

509 New York Avenue, Takoma Park
(HPC Case No. # 37/03-08JJ)
■ Takoma Park Historic District



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: July 10, 2008

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Joshua Silver, Senior Planner *JRS*
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #488076, construction of sunroom and screened porch

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with conditions** at the July 9, 2008 Historic Preservation Commission meeting.

1. *The applicant will contact the Takoma Park arborist to determine if a tree protection plan is needed for this project. If required, the plan will be implemented prior to any work beginning on the property.*
2. *All windows and doors must be fabricated from wood.*
3. *The applicant must include a door and window schedule on the permit set of plans.*

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Sandy Ainsfield

Address: 509 New York Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
 255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
 240-777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
 HISTORIC AREA WORK PERMIT**

Contact Person: SHAWN BUEHLER
 Daytime Phone No.: 301-585-2222

Tax Account No.: _____
 Name of Property Owner: SANDY AINSFIELD Daytime Phone No.: 301-587-2427
 Address: 509 NEW YORK AVENUE, TAKOMA PARK, MD 20912
Street Number City State Zip Code
 Contractor: T.B.D Phone No.: T.B.D
 Contractor Registration No.: T.B.D
 Agent for Owner: BENNETT FRANK MEATHY Daytime Phone No.: 301-585-2222
ARCHITECTS, INC.

LOCATION OF BUILDING/PREMISE

House Number: 509 Street: NEW YORK AVENUE
 Town/City: TAKOMA PARK Nearest Cross Street: BALTIMORE AVENUE
 Lot: 22 Block: 73 Subdivision: TAKOMA PARK
 Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

<input type="checkbox"/> Construct	<input checked="" type="checkbox"/> Extend	<input type="checkbox"/> Alter/Renovate	<input checked="" type="checkbox"/> A/C	<input type="checkbox"/> Slab	<input checked="" type="checkbox"/> Room Addition	<input checked="" type="checkbox"/> Porch	<input type="checkbox"/> Deck	<input type="checkbox"/> Shed
<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Solar	<input type="checkbox"/> Fireplace	<input type="checkbox"/> Woodburning Stove	<input checked="" type="checkbox"/> Single Family		
<input type="checkbox"/> Revision	<input type="checkbox"/> Repair	<input type="checkbox"/> Revocable	<input type="checkbox"/> Fence/Wall (complete Section 4)		<input type="checkbox"/> Other: _____			

1B. Construction cost estimate: \$ 100,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

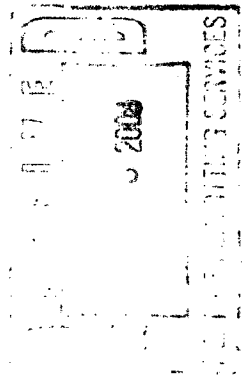
PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] Date: 6-18-2008
 Signature of owner or authorized agent Date

Approved: For Chairperson, Historic Preservation Commission
 Disapproved: _____ Signature: _____ Date: 7/10/2008
 Application/Permit No.: 488076 Date Issued: 6/19/08



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE EXISTING SINGLE-FAMILY RESIDENCE AT 5005 NEW YORK AVENUE IS A 1 1/2 STORY FRAME BUNGALOW OVER A FULL WALK-OUT BASEMENT. THIS HOUSE IS SIMILAR TO SEVERAL TAKOMA PARK BUNGALOWS WITH FULL WIDTH FRONT PORCH, ONE STORY EAVES, RIDGE PARALLEL TO STREET AND A LARGE FRONT DORMER. A PREVIOUS ADDITION RUNS ACROSS THE REAR OF THE HOUSE. THE EXTERIOR FINISH IS CEDAR SHAKES. THE LOT IS NARROW (50' WIDE) AND SLOPES DOWNWARD TO THE REAR (AWAY FROM THE STREET).

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE PROPOSED ADDITION INCLUDES A SUN ROOM AT THE REAR OF THE FIRST FLOOR WITH A SCREEN PORCH BELOW AT THE BASEMENT LEVEL. THE ADDITION ATTACHES TO PREVIOUSLY ADDED HOUSE MASS - NOT THE HISTORIC MASSING. THE EXISTING DECK STAIRS WILL BE RE-USED WITH A MINOR RECONFIGURATION WHERE THE STAIRS MEET THE ADDITION.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

