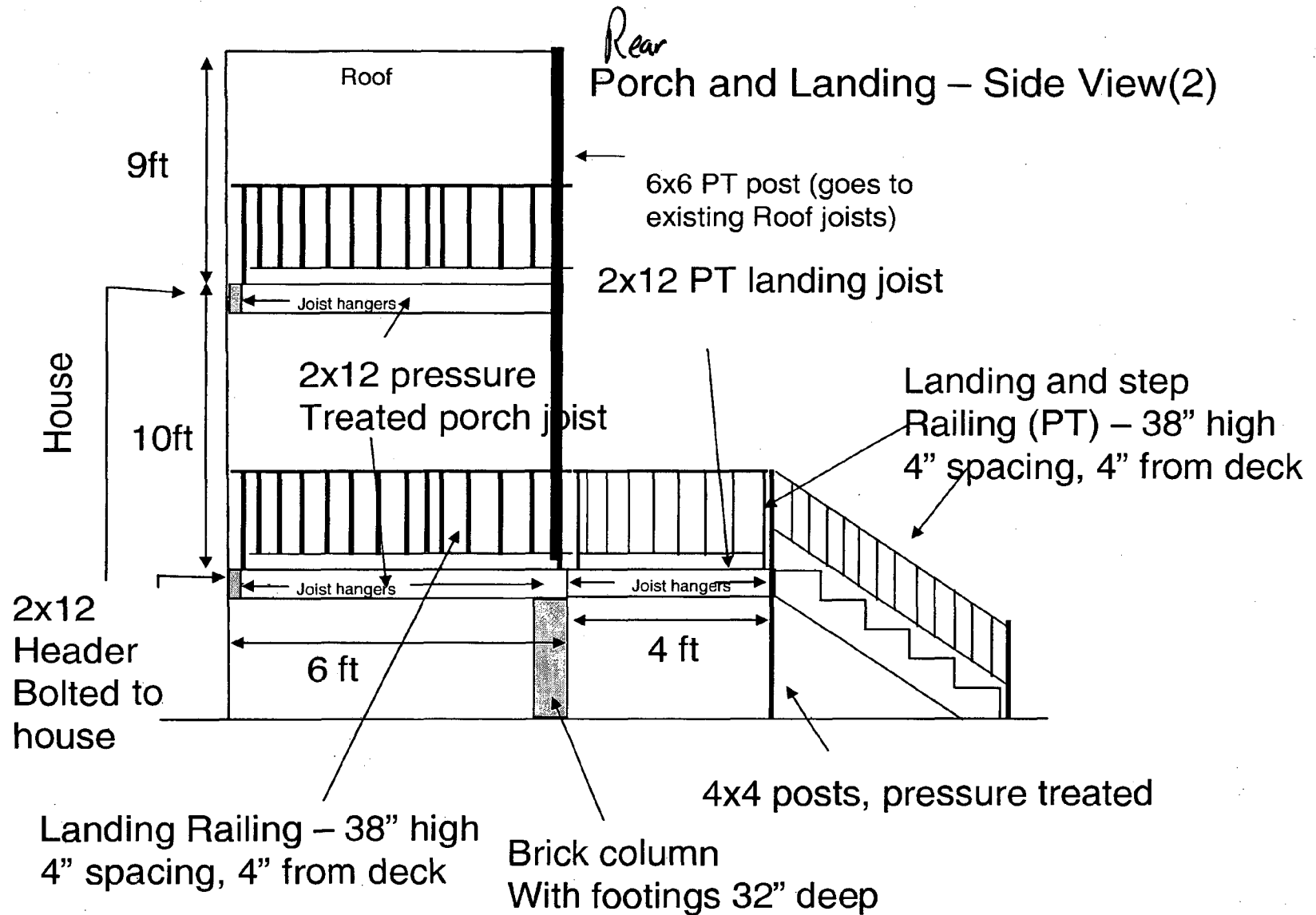
7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

# Rear Porch and Landing – Side View



7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

12

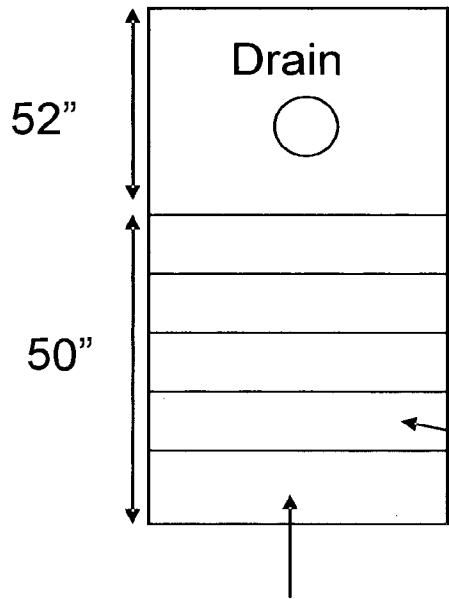


7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

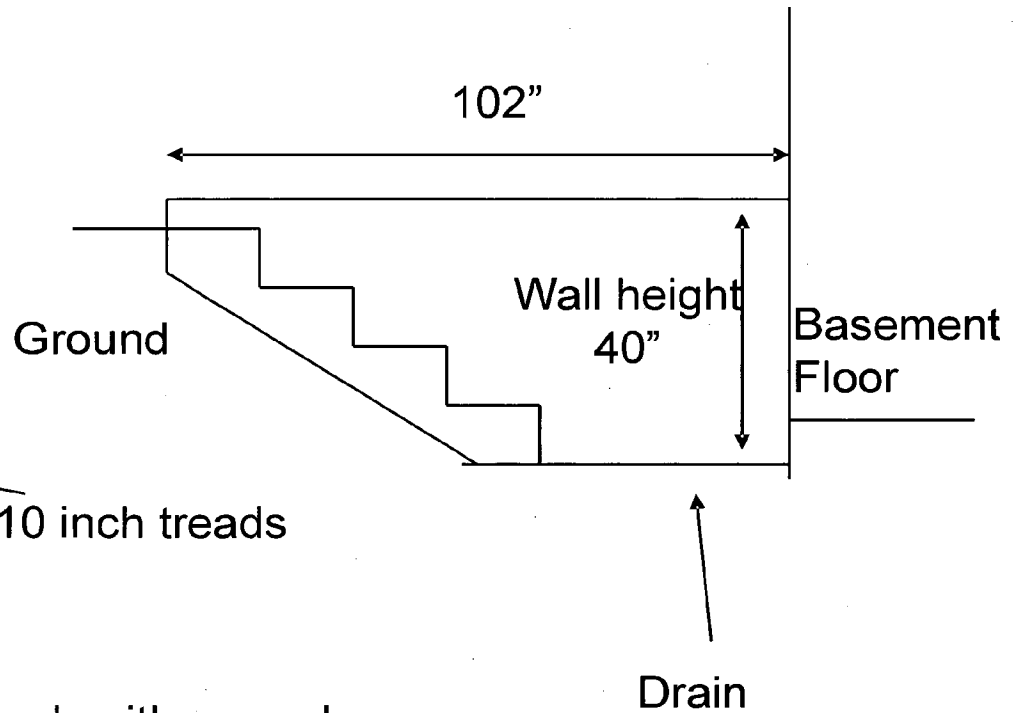


Rear Left side  
**Old Basement Steps**

Top View



Side View



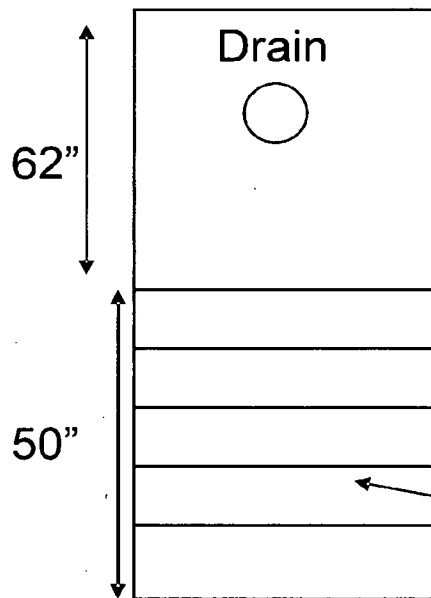
Top step is almost flush with ground

22

7102/7104 Maple Ave, Takoma  
Park, Porch Repair

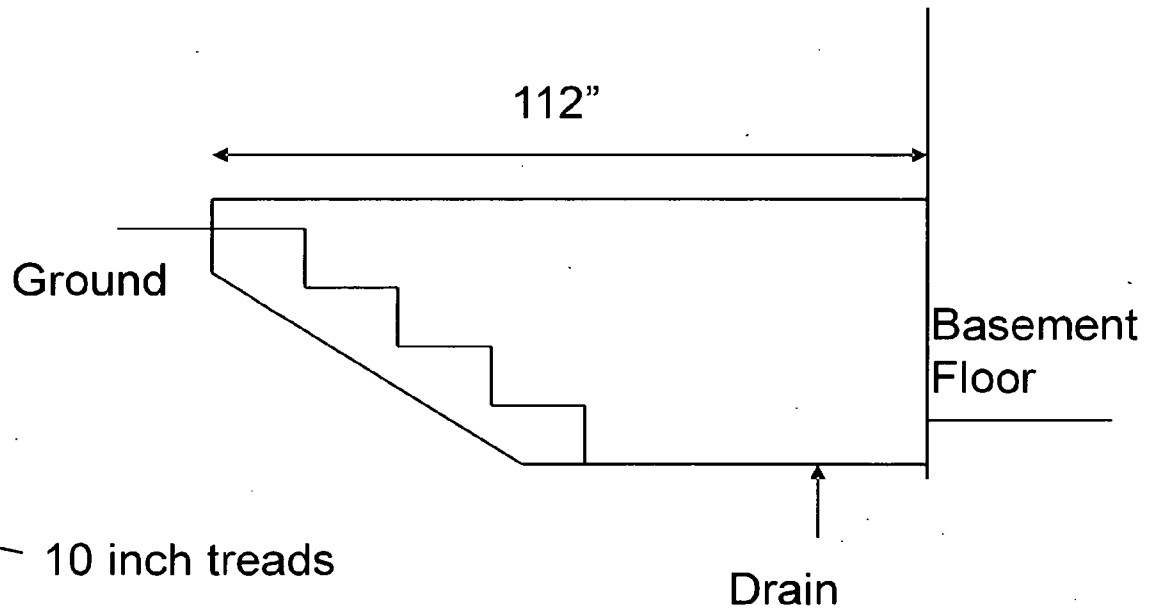
*Rear Left side*  
**New Basement Steps**

Top View



23

Side View

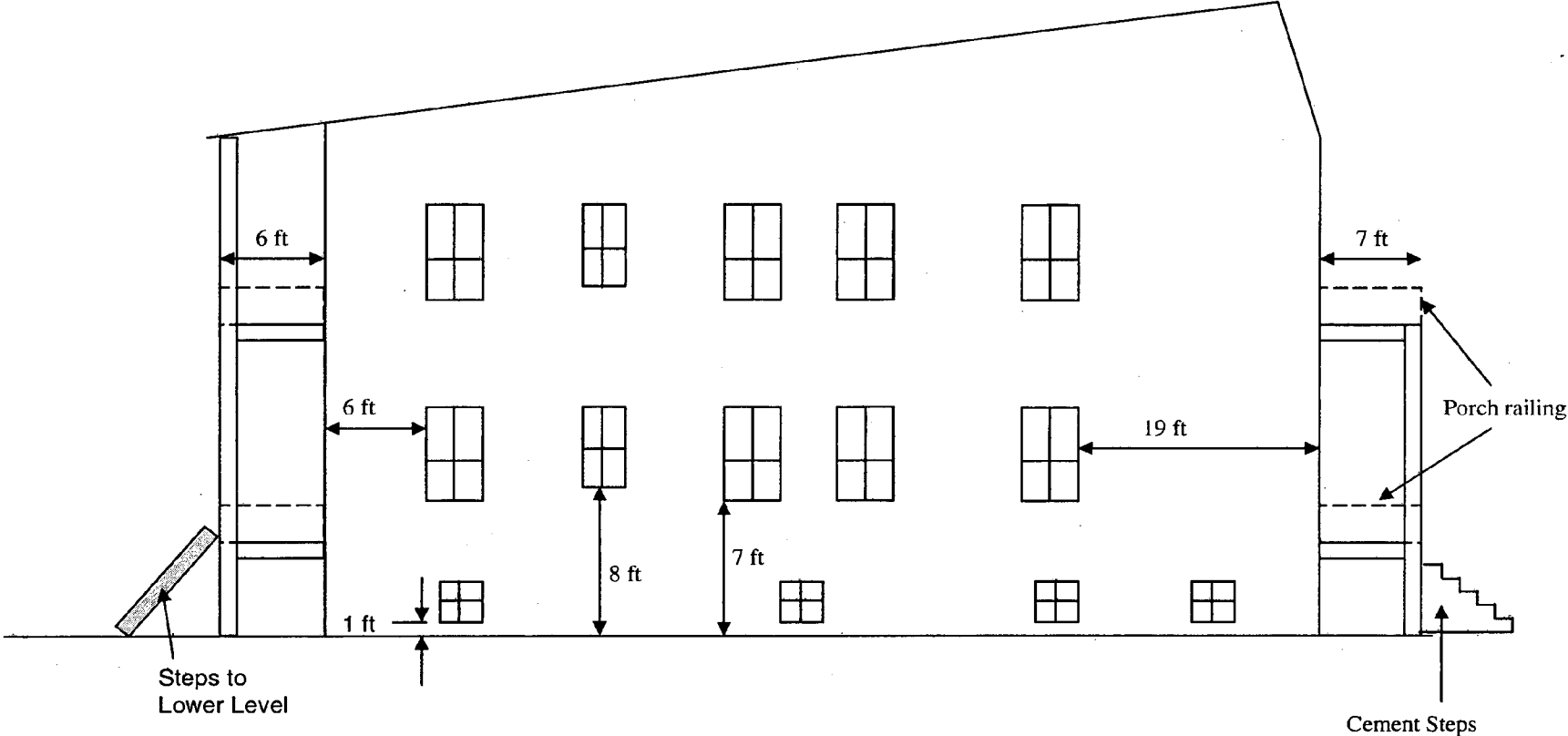


Change is to increase the overall length so that people don't Hit their head on the porch facing board as they descend the steps.

7102/7104 Maple Ave, Takoma  
Park, Porch Repair

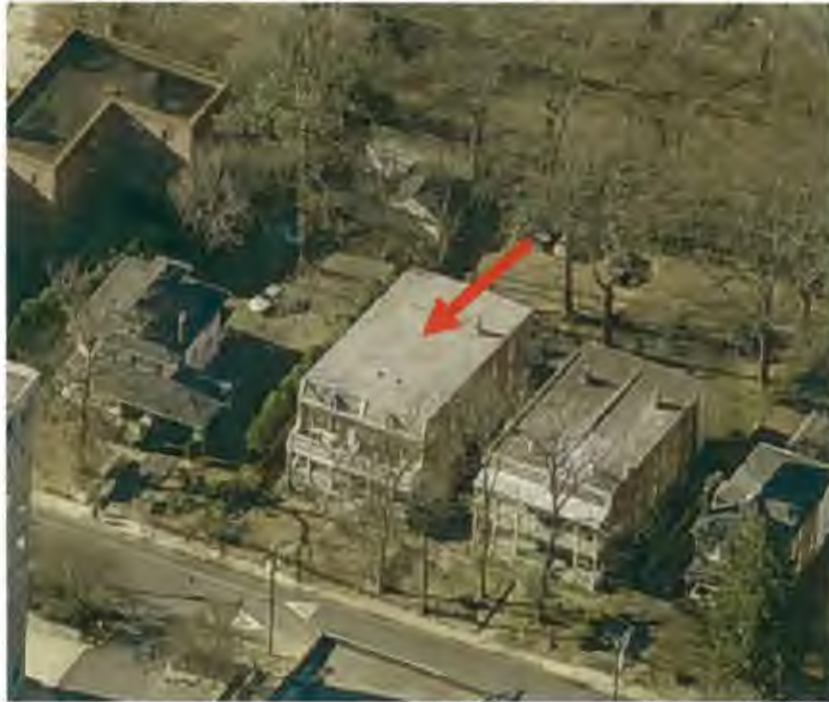
# Left Façade (Existing)

24



7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

7102-04 Maple Avenue, Takoma Park  
Takoma Park Historic District



Front Elevation



Rear Elevation

25

Front View from Street



7102/7104 Maple Ave, Takoma  
Park, Porch Repair

26



27



4x4 posts, not structurally sound

Twisted rotting beam

Support tier broken and leaning  
2<sup>nd</sup> tier broken and needs replacing



7102/7104 Maple Ave, Takoma  
Park, Porch Repair

28

Gap between porch  
And house, porch is  
Mounted in pocket in  
wall



7102/7104 Maple Ave, Takoma  
Park, Porch Repair



Back Porch Floor



7102/7104 Maple Ave, Takoma  
Park, Porch Repair

29



## Porch Beams



Beam breaks  
Away with  
screwdriver



7102/7104 Maple Ave, Takoma  
Park, Porch Repair

30

*Left-side  
Basement Steps  
To be pushed back ten inches*



31

7102/7104 Maple Ave, Takoma  
Park, Porch Repair

Left-side Basement Steps



32

7102/7104 Maple Ave, Takoma  
Park, Porch Repair



# Front Balcony Doors

Attempted repairs,  
original wood style



Not original



33

7102/7104 Maple Ave, Takoma  
Park, Porch Repair

## Front Balcony Doors



7102/7104 Maple Ave, Takoma  
Park, Porch Repair

34

## Front Balcony Doors



7102/7104 Maple Ave, Takoma  
Park, Porch Repair

35



## Front Balcony Doors



7102/7104 Maple Ave, Takoma  
Park, Porch Repair

36

## Front Balcony Doors



7102/7104 Maple Ave, Takoma  
Park, Porch Repair



## Front Balcony Doors



7102/7104 Maple Ave, Takoma  
Park, Porch Repair

38

## Front Balcony Doors



39

7102/7104 Maple Ave, Takoma  
Park, Porch Repair

## Front Balcony Doors



(48)

7102/7104 Maple Ave, Takoma  
Park, Porch Repair

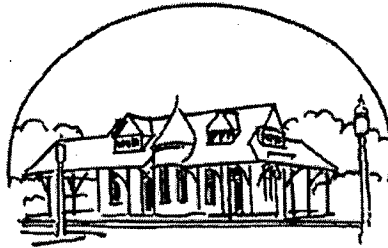


## Front Balcony Doors



411

7102/7104 Maple Ave, Takoma  
Park, Porch Repair



Case I E  
25 June 08  
Rachel Kennedy

# HISTORICTAKOMA, INC.

25 June 2008

TO: Montgomery County Historic Preservation Commission and Staff

FROM: Historic Takoma, Inc., P. O. Box 5781, Takoma Park, MD 20913

RE: 7102-04 Maple Avenue, Takoma Park, MD

This building is an outstanding resource in the Takoma Park Historic District. It is one of three such brick duplexes (two on Maple Avenue and one on Cedar Avenue) built by the B & O Railroad in Takoma Park to house their section gangs of track maintenance workers. At least the duplex on Cedar Avenue was rescued from decay and destruction by "Operation Turn Around" in the 1970s. These houses are of central and continuing importance in the history of our community, which was originally developed as a railroad suburb along the Metropolitan Branch of the B & O Railroad.