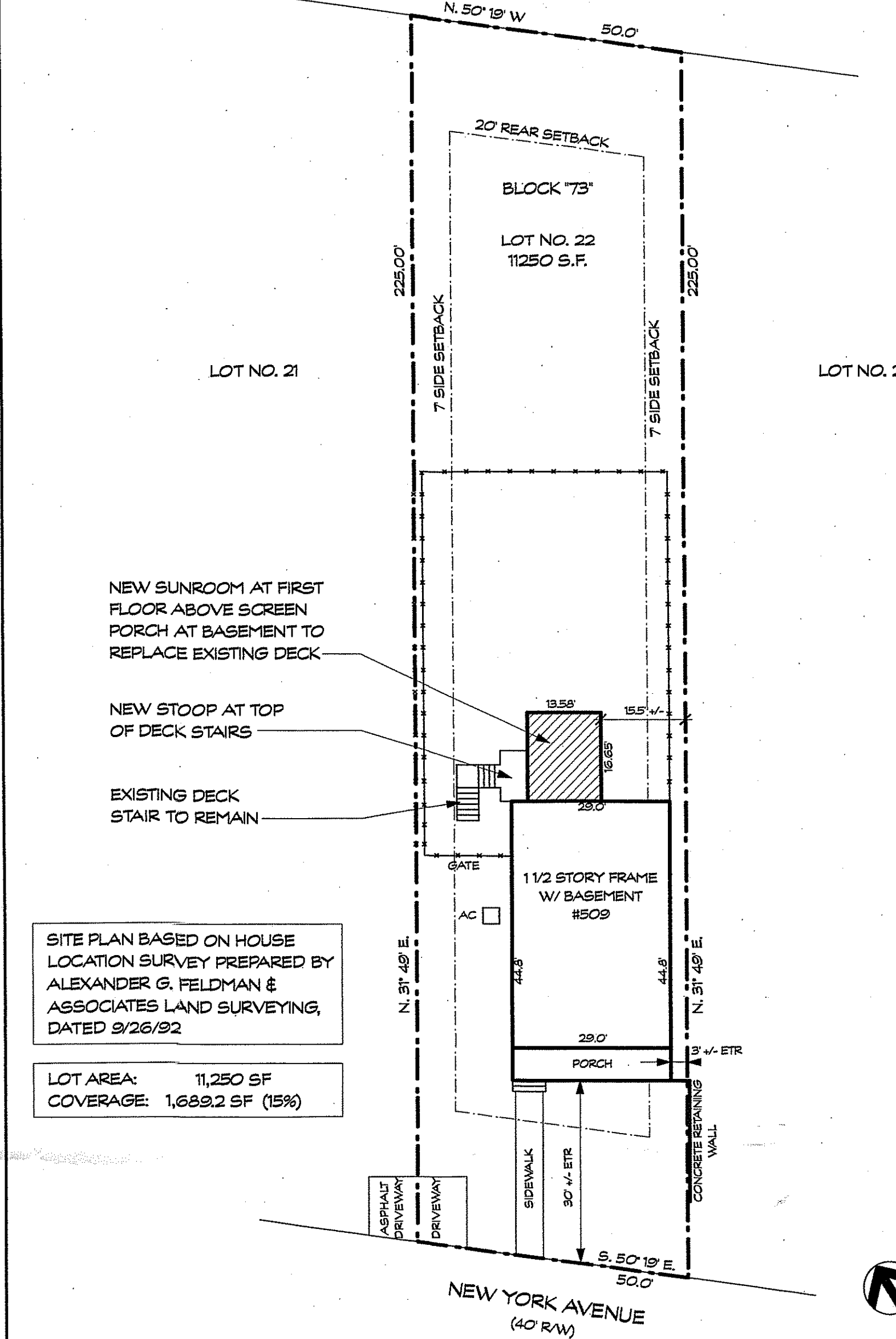
AINSFIELD PORCH ADDITION

509 NEW YORK AVENUE, TAKOMA PARK, MD 20912
Project # 0722

SPECIFICATIONS

SITE PLAN

1" = 20'-0"



OWNER:

Sandy Ainsfield
509 New York Avenue
Takoma Park, MD 20912

ARCHITECT:

Bennett Frank McCarthy Architects Inc.
1400 Spring Street, Suite 320
Silver Spring, Maryland 20910 301-585-2222

STRUCTURAL ENGINEER:

Robert Wixson, APAC Engineering, Inc.
2110 Seminary Road
Silver Spring, MD 20910 301-565-0543

CONTRACTOR:

Shelton Harvey
8723 36th Avenue
College Park, MD 20742 301-935-5042

DRAWING LIST

- CS Site Plan
- D-1 Existing Plans & Elevations
- A-1 Floor Plans & Elevations
- A-2 Sections & Wall Sections
- S-1 Structural Plans
- S-2 Structural Notes & Diagrams
- E-1 Electrical Plans