HTI supports the staff report for this application. We also applaud the replacement of the non-conforming door on the second floor balcony, and the other repairs will surely be beneficial as well.

But like staff, we would like to see the original door remaining on the balcony maintained. We support the retention of original materials wherever possible and the staff report makes a very strong case for the repair of this original door. HTI encourages the Commission to require the restoration of this original fabric.

And as always, we are happy to assist with this project in any way we can. Thank you for your attention in this matter.

Sincerely,

Sabrina Alcorn Baron  
President

Lorraine J. Pearsall  
Vice President

## Kennedy, Rachel

---

**From:** Chamberlin, Keith [kchamberlin@hst.nasa.gov]  
**Sent:** Thursday, July 03, 2008 3:59 PM  
**To:** Kennedy, Rachel  
**Subject:** RE:

I'd say by 7/18, Friday.

Keith A. Chamberlin  
Relative Navigation Sensors Lead, Hubble Space Telescope  
Mail Code: 442 Phone: 301-286-2580  
Bldg 29, Rm 107 Fax: 301-286-1779

---

**From:** Kennedy, Rachel [mailto:Rachel.Kennedy@mncppc-mc.org]  
**Sent:** Thursday, July 03, 2008 3:57 PM  
**To:** Chamberlin, Keith  
**Subject:**

Hi Keith,

When do you suppose that you can get us the information from the carpenter regarding the original front balcony door? I want to make sure that gets noted in the final approval...

Rachel

Rachel Kennedy  
Senior Planner  
Countywide Planning | Historic Preservation Section  
Maryland-National Capital Park and Planning Commission  
301-563-3400 phone | 301-563-3412 fax  
1109 Spring Street, Suite 801  
Silver Spring, MD 20910  
[rachel.kennedy@mncppc-mc.org](mailto:rachel.kennedy@mncppc-mc.org), <http://www.mc-mncppc.org/historic/>  
Mailing Address:  
8787 Georgia Avenue  
Silver Spring, MD 20910

## Kennedy, Rachel

---

**From:** ROXANNE FULCHER [RFULCHER@aacc.nche.edu]  
**Sent:** Wednesday, July 02, 2008 3:30 PM  
**To:** Silver, Joshua; Kennedy, Rachel  
**Cc:** Keith Chamberlin  
**Subject:** Urgent--Please help!

Hello Rachel and Josh,

We would very much like to apply for our permit for the back porch.

We would like to install the two doors as described below. Please let us know--is this door okay?

What is the process for receiving approval from your office to move forward to do the porch repair?

<http://www.coppawoodworking.com/?gclid=CN3B9NX1oZQCFvHgodcR6NtA>

Model # 360F1-D

Standard Door Size 36" x 81"  
1 7/8" Pine, Painted White

Second Choice

Same door and specifications but made from Douglas Fir

Thanks,  
Roxanne and Keith

Roxanne Fulcher  
Director of Health Professions Policy  
American Association of Community Colleges One Dupont Circle, NW Suite 410 Washington, DC  
20036  
Telephone: 202-728-0200, ext. 274  
Fax: 202-833-2467  
E-mail: [RFulcher@aacc.nche.edu](mailto:RFulcher@aacc.nche.edu)  
[www.aacc.nche.edu](http://www.aacc.nche.edu)

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This email has been scanned for all viruses by the MessageLabs Email Security System.

## Kennedy, Rachel

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**From:** Kennedy, Rachel  
**Sent:** Wednesday, June 25, 2008 12:48 PM  
**To:** 'Chamberlin, Keith'  
**Subject:** RE: Assistance for New Doors/Old Door Repair

I am not surprised by that on the bottom rail. It would have to be replaced with a whole new piece of wood with redone tenons, I suspect.

---

**From:** Chamberlin, Keith [mailto:kchamberlin@hst.nasa.gov]  
**Sent:** Tuesday, June 24, 2008 3:51 PM  
**To:** Kennedy, Rachel  
**Subject:** RE: Assistance for New Doors/Old Door Repair

My contractor says most of the stuff that is hidden by the previous attempts to repair is rotted and won't hold a screw. I'll see if I can get some pictures.

Keith A. Chamberlin  
Relative Navigation Sensors Lead, Hubble Space Telescope  
Mail Code: 442 Phone: 301-286-2580  
Bldg 29, Rm 107 Fax: 301-286-1779

---

**From:** Kennedy, Rachel [mailto:Rachel.Kennedy@mncppc-mc.org]  
**Sent:** Tuesday, June 24, 2008 3:09 PM  
**To:** Chamberlin, Keith  
**Cc:** ROXANNE FULCHER  
**Subject:** RE: Assistance for New Doors/Old Door Repair

Good. Make sure and have a preservation carpenter look at the original door and give you an assessment.

---

**From:** Chamberlin, Keith [mailto:kchamberlin@hst.nasa.gov]  
**Sent:** Tuesday, June 24, 2008 3:06 PM  
**To:** Kennedy, Rachel  
**Subject:** RE: Assistance for New Doors/Old Door Repair

<http://www.coppawoodworking.com/?gclid=CMCQn8u2i5QCFQ4vHgodN2MzWg>

This is a web site that we are looking at for new storm doors. Attached are several choices of ours that look nice but aren't too fancy, in keeping with the style of our house as well. I'll have to get back to you on some doors for the balcony. I have looked at several choices of replacement doors, including Jeld-Wen and Wood Harbor manufacturers. I'm going to try and get some more information on each of these tonight.

Keith A. Chamberlin  
Relative Navigation Sensors Lead, Hubble Space Telescope  
Mail Code: 442 Phone: 301-286-2580  
Bldg 29, Rm 107 Fax: 301-286-1779

---

**From:** Kennedy, Rachel [mailto:Rachel.Kennedy@mncppc-mc.org]  
**Sent:** Tuesday, June 24, 2008 9:58 AM  
**To:** Chamberlin, Keith  
**Subject:** Assistance for New Doors/Old Door Repair

Hi Keith,



Josh said Roxanne called yesterday asking for examples of screen doors and French doors that might be acceptable for HPC approval. I just tried to phone her, but she was unavailable. I did leave her a message, telling her that I am emailing you, in lieu of her email address.

Anyway, I spent an hour this morning making phone calls trying to figure out who could offer the services you guys need. I found several carpenters and millwork companies who can probably assist. If you want more details about these folks, do not hesitate to call me. I have spoken with them this am and have a good idea about the services they provide.

G.A. Miller: 301.582.1200. Near Hagerstown. Can fabricate screen doors and can assess the old french door. Can also order both.

Howard and Dean: 410.885.5176, Ken Dean. Can assess the old door, can fabricate new french door.

Historic Structures: Kensington area. 202.437.7567. Historic Pres carpenter. Will assess old door, can build new door. Don't know about screen door. Can email him pictures of the old door. Website:  
<http://historicstructuresdc.com/>

New Screen Doors and New French Doors---none of these do custom millwork

Mizell Lumber, 301.949.0244 in Kensington

T.W. Perry, 301.652.2600 Chevy Chase

Also, you can call anyone on our list yourself and assess their qualification and your needs. I just took it upon myself to find out what services these people offer and have spoken with them. Our main millwork/carpenter list is at:  
<http://www.mc-mncppc.org/historic/resources/servicesmillwork.shtm>

Let me know if I can be of further assistance.

Rachel

Rachel Kennedy  
Senior Planner  
Countywide Planning | Historic Preservation Section  
Maryland-National Capital Park and Planning Commission  
301-563-3400 phone | 301-563-3412 fax  
1109 Spring Street, Suite 801  
Silver Spring, MD 20910  
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Mailing Address:  
8787 Georgia Avenue  
Silver Spring, MD 20910

## Kennedy, Rachel

---

**From:** Chamberlin, Keith [kchamberlin@hst.nasa.gov]  
**Sent:** Tuesday, June 24, 2008 3:06 PM  
**To:** Kennedy, Rachel  
**Subject:** RE: Assistance for New Doors/Old Door Repair  
**Attachments:** specpage2.jpg; door1.jpg; door2.jpg; door3.jpg; specpage1.jpg

<http://www.coppawoodworking.com/?qclid=CMCQn8u2i5QCFQ4vHgodN2MzWg>

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Keith A. Chamberlin  
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Bldg 29, Rm 107 Fax: 301-286-1779

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**New Screen Doors and New French Doors**---none of these do custom millwork

Mizell Lumber, 301.949.0244 in Kensington

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Let me know if I can be of further assistance.

Rachel

Rachel Kennedy

Senior Planner

Countywide Planning | Historic Preservation Section

Maryland-National Capital Park and Planning Commission

301-563-3400 phone | 301-563-3412 fax

1109 Spring Street, Suite 801

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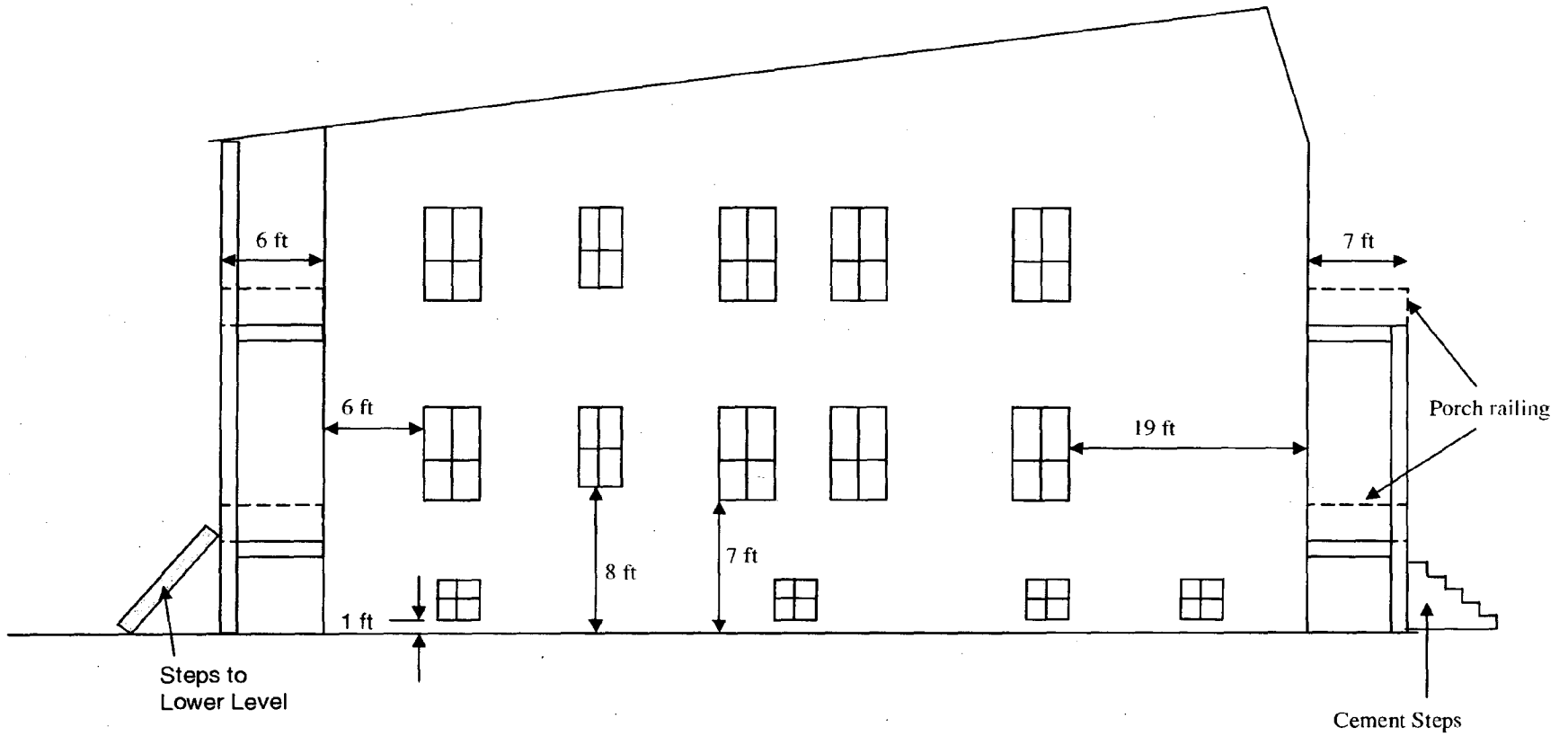
[rachel.kennedy@mncppc-mc.org](mailto:rachel.kennedy@mncppc-mc.org), <http://www.mc-mncppc.org/historic/>

Mailing Address:

8787 Georgia Avenue

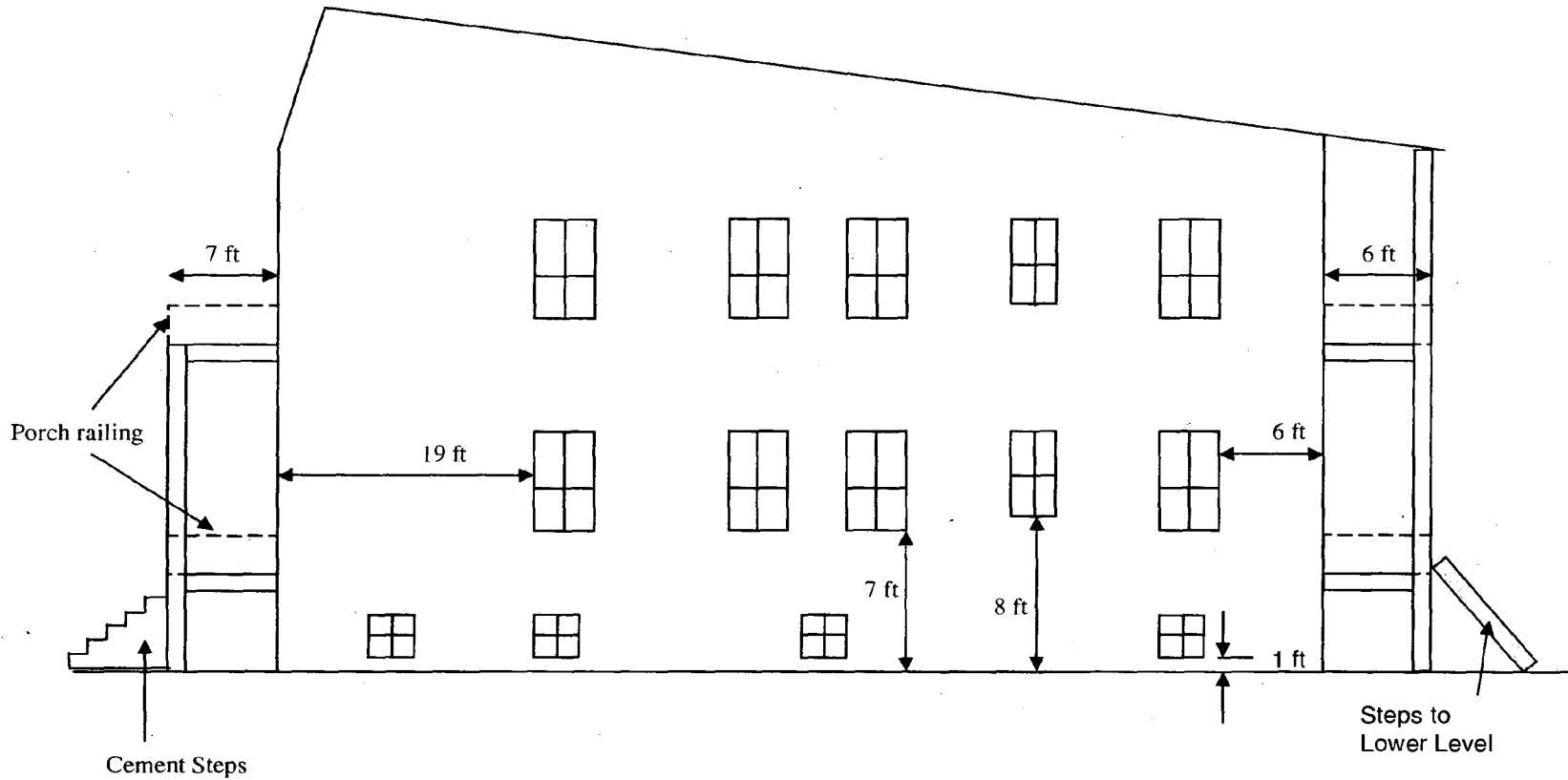
Silver Spring, MD 20910

# Left Façade (Existing)



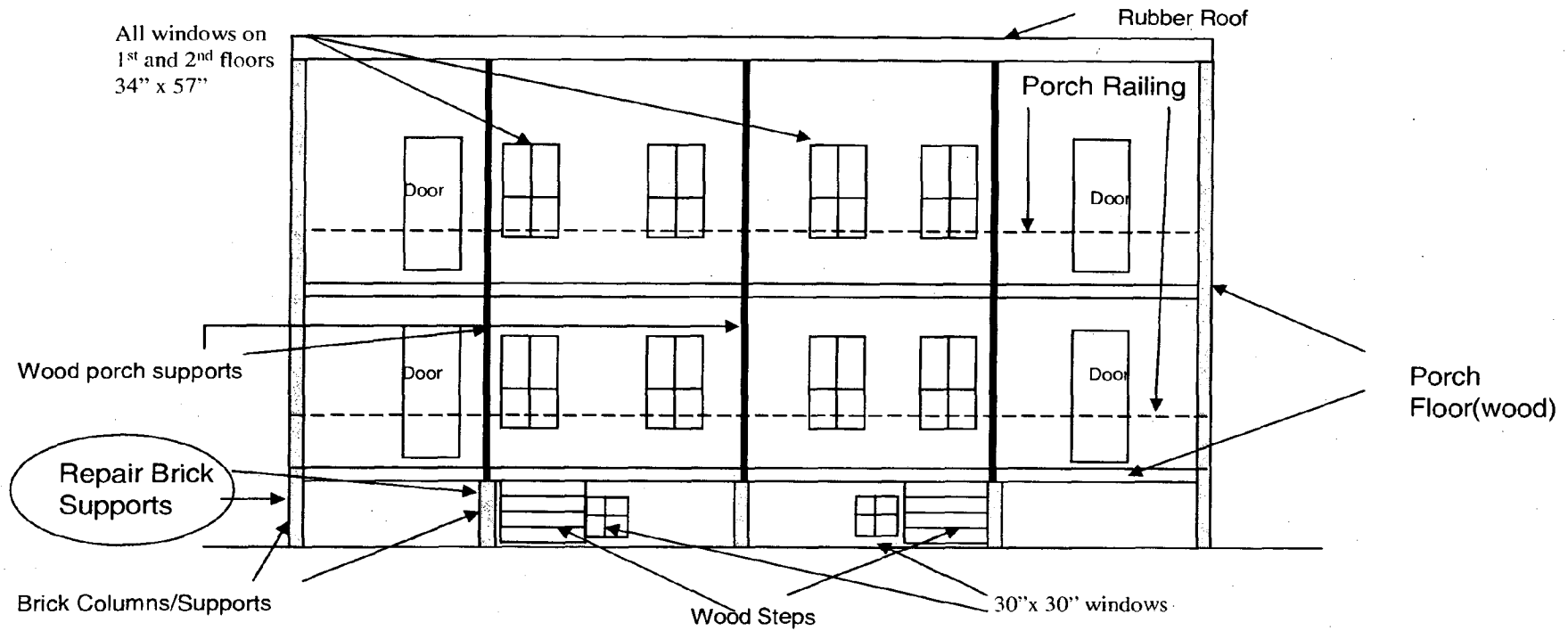
7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

# Right Façade (Existing)



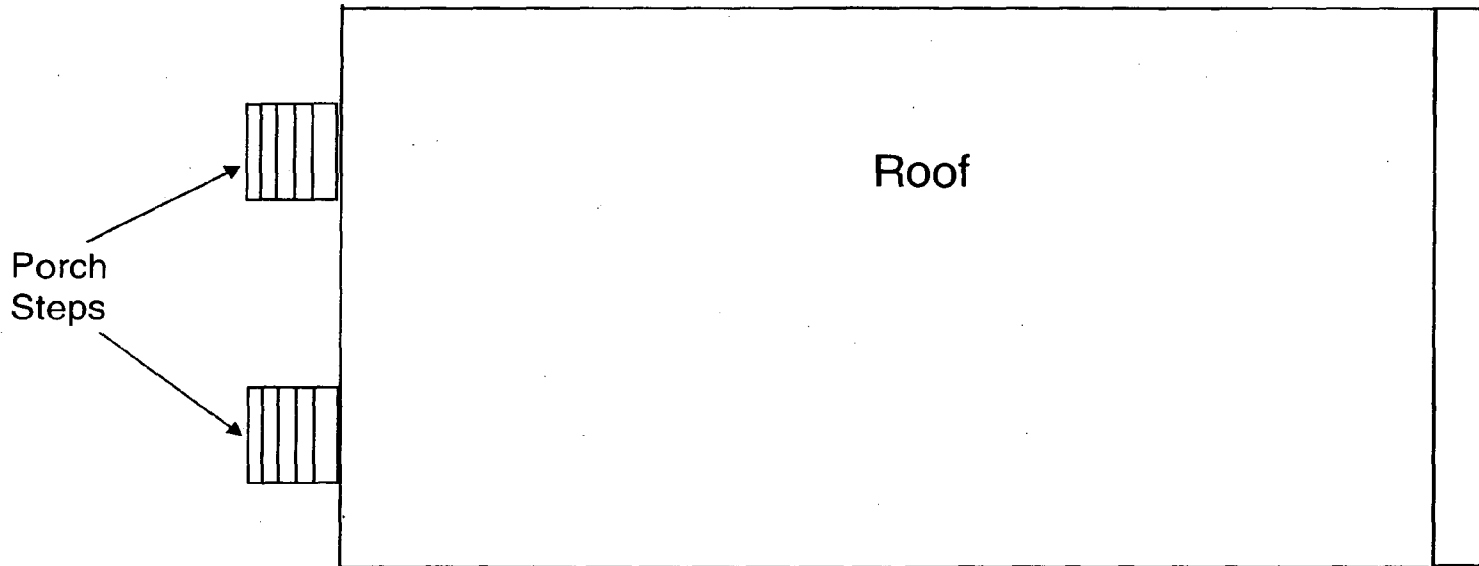
7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

# Rear Façade (Existing)



7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

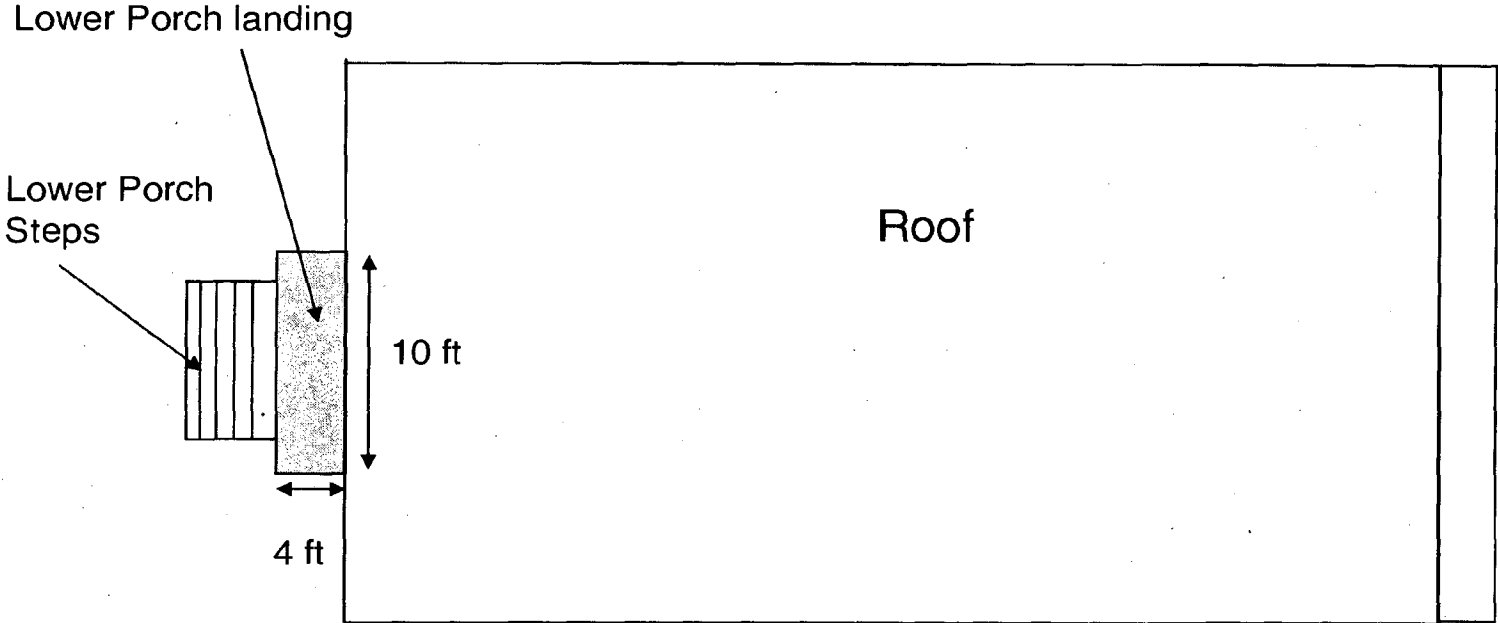
# Top View (Existing)



Top View

7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

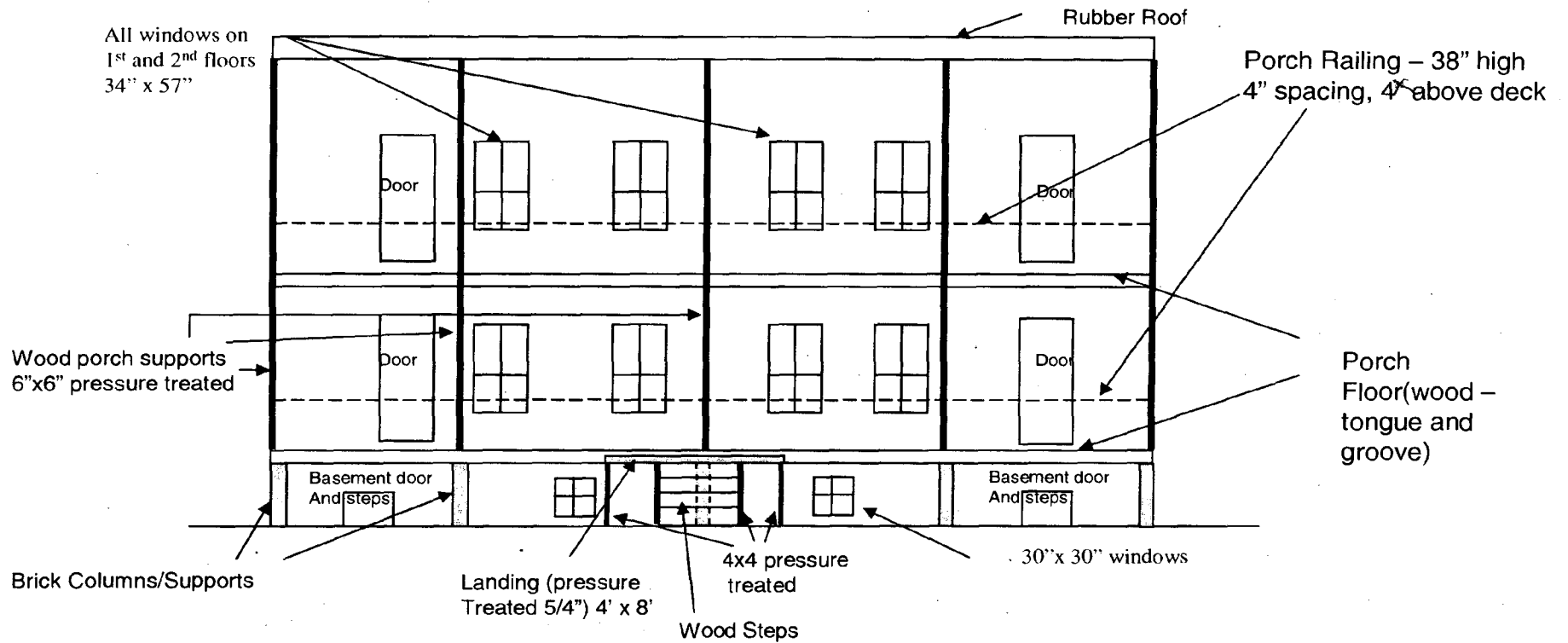
# Top View (After replacement)



7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

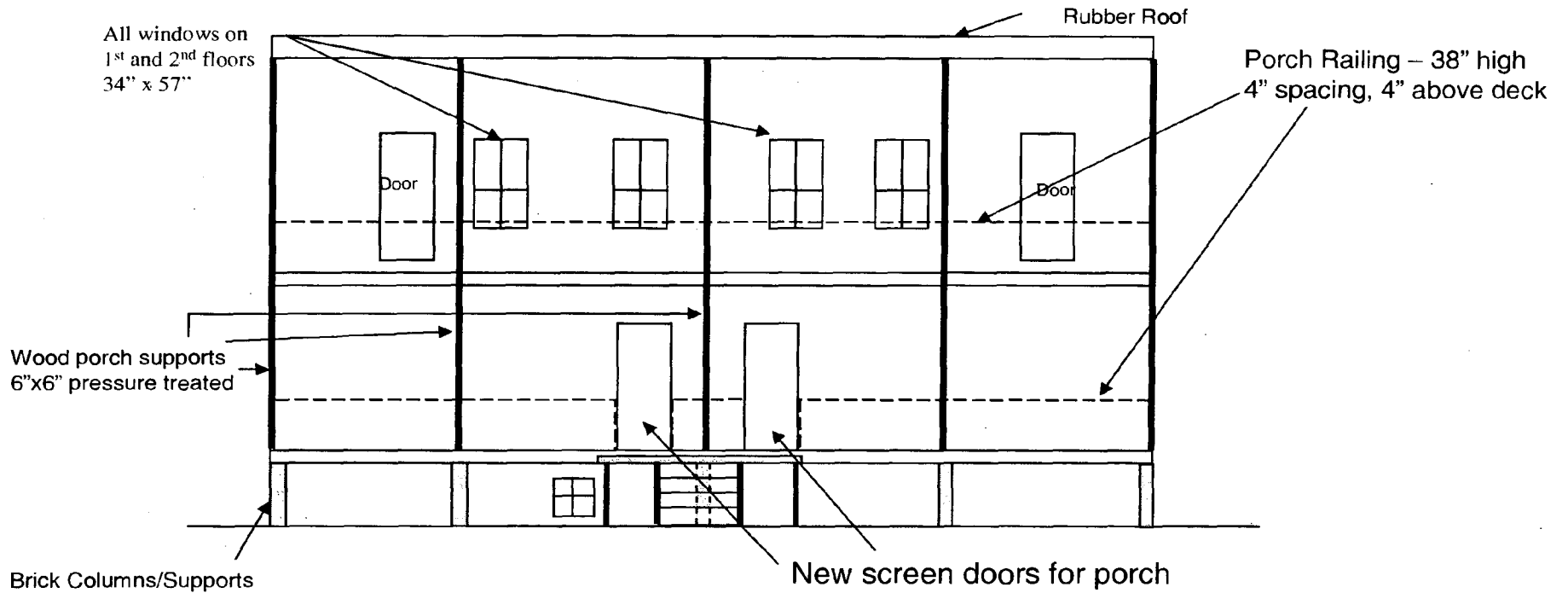


# Rear Façade (After replacement)



7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

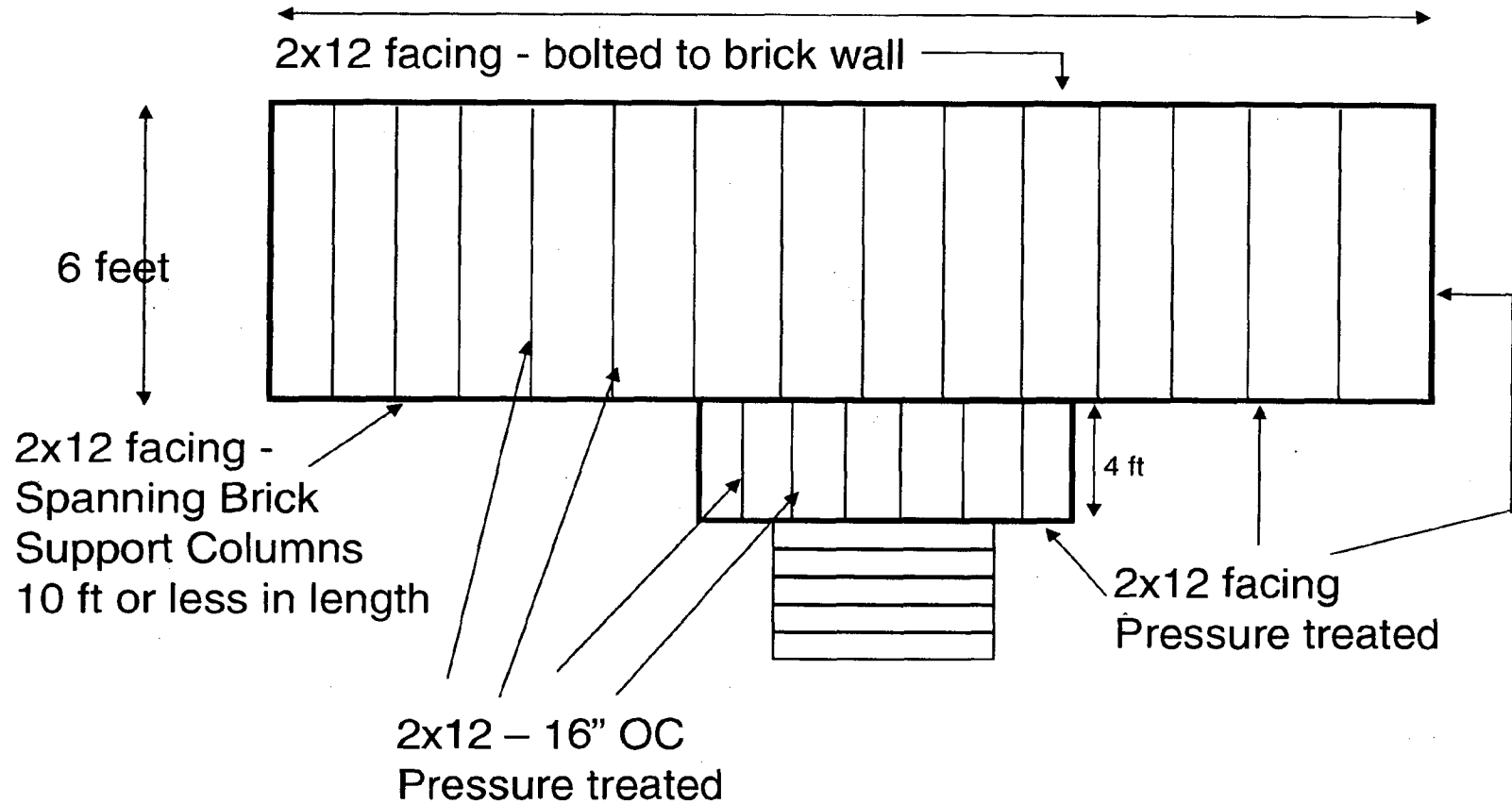
# Rear Façade (After replacement showing screen doors)



7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

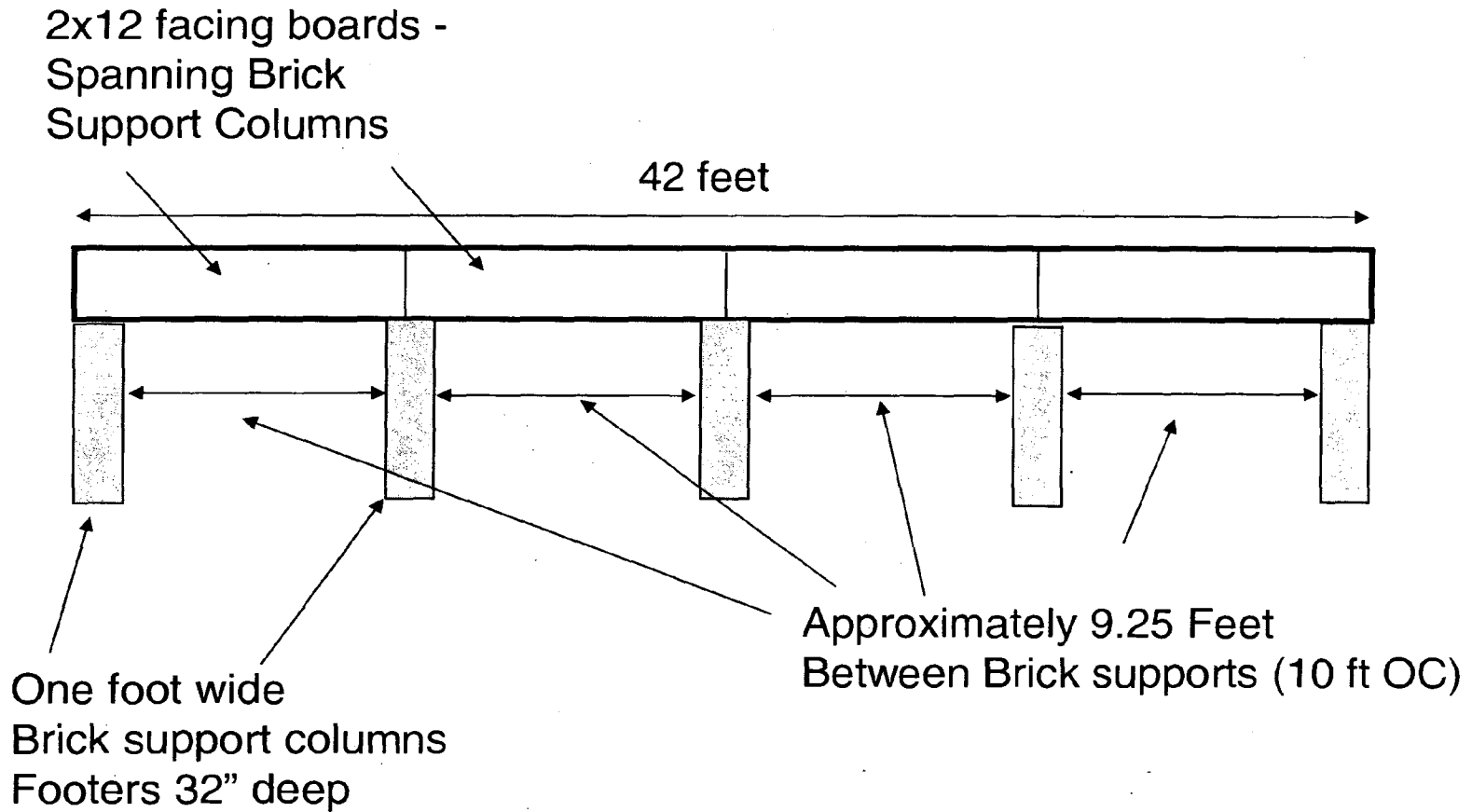
# Porch and Landing – Top View

42 feet



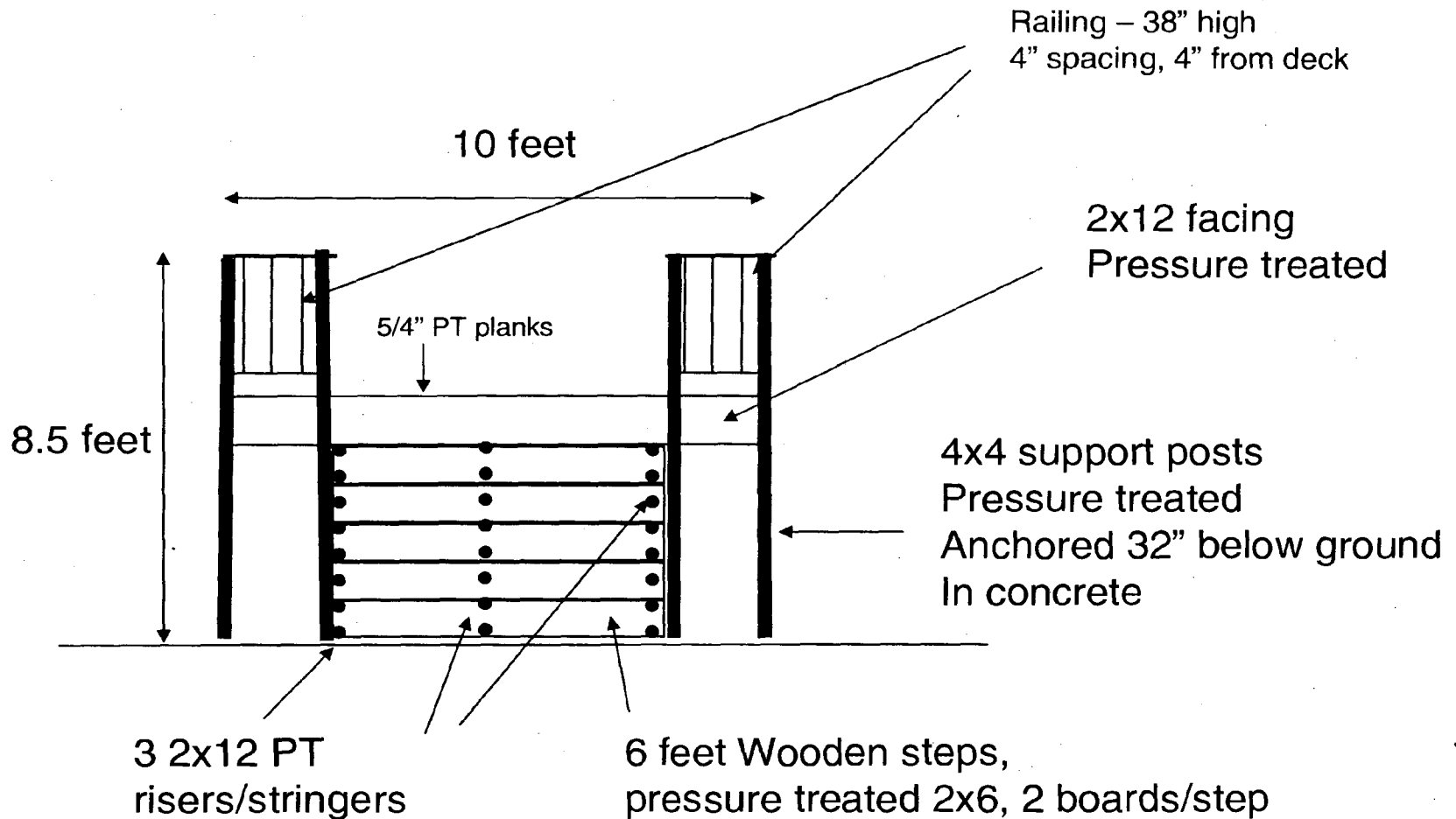
7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

# Rear Porch – Facing view w/o landing



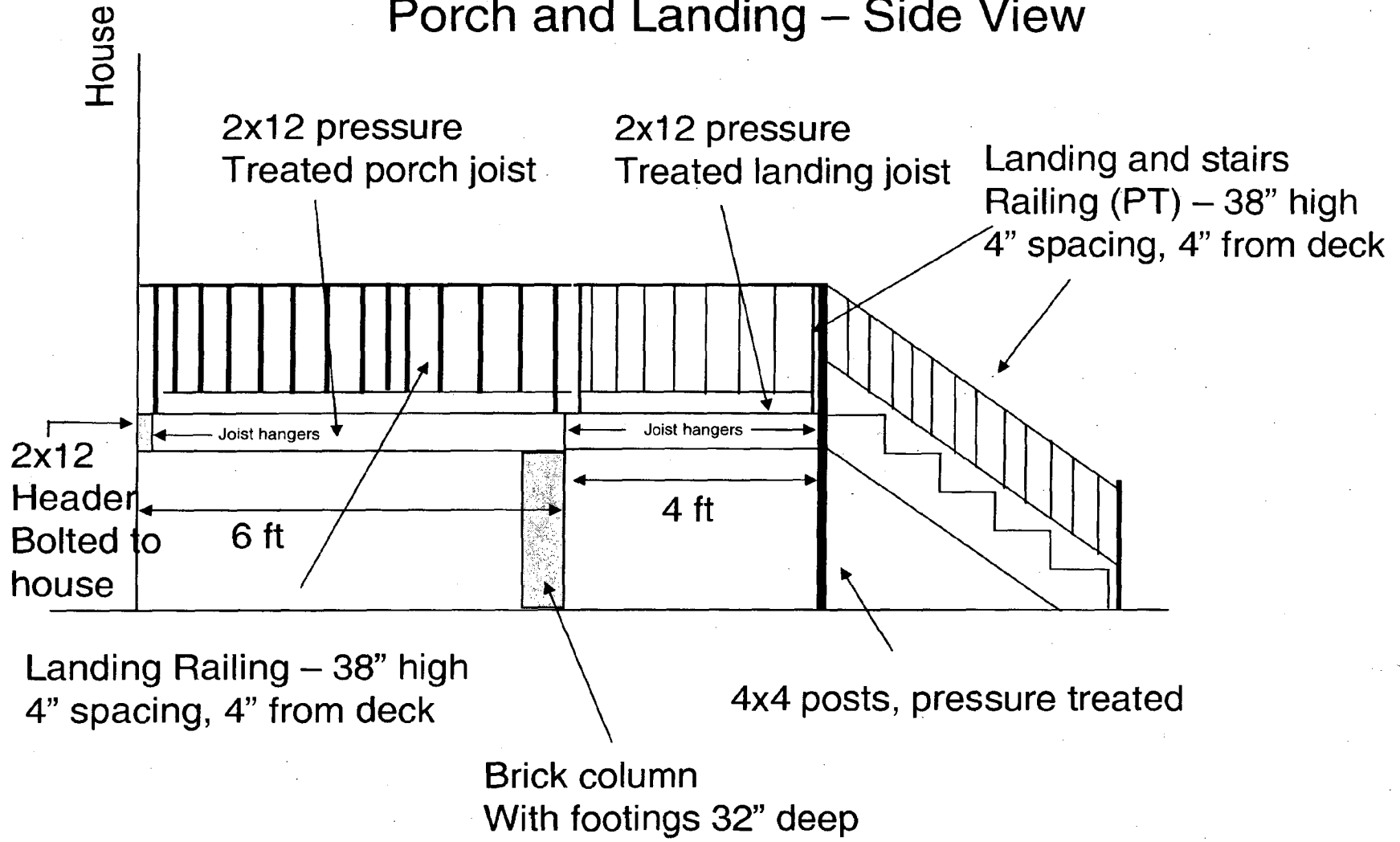
7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

# Landing – view facing house

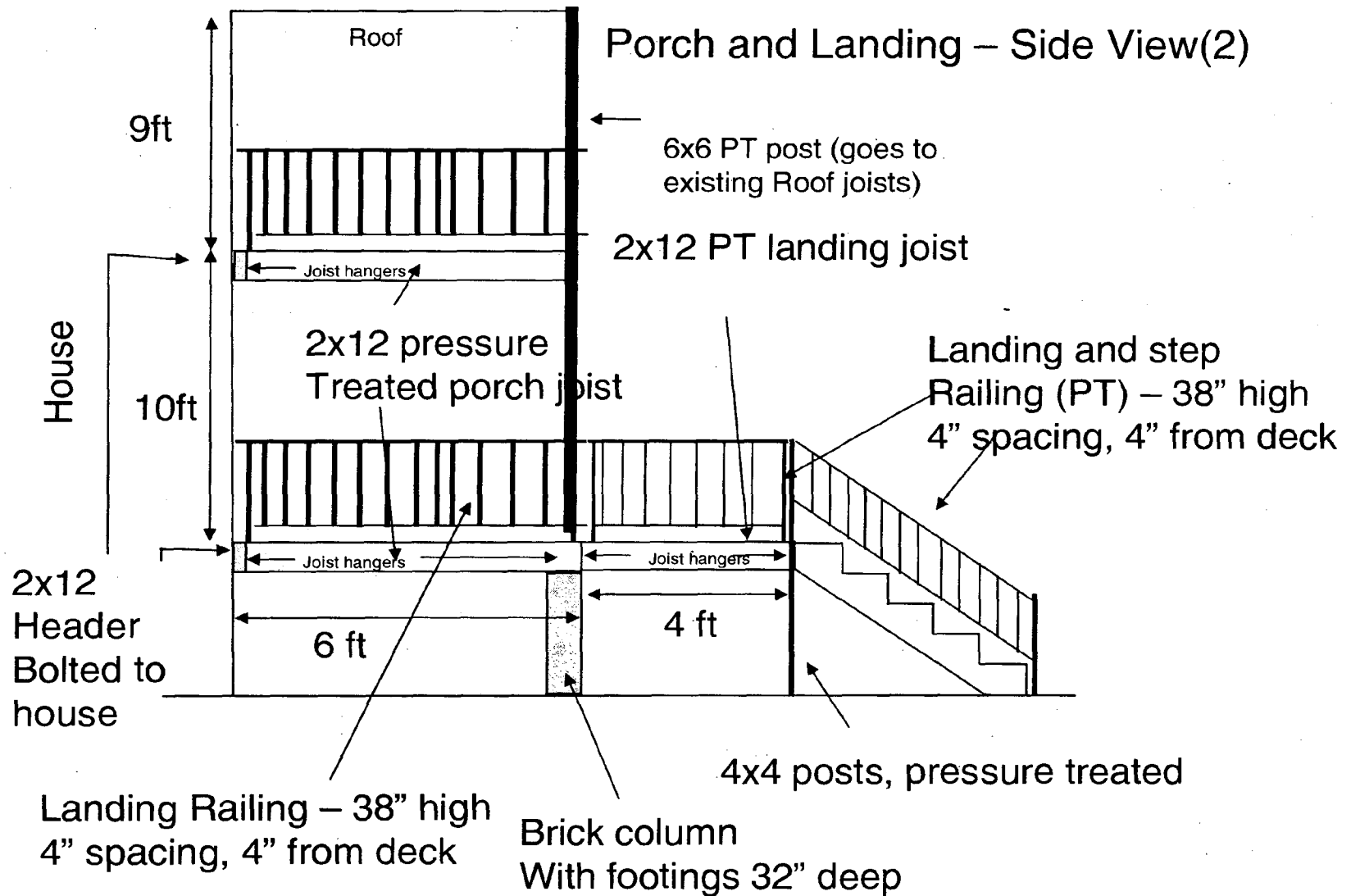


7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

# Porch and Landing – Side View



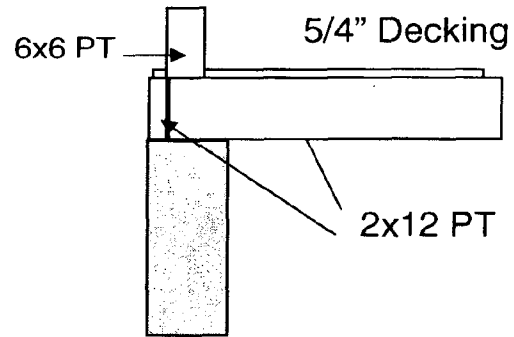
7102 Maple Ave, Takoma Park  
 Application for Permit for Stair Removal/Porch Repair



7102 Maple Ave, Takoma Park  
 Application for Permit for Stair Removal/Porch Repair

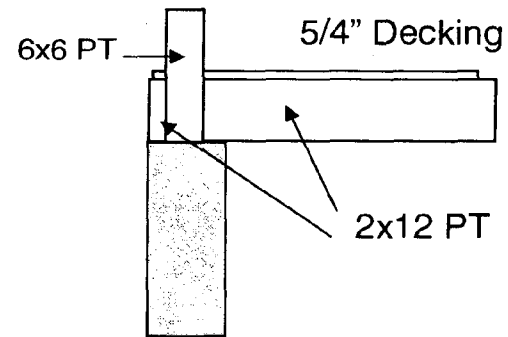
## 1st Floor Support Post Installation

### End Columns



Brick column  
13" x 13"

### Middle Columns



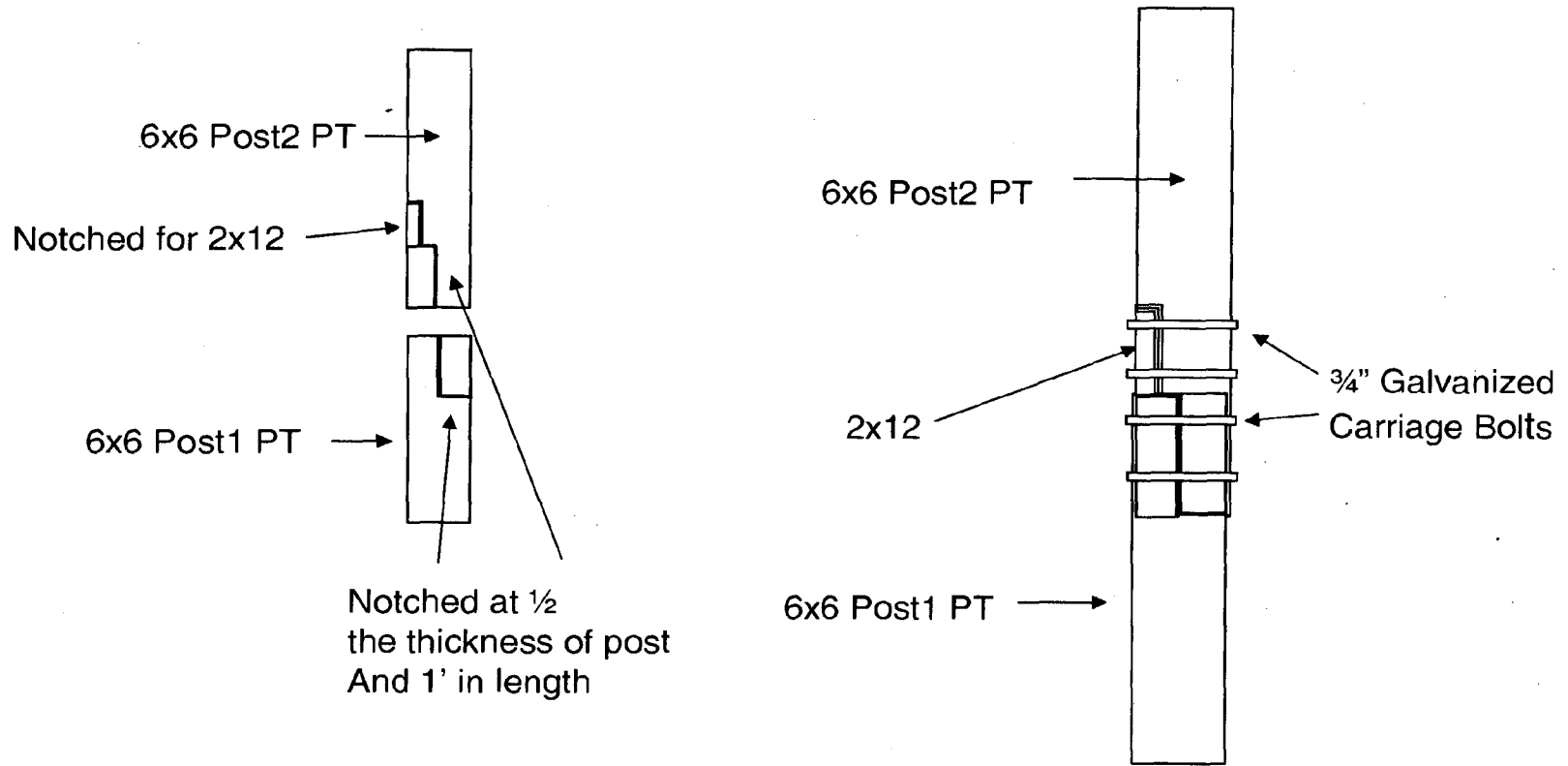
Brick column  
13" x 13"

Note: Joist hangers attach 2x12 to each other and to 6x6 posts

7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair



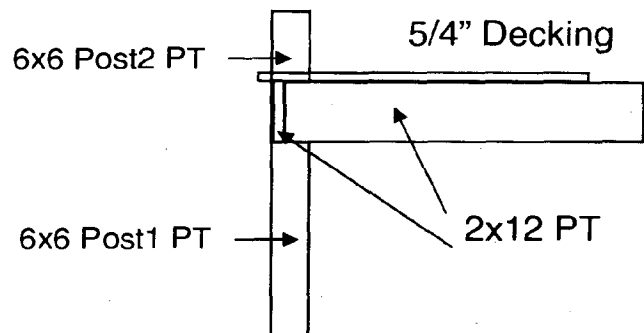
## 2nd Floor Support Post Notching



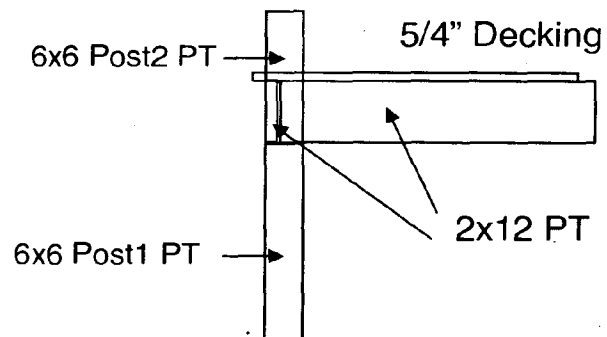
7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

## 2nd Floor Support Post Installation

### End Joints



### Middle Joints

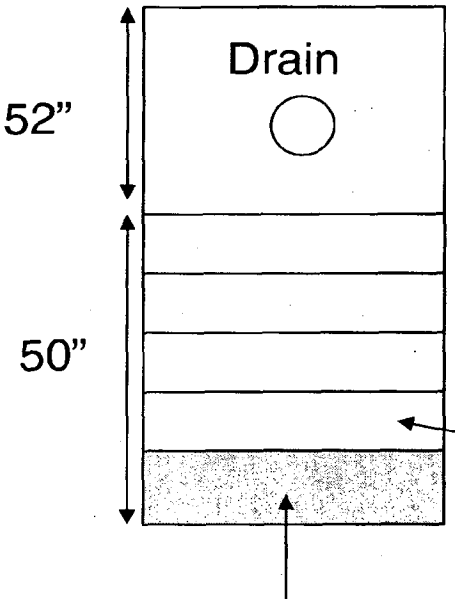


Note: Joist hangers attach 2x12 to each other and to 6x6 posts

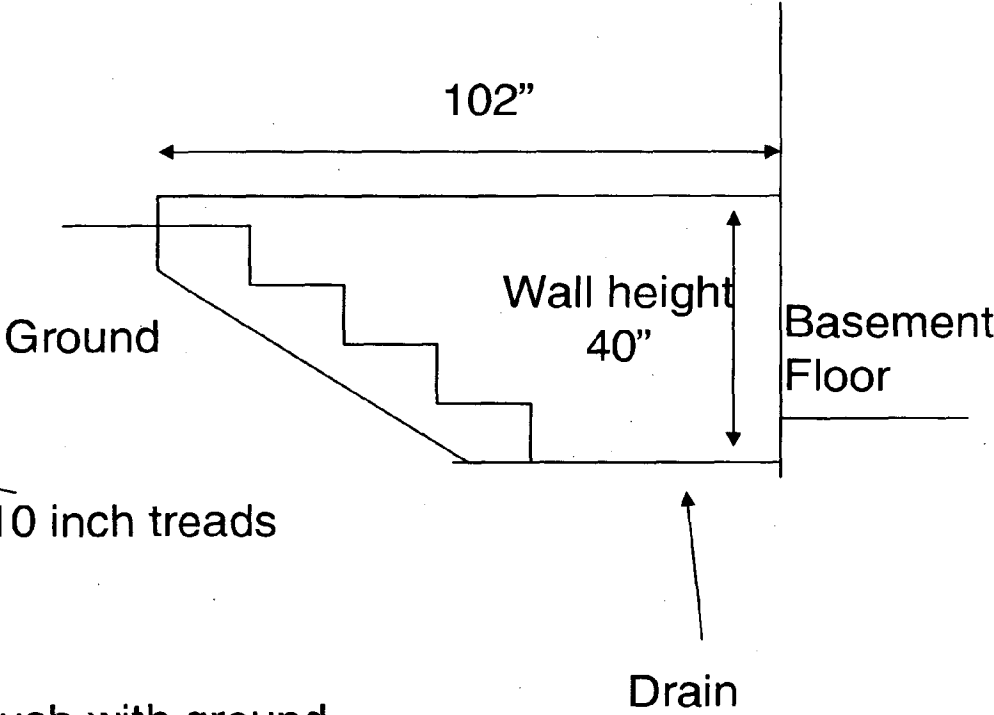
7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair

# Old Basement Steps

Top View



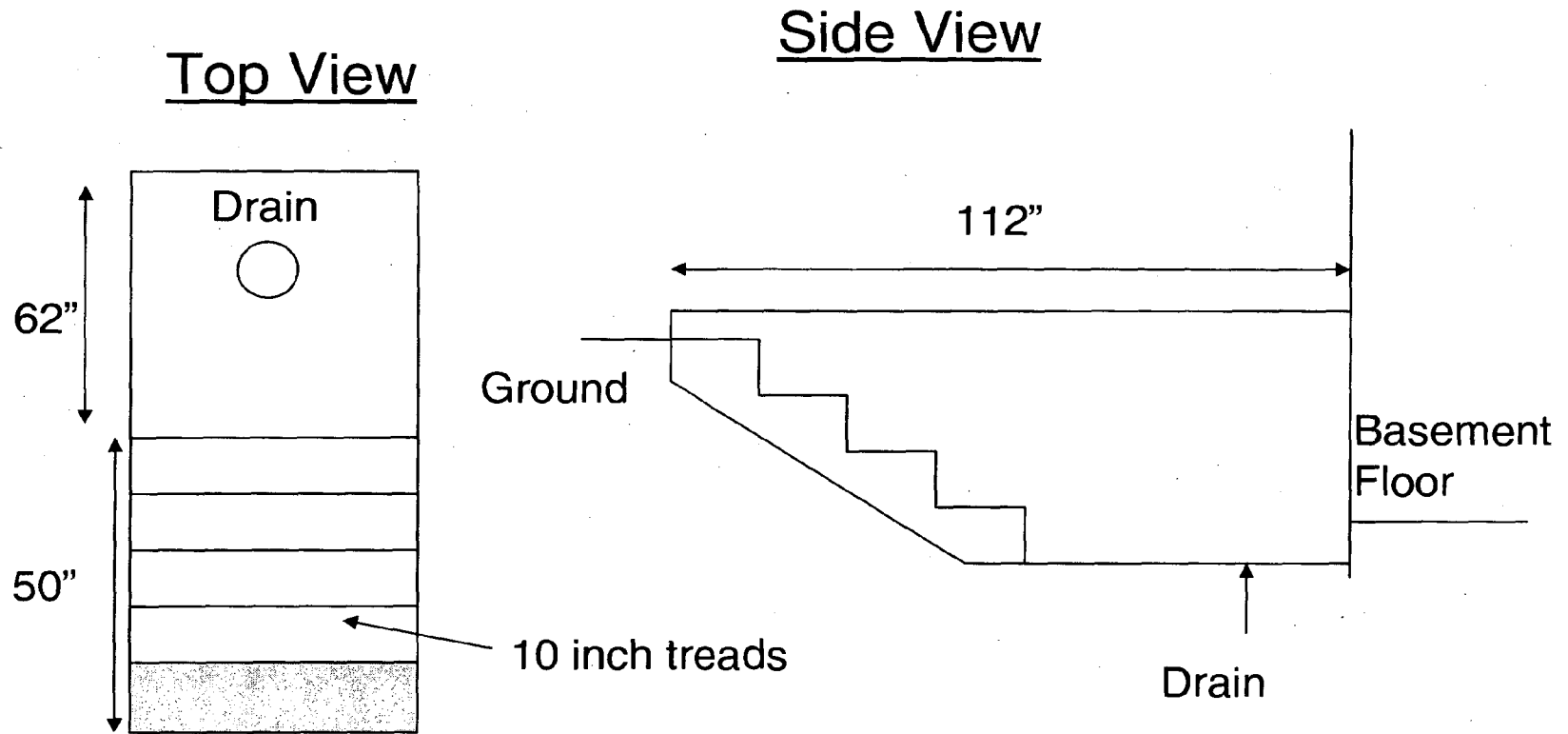
Side View



Top step is almost flush with ground

7102/7104 Maple Ave, Takoma  
Park, Porch Repair

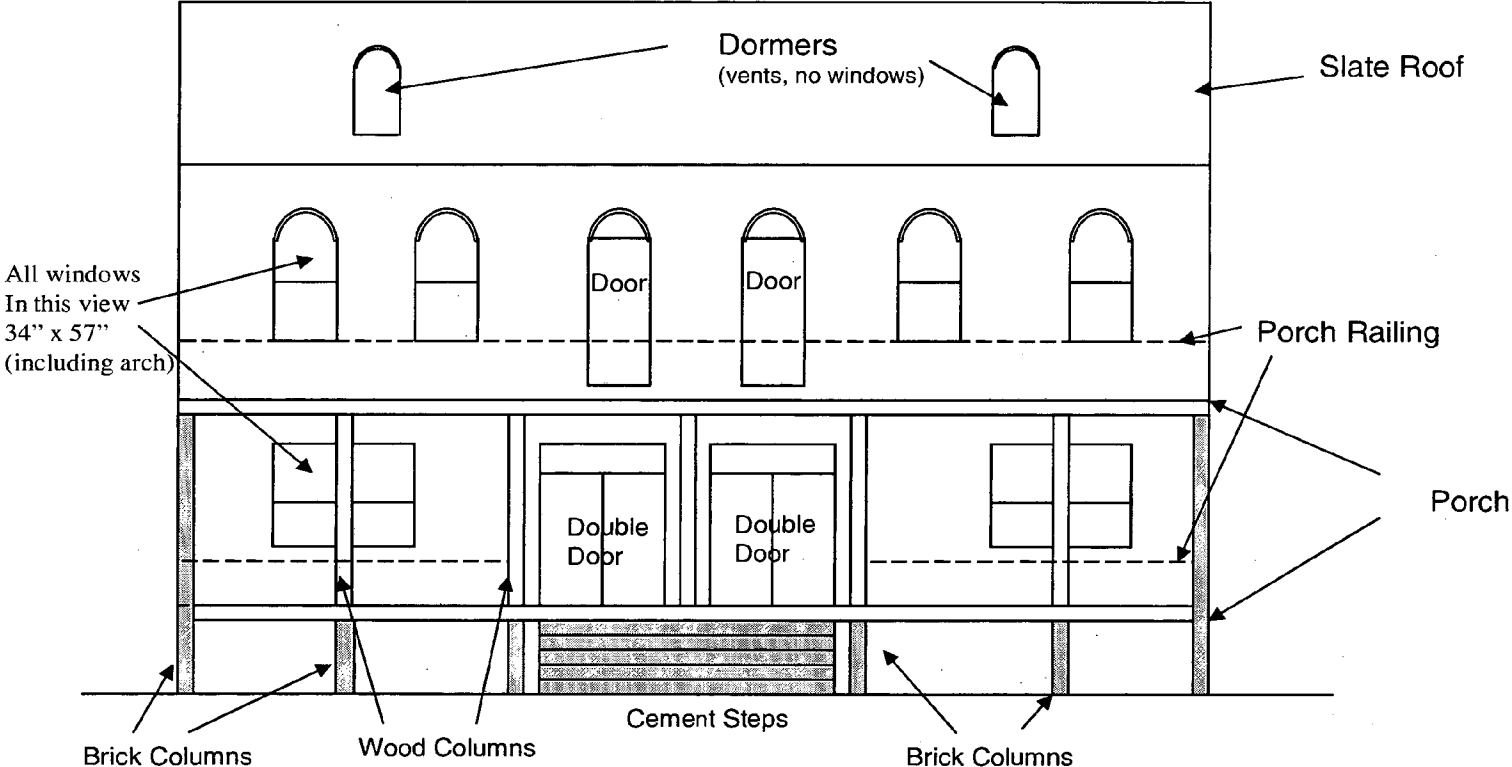
# New Basement Steps



Change is to increase the overall length so that people don't Hit their head on the porch facing board as they descend the steps.

7102/7104 Maple Ave, Takoma  
Park, Porch Repair

# Front Facade



7102 Maple Ave, Takoma Park  
Application for Permit for Stair Removal/Porch Repair



4x4 posts, not structurally sound

Twisted rotting beam

Support tier broken and leaning  
2<sup>nd</sup> tier broken and needs replacing



7102/7104 Maple Ave, Takoma  
Park, Porch Repair

Gap between porch  
And house, porch is  
Mounted in pocket in  
wall



7102/7104 Maple Ave, Takoma  
Park, Porch Repair



## Front Balcony Doors

Attempted repairs,  
original wood style



Not original



7102/7104 Maple Ave, Takoma  
Park, Porch Repair



Front View from Street



7102/7104 Maple Ave, Takoma  
Park, Porch Repair



Back Porch Floor



7102/7104 Maple Ave, Takoma  
Park, Porch Repair

## Porch Beams



Beam breaks  
Away with  
screwdriver



7102/7104 Maple Ave, Takoma  
Park, Porch Repair



**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Addresses may be acquired from "Real Property Data Search" online: <http://www.dat.state.md.us/>

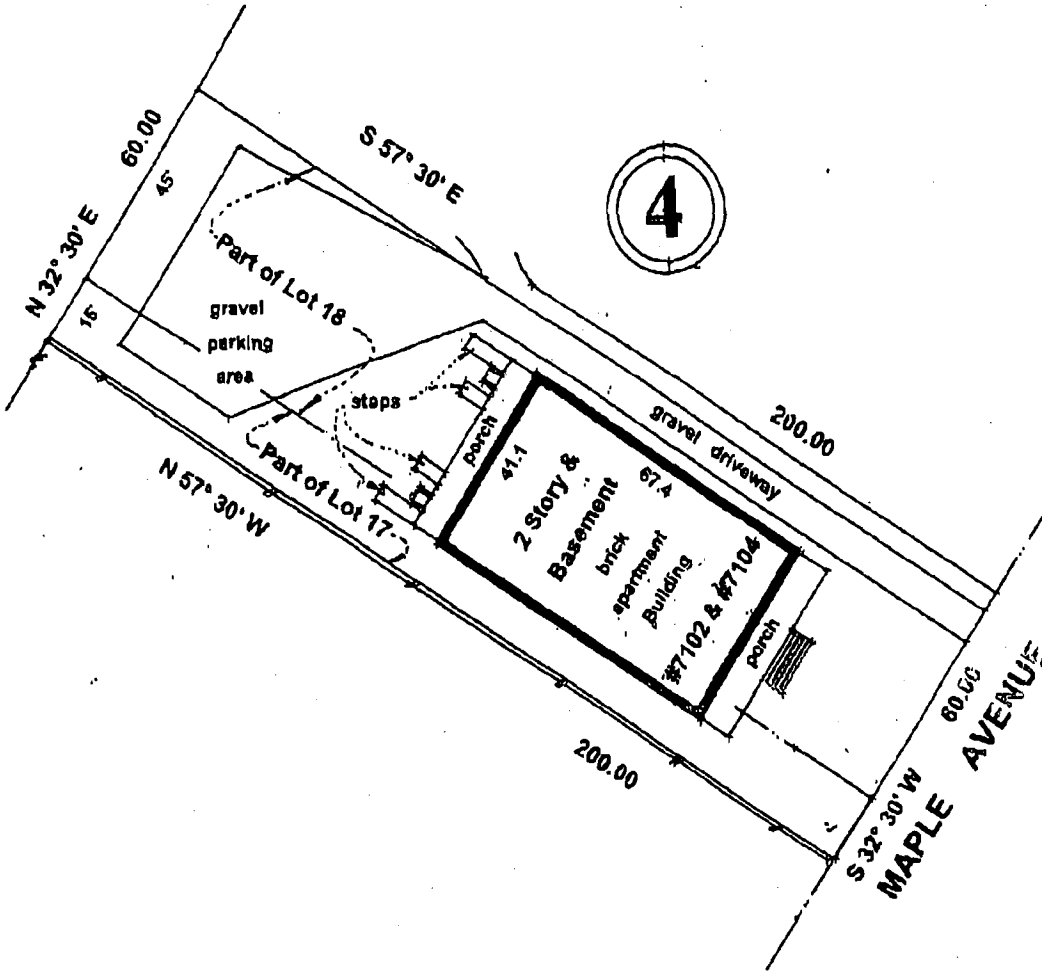
<b>Owner's mailing address</b> KEITH CHAMBERLIN 7227 CENTRAL AVE TAKOMA PARK, MD 20912	<b>Owner's Agent's mailing address</b>
---	--

**Adjacent and confronting Property Owners mailing addresses**

T THOMAS TWOMEY 2268 STARGATE LN CHARLOTTESVILLE, VA 229 11-6322	ELIOT SCHWARTZ + KAREN FISHMAN 7103 CEDAR AVE TAKOMA PARK, MD 20912
DONALD DRYBURGH 7100 MAPLE AVE TAKOMA PARK, MD 20912	EDWARD MCMAHON 7105 CEDAR AVE TAKOMA PARK, MD 20912
DANCE EXCHANGE 7117 MAPLE AVE TAKOMA PARK, MD 20912	TAKOMA BUSINESS CENTER LLC 4 EVERGREEN RD #200 SEVERNA PARK, MD 21146-3802
SANFORD NEWMAN + CHRISTINE OWENS 7101 CEDAR AVE TAKOMA PARK, MD 20912	

**LANDTECH ASSOCIATES, INC.**

10260 OLD COLUMBIA ROAD SUITE J  
 COLUMBIA, MARYLAND 21046-1721  
 PHONE: 410-290-8099 TOLL FREE: 888-290-1920  
 FAX: 410-290-8299 TOLL FREE 888-290-1922



Location Survey of:	LOT: Pt.17, Pt.18	BLOCK: 4
#7102-7104 Maple Ave.	PLAT BK: "A"	PLAT#: 3
B. F. Gilbert's Addition to <b>Takoma Park</b> Montgomery Co., MD	DATE: 2-14-08	SCALE: 1"=30'
	CASE NUMBER: 0813542-MP	
	FILE NUMBER: LT-2080197	



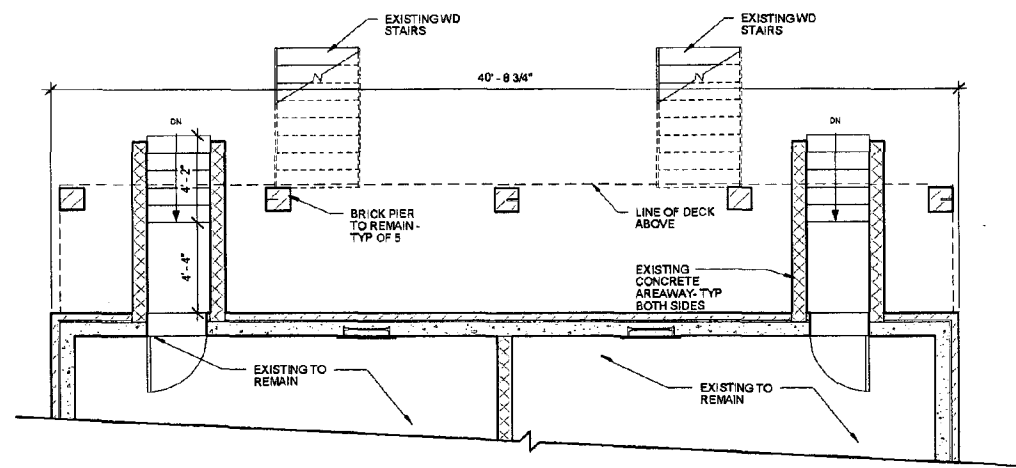
- NOTES:
1. This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
  2. This plat is not to be relied upon for the establishment or location of fences, garages, buildings or other existing or future improvements.
  3. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
  4. Property line survey recommended to determine the exact location of improvements and/or encroachments, if any.
  5. Property subject to any/all rights-of-way, easements, and/or covenants of record and/or imposed by law.
  6. This plat is not to be used for the issuance of permits.
  7. No title report furnished.

CERTIFICATION: I hereby certify that the position of the significant visible improvements on the above described property has been carefully established in compliance with the "Minimum Standards of Practice" for the State of Maryland.

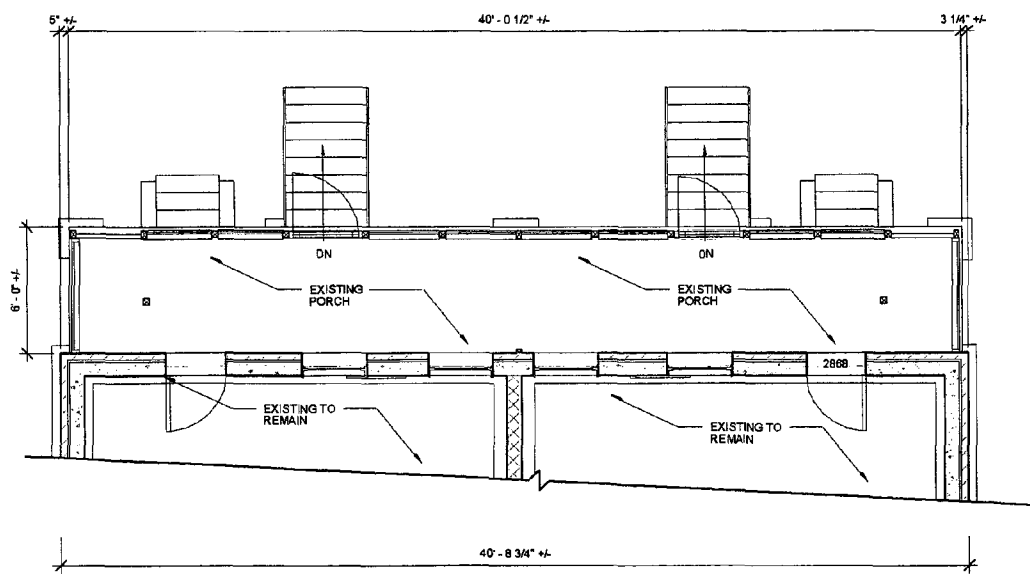








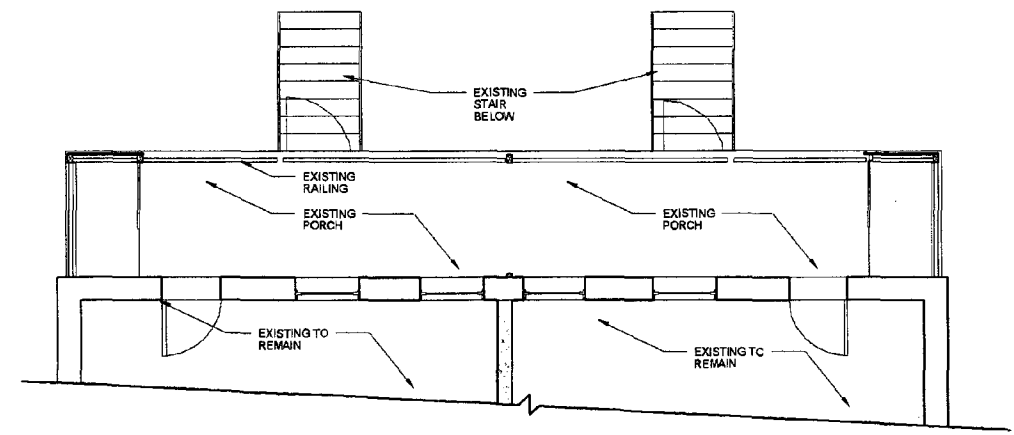
**2 EXISTING BASEMENT PLAN**  
 0.3 1/4" = 1'-0"



**1 EXISTING FIRST FLOOR PLAN**  
 0.3 1/4" = 1'-0"

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 Montgomery County  
 Historic Preservation Commission

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 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional Architect under the laws of the State of Maryland.  
 License No. \_\_\_\_\_  
 Expiration Date: \_\_\_\_\_



**3 EXISTING SECOND FLOOR PLAN**  
 0.3 1/4" = 1'-0"

NOTE:  
 THE ARCHITECT DOES NOT REPRESENT NOR WARRANT THE ABSOLUTE ACCURACY OF THE DELINEATION OF EXISTING CONDITIONS AS SHOWN ON THESE DRAWINGS AS ACTUAL FIELD CONDITIONS MAY VARY; CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF THE WORK AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES UPON SUCH DISCOVERY.

**MANGAN GROUP**  
 ARCHITECTS  
 7034 CARROLL AVE  
 SUITE 3  
 TAKOMA PARK, MD 20912  
 P: 301.589.7900  
 F: 301.589.7911  
 WWW.MANGANGROUP.COM

**BUILDER:**  
**OLYMPIC CONSTRUCTION CO**  
 8907 CONNECTICUT AVE  
 CHEY CHASE, MD 20815

**PROJECT:**  
**REAR PORCH  
 RECONSTRUCTION/  
 RENOVATION FOR  
 7102/7104 MAPLE AVE**  
 7102/7104 MAPLE AVE  
 TAKOMA PARK, MD 20912

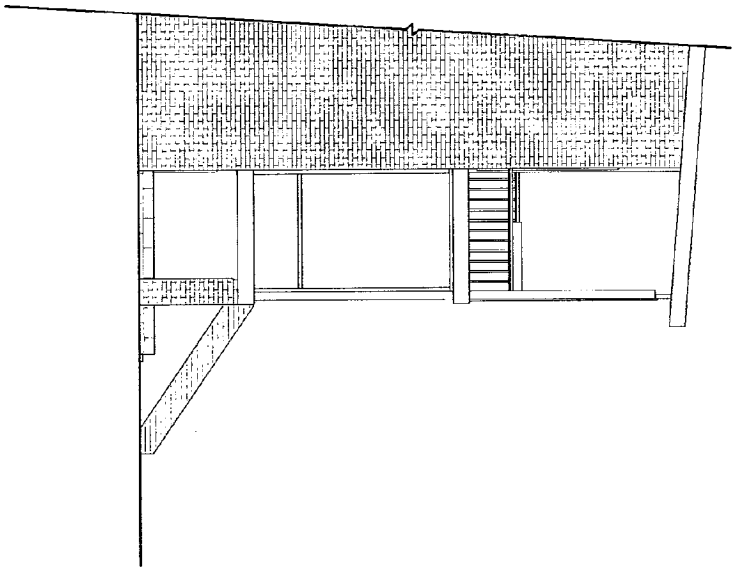
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**PLOT DATE:** 8/2/2008 2:25:28 PM  
 Revision Schedule

**DRAWING:**  
**EX. PLANS**

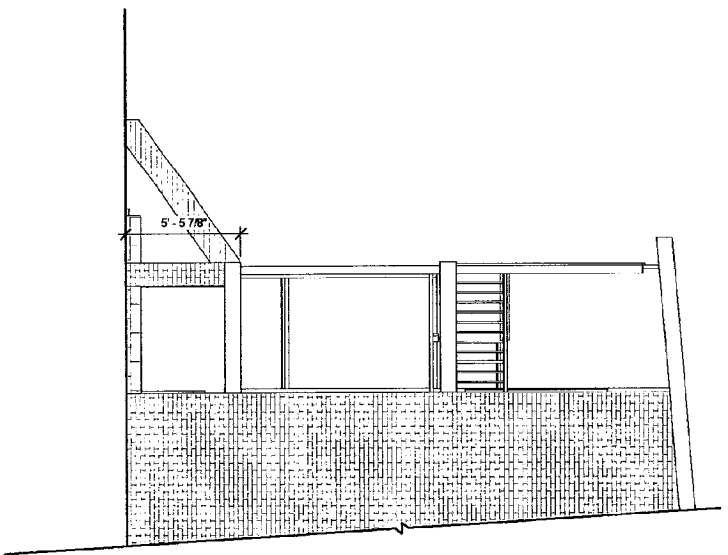
Project #: 08079  
 Drawn by: XXX Crk by: YYY  
**DWG:**  
**0.3**

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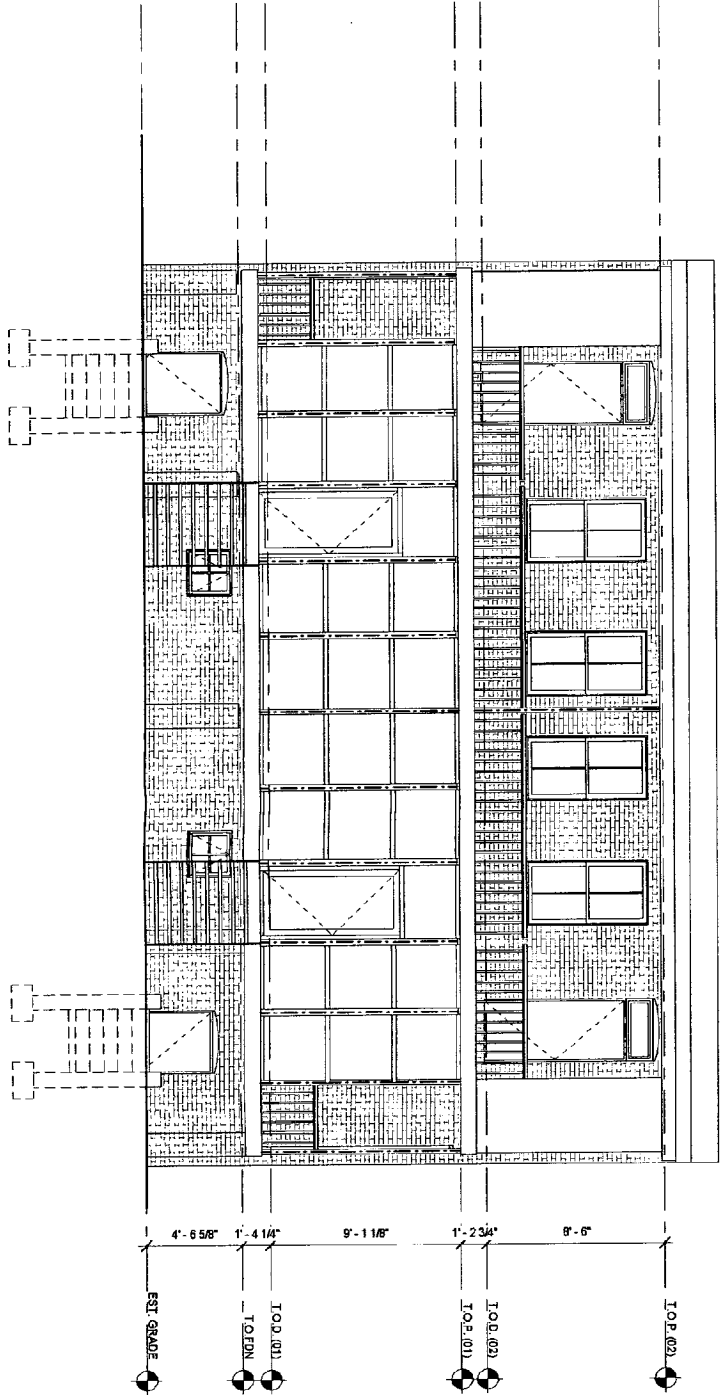
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3  
 0.3b  
 1/4" = 1'-0"  
 EXISTING RIGHT ELEVATION -  
 PARTIAL



3  
 0.3b  
 1/4" = 1'-0"  
 EXISTING LEFT ELEVATION -  
 PARTIAL



3  
 0.3b  
 1/4" = 1'-0"  
 EXISTING REAR ELEVATION

4'-6 5/8"    1'-4 1/4"    9'-1 1/8"    1'-2 3/4"    8'-6"

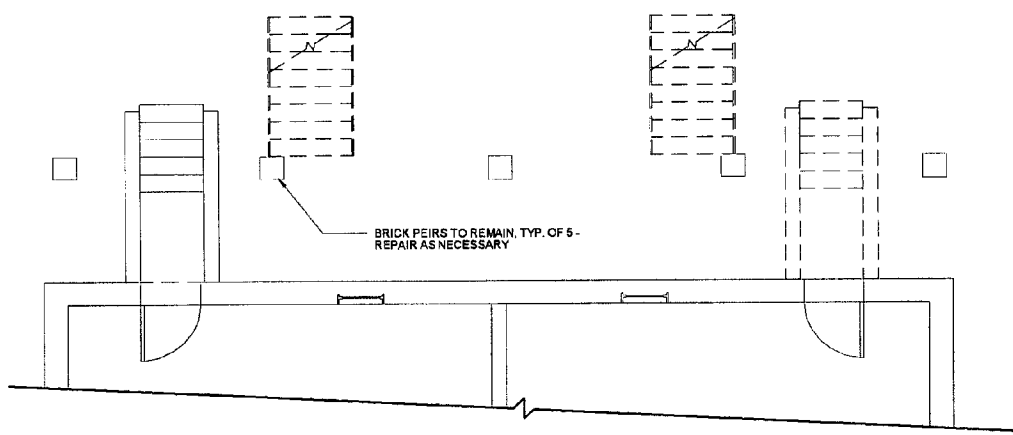
EST GRADE    T.O.F. (01)    T.O.F. (02)    T.O.F. (01)    T.O.F. (02)

**PROFESSIONAL CERTIFICATION**  
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 Expiration Date: \_\_\_\_\_

DRAWING: <b>EX. ELEVATIONS</b>	PROJECT: <b>REAR PORCH RECONSTRUCTION/ RENOVATION FOR 7102/7104 MAPLE AVE</b> 7102/7104 MAPLE AVE TAKOMA PARK, MD 20912	BUILDER: <b>OLYMPIC CONSTRUCTION CO</b> 8907 CONNECTICUT AVE CHEVY CHASE, MD 20815	 <b>MANGAN GROUP ARCHITECTS</b>
DWG: <b>0.3b</b>	PROJECT # 08079 DESIGN TEAM: KCB, VICKSIEFER		

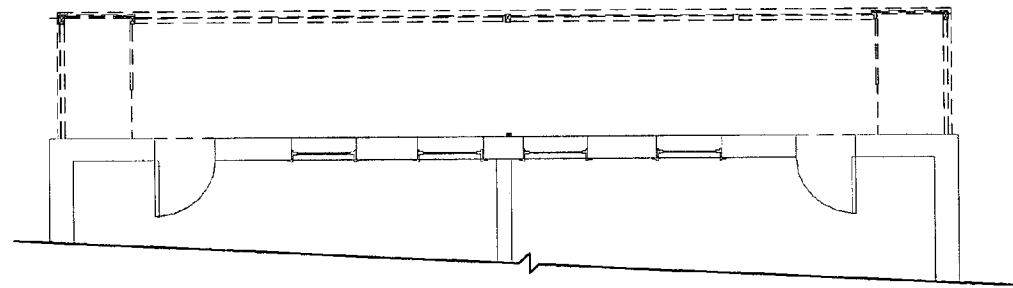


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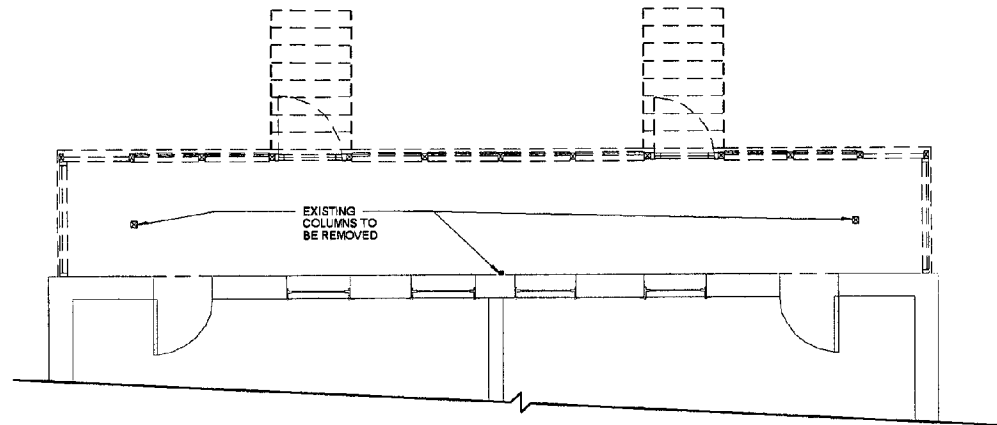


1 BASEMENT DEMO PLAN  
 04 1/4" = 1'-0"

NOTE:  
 BRACE ROOF STRUCTURE



3 SECOND FLOOR DEMO PLAN  
 04 1/4" = 1'-0"



2 FIRST FLOOR DEMO PLAN  
 04 1/4" = 1'-0"

- NOTE:
- 1) DASHED LINES INDICATE EXTENT OF DEMOLITION
  - 2) NO INTERIOR WORK
  - 3) BRICK PIERS TO REMAIN. REPAIR AS NECESSARY.
  - 4) BRACE ROOF STRUCTURE AT REAR PORCH AS NECESSARY.
  - 5) REMOVE AND DISPOSE OF ALL REAR PORCH RELATED STRUCTURES, INCLUDING BUT NOT LIMITED TO, STAIRS, CONCRETE PADS, FLOOR DECKS BEAMS, SCREEN PANELS, SCREEN DOORS, PARTITIONS, AND RAILINGS.
  - 6) CLEAR DEBRIS AND CLEAN RELEVANT SURFACES TO BEST POSSIBLE DEGREE

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- NOTE:
- UNLESS OTHERWISE INDICATED, DEMOLISHED MATERIALS BECOME CONTRACTOR'S PROPERTY TO REMOVE FROM PROJECT SITE.
  - ITEMS INDICATED TO BE REMOVED AND SALVAGED REMAIN OWNER'S PROPERTY. REMOVE, CLEAN AND DELIVER TO OWNER'S DESIGNATED STORAGE AREA.
  - COMPLY WITH EPA REGULATIONS AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
  - IN CASES IN WHICH OWNER WILL OCCUPY BUILDING DURING CONSTRUCTION, CONTRACTOR WILL CONDUCT DEMOLITION WITHOUT DISRUPTING OWNER'S USE OF THE BUILDING.
  - MAINTAIN AND PROTECT EXISTING UTILITIES TO REMAIN IN SERVICE BEFORE PROCEEDING WITH DEMOLITIONS, PROVIDING BYPASS CONNECTIONS TO OTHER PARTS OF THE BUILDING.
  - LOCATE, IDENTIFY, SHUT OFF, DISCONNECT AND CAP OFF UTILITY SERVICES TO BE DEMOLISHED.
  - EMPLOY A CERTIFIED, LICENSED EXTERMINATOR TO TREAT BUILDING AND TO CONTROL RODENTS AND VERMIN UPON OWNER'S APPROVAL.
  - CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDING AND SITE IMPROVEMENTS.
  - PROVIDE AND MAINTAIN SHORING, BRACING OR STRUCTURAL SUPPORT TO PRESERVE BUILDING STABILITY AND PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE.
  - PROTECT BUILT STRUCTURE OR INTERIOR FROM WEATHER AND WATER LEAKAGE AND DAMAGE.
  - PROTECT REMAINING WALLS, CEILING, FLOORS AND EXPOSED FINISHES. ERECT AND MAINTAIN DUST PROOF PARTITIONS, COVER AND PROTECT REMAINING FURNITURE, FURNISHINGS AND EQUIPMENT.
  - NEATLY CUT OPENINGS AND HOLES PLUMB, SQUARE AND TRUE TO DIMENSIONS REQUIRED. USE CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION TO REMAIN OR ADJOINING CONSTRUCTION.
  - PROMPTLY PATCH AND REPAIR HOLES AND DAMAGED SURFACES OF BUILDING CAUSED BY DEMOLITION. RESTORE EXPOSED FINISHES OF PATCHED AREAS AND EXTEND FINISH RESTORATION INTO REMAINING ADJOINING CONSTRUCTION.
  - PROMPTLY REMOVE DEMOLISHED MATERIALS FROM OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM.

**MANGAN GROUP**  
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 WWW.MANGANGROUP.COM

**OLYMPIC CONSTRUCTION CO**  
 BUILDER  
 8807 CONNECTICUT AVE  
 CHEVY CHASE, MD 20815

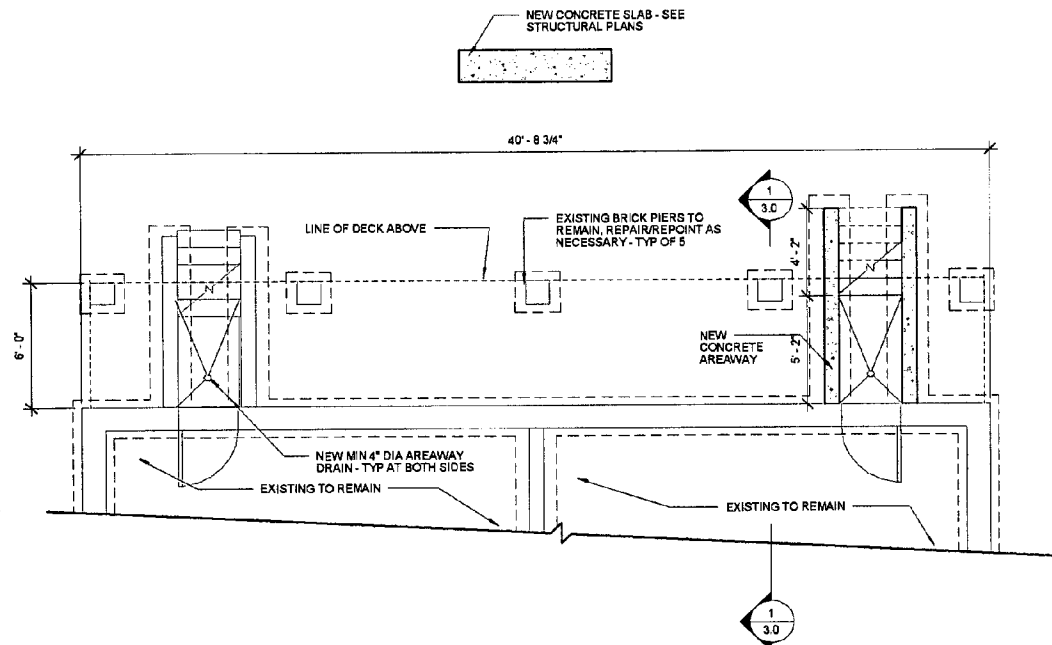
**REAR PORCH  
 RECONSTRUCTION/  
 RENOVATION FOR  
 7102/7104 MAPLE AVE**  
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 TAKOMA PARK, MD 20912

ISSUE: PERMIT  
 DATE: 9/8/2008 2:25:31 PM  
 Revision Schedule

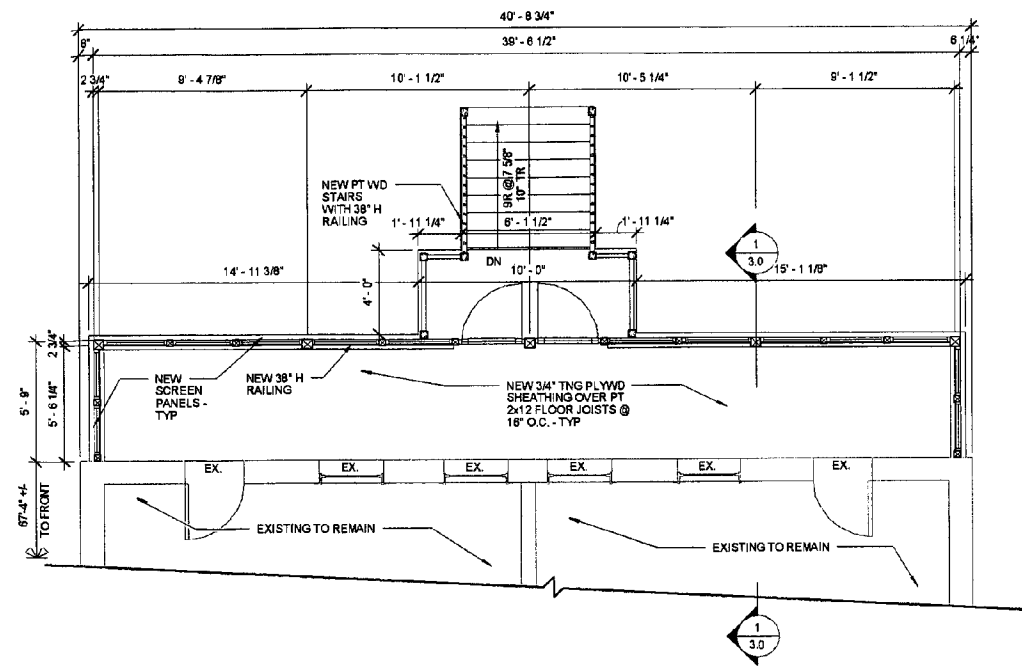
DRAWING: DEMO PLAN

Project #: 0807D  
 Drawn by: XXXX Ck'd by: YYY  
 DWG: 0.4

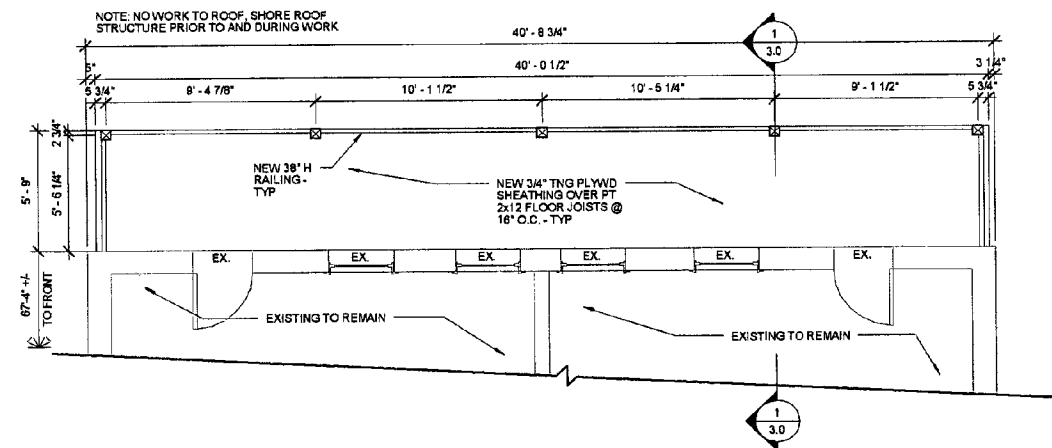
P:\drawing\connecticut\mangan\7102\_7104 MAPLE AVE\7104 MAPLE AVE DEMO PLAN.dwg 08/08/08



1 FOUNDATION PLAN  
1/4" = 1'-0"



2 FIRST FLOOR PLAN  
1/4" = 1'-0"



3 SECOND FLOOR PLAN  
1/4" = 1'-0"



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 F: 301.389.7911  
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**OLYMPIC CONSTRUCTION CO**  
 8807 CONNECTICUT AVE  
 CHEVY CHASE, MD 20815

**PROJECT:** REAR PORCH  
 RECONSTRUCTION/  
 RENOVATION FOR  
 7102/7104 MAPLE AVE  
 7102/7104 MAPLE AVE  
 TAKOMA PARK, MD 20912

**ISSUE:** PERMIT  
**DATE:** 8/8/2008 2:25:32 PM  
 Rev: none Schedule

**DRAWING:**  
**FLOOR PLANS**

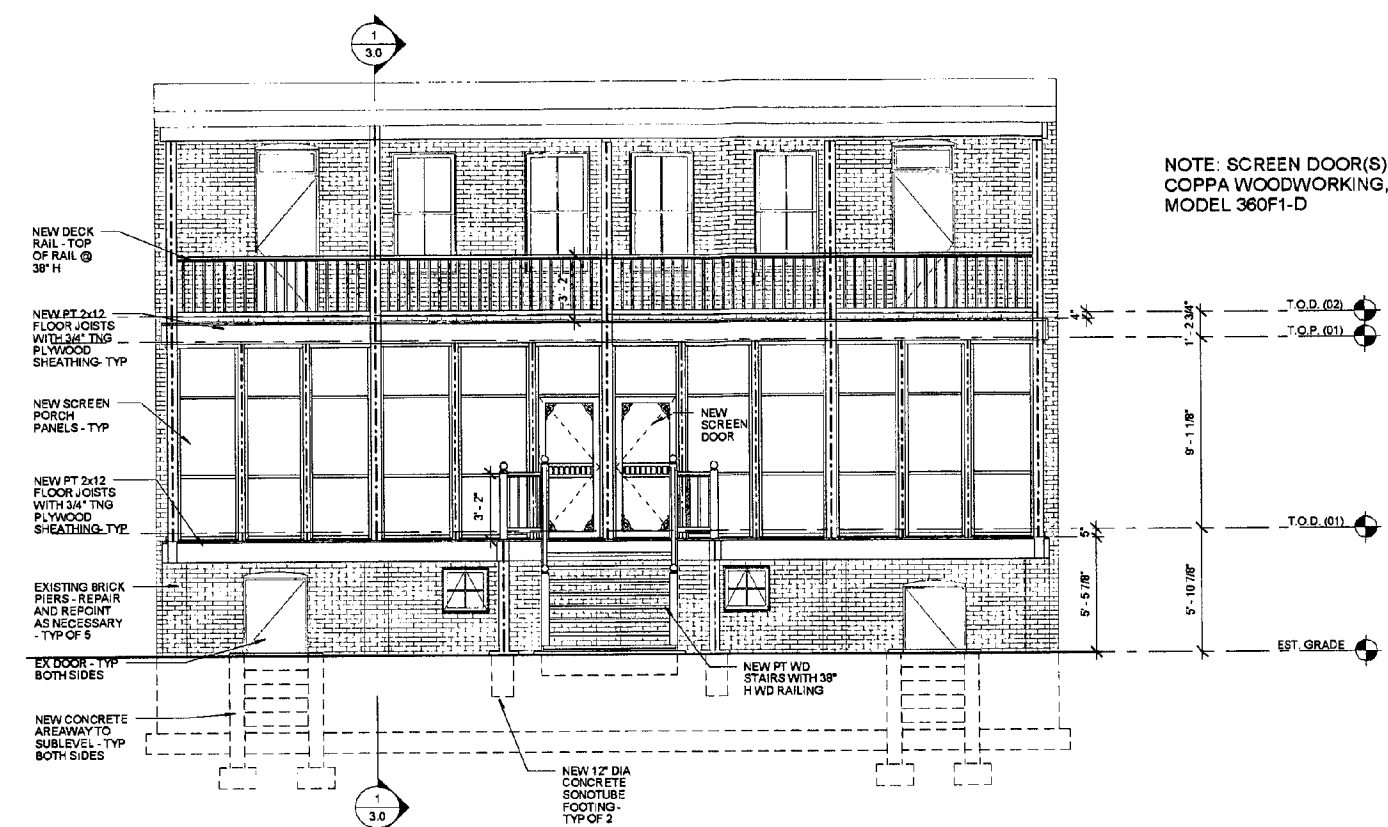
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 Drawn by: XXX Ck'd by: YYY

DWG:  
**1.0**

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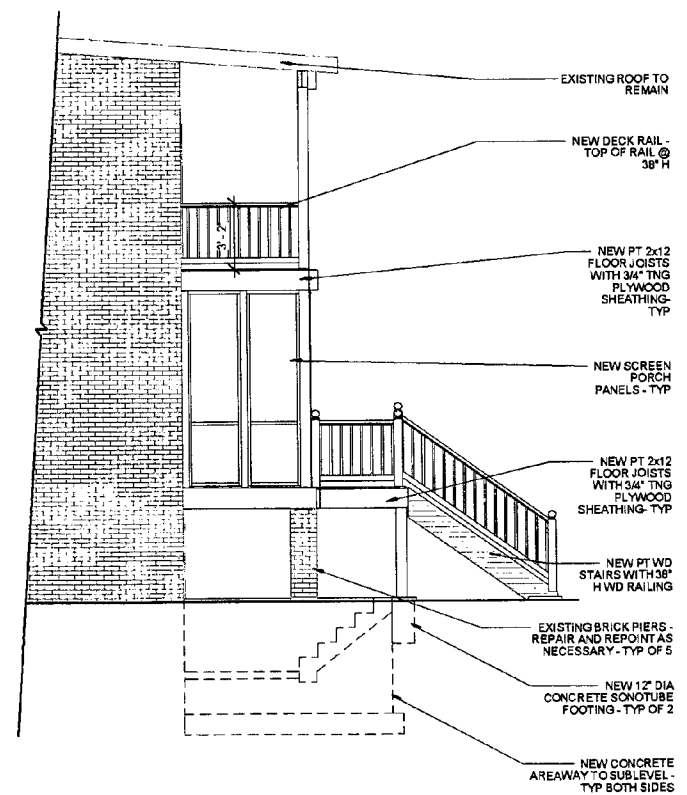
APPROVED  
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 Historic Preservation Commission

NOTE: SCREEN DOOR(S) AS PER  
 COPPA WOODWORKING, INC.,  
 MODEL 360F1-D

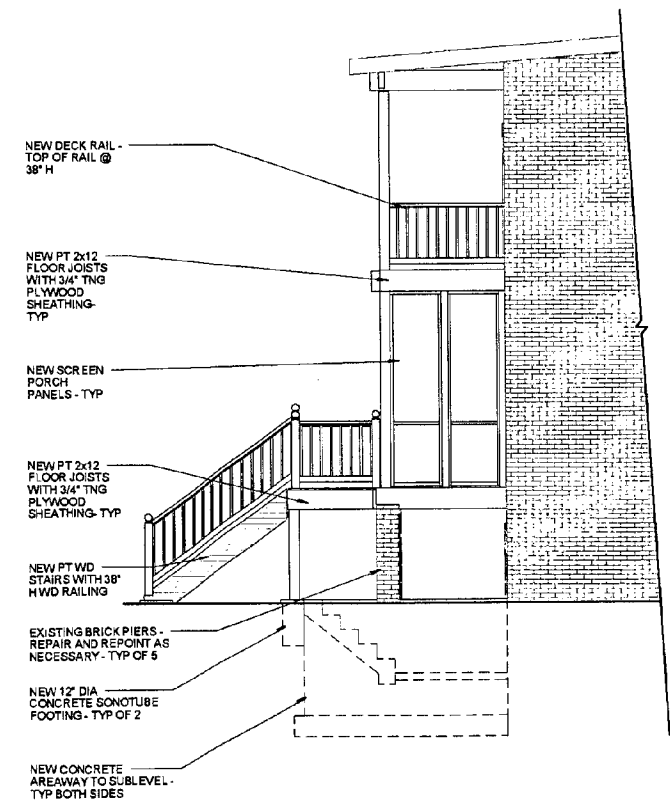


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**REAR ELEVATION**  
 1/4" = 1'-0"



**RIGHT ELEVATION**  
 1/4" = 1'-0"



**LEFT ELEVATION**  
 1/4" = 1'-0"

**MANGAN GROUP**  
 ARCHITECTS  
 7034 CARROLL AVE  
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 TAKOMA PARK, MD 20912  
 P: 301.589.7900  
 F: 301.589.7911  
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**BUILDER:**  
**OLYMPIC CONSTRUCTION CO**  
 8807 CONNECTICUT AVE  
 CHEVY CHASE, MD 20815

**PROJECT:**  
**REAR PORCH  
 RECONSTRUCTION/  
 RENOVATION FOR  
 7102/7104 MAPLE AVE**  
 TAKOMA PARK, MD 20912

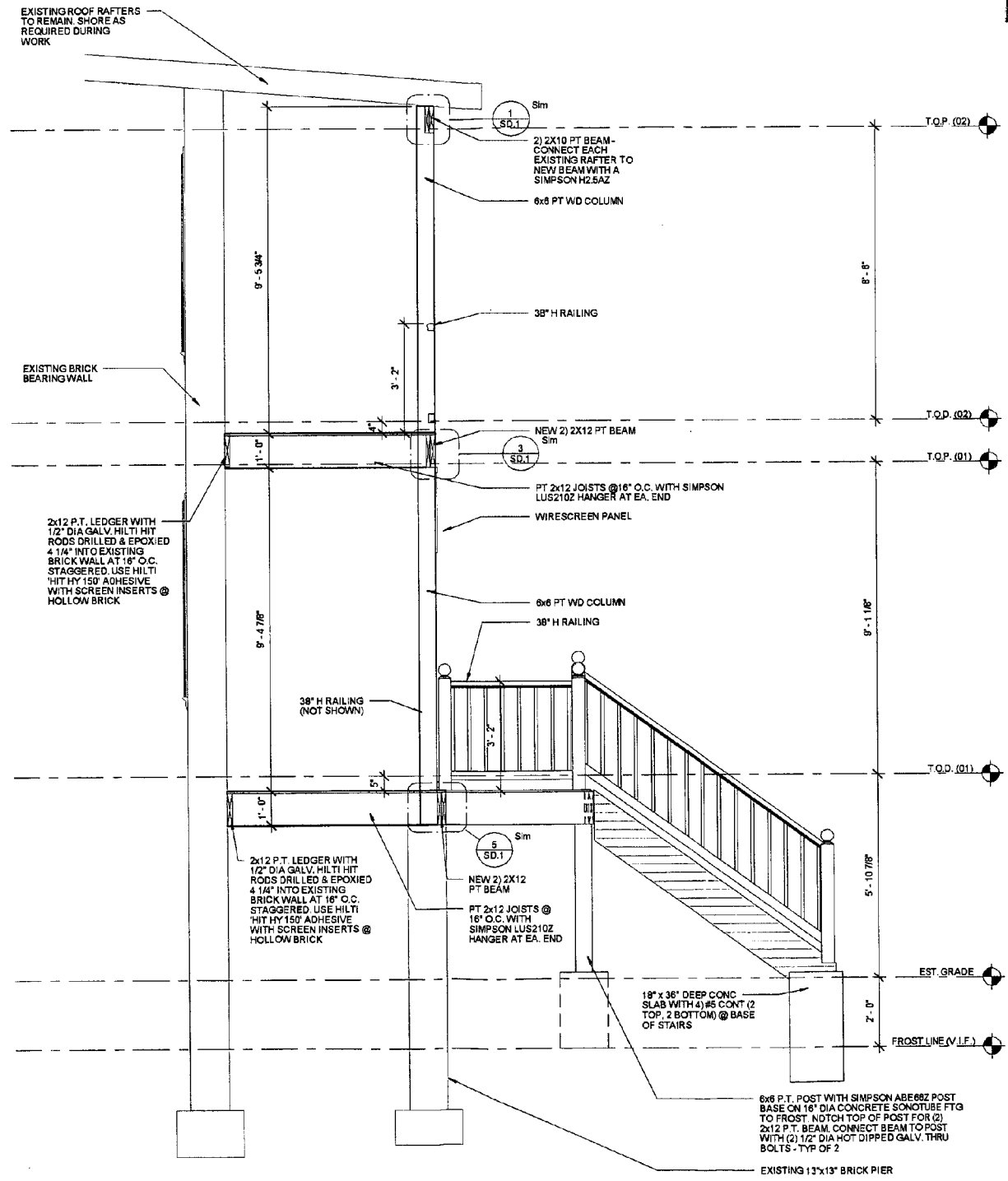
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 Revision Schedule

**DRAWING:**  
**ELEVATIONS**

Project #: 08079  
 Drawn by: XXXX Ck'd by: YYY  
**DWG:**  
**2.0**

Please do not commercial re-use drawing: 7102-7104 MAPLE AVE/ MAPLE AVE, HEAT

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1  
 3.0  
 1/2" = 1'-0"  
**DETAIL SECTION**

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**OLYMPIC CONSTRUCTION CO**  
 8907 CONNECTICUT AVE  
 CHEVY CHASE, MD 20815

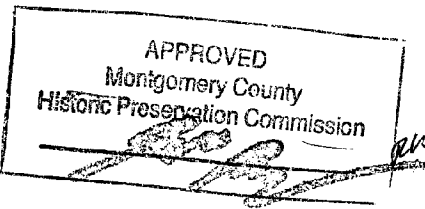
**REAR PORCH  
 RENOVATION/  
 RECONSTRUCTION FOR  
 7102/7104 MAPLE AVE**  
 7102/7104 MAPLE AVE  
 TAKOMA PARK, MD 20912

ISSUE: PERMIT  
 PLOT DATE: 8/7/2016 1:14:51 PM  
 Revision Schedule

**BLDG SECTIONS**

Project #: 08079  
 Drawn by: XXXX  
 DWG: 3.0

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**MANGAN GROUP**  
ARCHITECTS  
7034 CARROLL AVE  
SUITE 3  
TAKOMA PARK, MD 20912  
P: 301.589.7900  
F: 301.589.7911  
WWW.MANGANGROUP.COM

**OLYMPIC CONSTRUCTION CO**  
8807 CONNECTICUT AVE  
CHEVY CHASE, MD 20815

**PROJECT: REAR PORCH  
RENOVATION/  
RECONSTRUCTION FOR  
7102/7104 MAPLE AVE  
TAKOMA PARK, MD 20912**

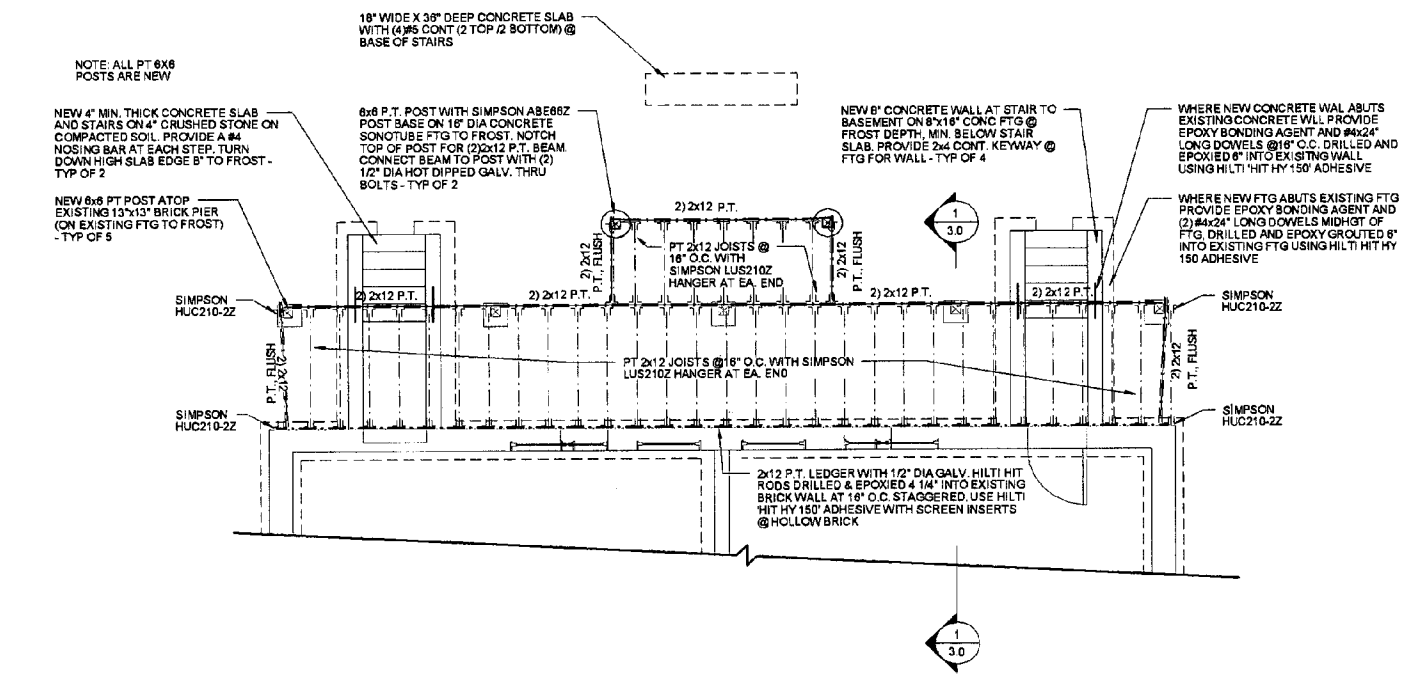
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PLOT DATE: 8/2/2008 1:15:52 PM  
Revision Schedule

**DRAWING:  
FRAMING PLANS**

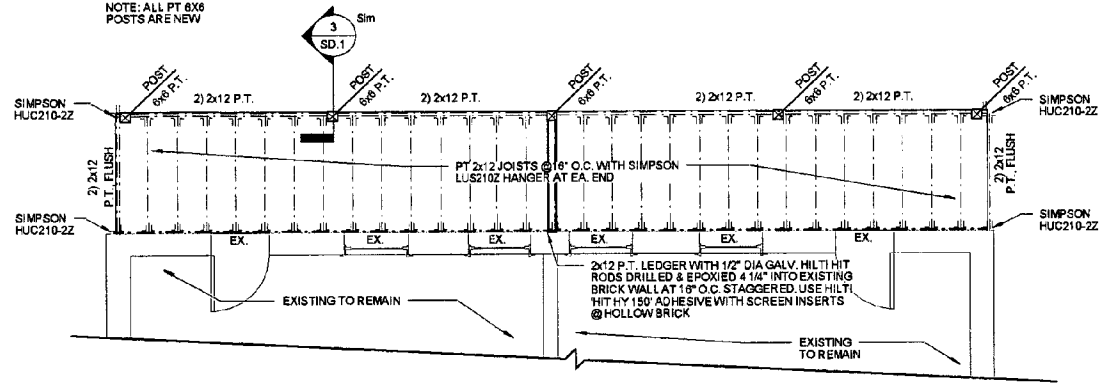
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Drawn by: XXXX  
DWG:

**4.0**

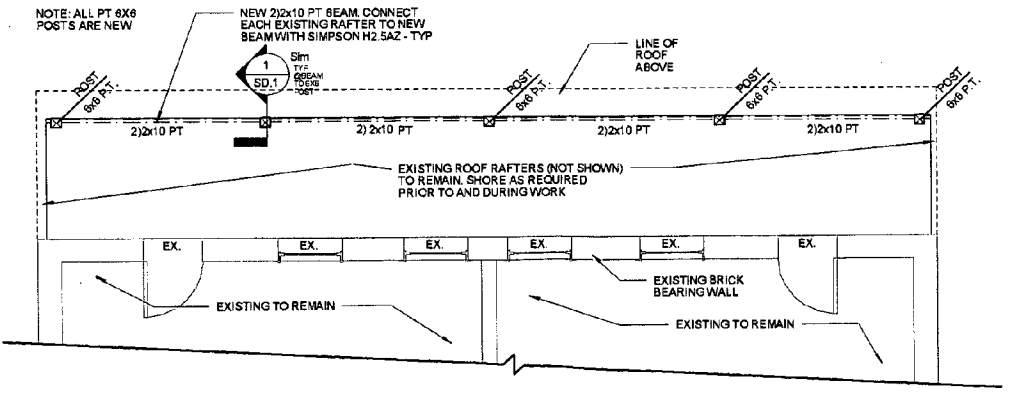
**PROFESSIONAL CERTIFICATION**  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
License No. \_\_\_\_\_  
Expiration Date: \_\_\_\_\_



**1 FIRST FLOOR DECK FRAMING PLAN**  
1/4" = 1'-0"

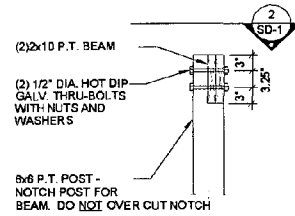
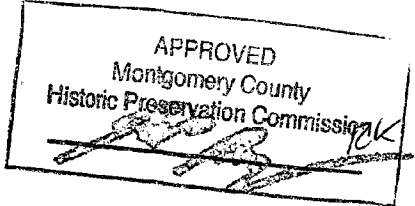


**2 SECOND FLOOR DECK FRAMING PLAN**  
1/4" = 1'-0"

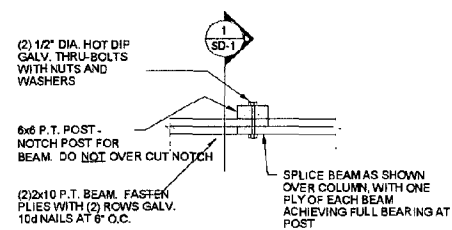


**3 SECOND FLOOR PLAN**  
1/4" = 1'-0"

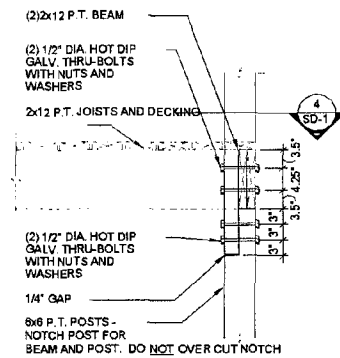
P:\acad\high\com\external\manning\7102-7104 MAPLE AVE\7104 MAPLE AVE\_1.Dwg



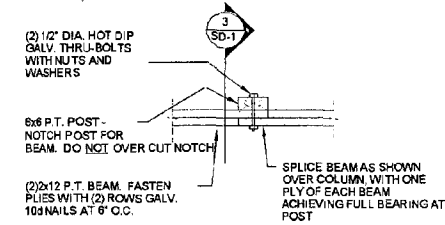
**1**  
SD.1  
3/4" = 1'-0"



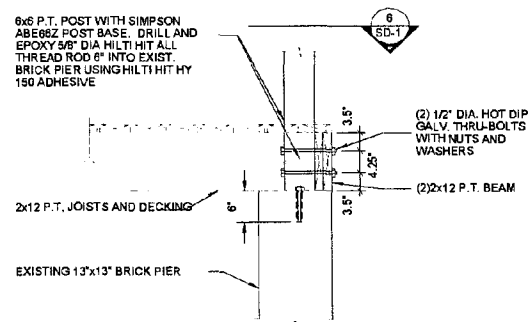
**2**  
SD.1  
3/4" = 1'-0"



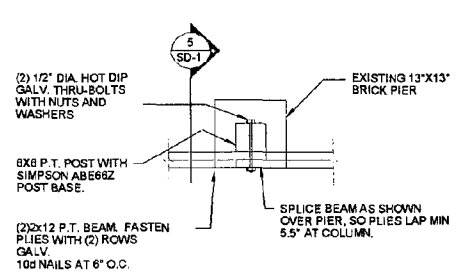
**3**  
SD.1  
3/4" = 1'-0"



**4**  
SD.1  
3/4" = 1'-0"



**5**  
SD.1  
3/4" = 1'-0"



**6**  
SD.1  
3/4" = 1'-0"

- STRUCTURAL NOTES:**
- DESIGN IS BASED ON THE 2006 IBC
  - DESIGN LOADS:  
LIVE LOAD AT DECKS 50 PSF  
ROOF LIVE LOAD 25 PSF  
DESIGN WIND LOAD 90 MPH  
EXPOSURE B  
IMPORTANCE FACTOR 1.0  
SEISMIC DESIGN CATEGORY B
  - CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF:  
3000 PSI AT WALLS AND FOOTINGS  
3500 PSI AT SLABS  
AND SHALL HAVE A MINIMUM OF 4-8% AIR ENTRAINMENT.
  - REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60
  - ALL NEW WOOD SHALL BE PRESSURE TREATED SOUTHERN PINE, GRADE NO. 2.
  - ALL HANGERS SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE AND HAVE A Z-MAX COATING.
  - ALL NAILS, BOLTS, ETC. SHALL BE HOT DIP GALVANIZED.
  - CONTRACTOR TO SHORE THE EXISTING BUILDING AND ROOF STRUCTURE AS REQUIRED.

**PROFESSIONAL CERTIFICATION**

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. \_\_\_\_\_

Expiration Date: \_\_\_\_\_

**MANGAN GROUP**  
ARCHITECTS

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**OLYMPIC CONSTRUCTION CO**

BUILDER:

8607 CONNECTICUT AVE  
CHEVY CHASE, MD 20815

PROJECT: **REAR PORCH  
RECONSTRUCTION/  
RENOVATION FOR  
7102/7104 MAPLE AVE**  
TAKOMA PARK, MD 20912

ISSUE: PERMIT

PLDT  
DATE: 8/7/2008 1:14:53 PM  
Revision Schedule

DRAWING:  
**STRUCTURAL  
DETAILS**

Project #: 08079  
Drawn by: XXXX Ck by: YYYY  
DWG:  
**SD.1**

P:\working\commercial\remiddling\7102-7104 MAPLE AVE\7104 MAPLE AVE.DWG