CERTIFICATION

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: _____

EXPIRATION DATE: _____

BUILDING CODE

2006 IRC

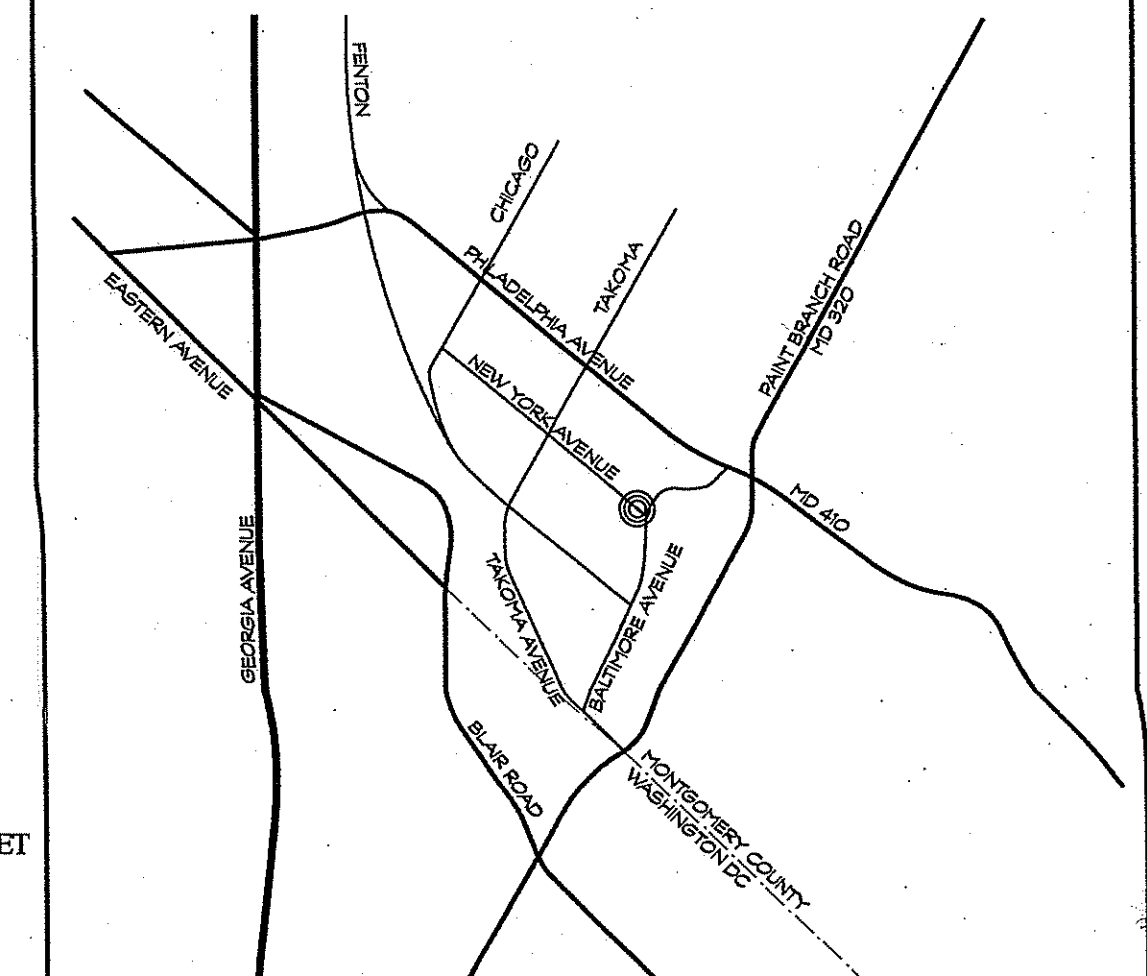
DATE

25 September 2008- Permit Set

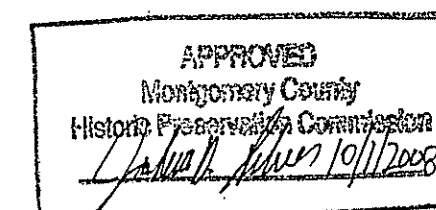
ABBREVIATIONS

&	AND	EQ	EQUAL	PLWD	PLY WOOD
@	AT	ETR	EXISTING TO REMAIN	PT	PRESSURE TREATED
AFF	ABOVE FINISHED FLOOR	EXIST	EXISTING	PTD	PAINTED
APT	APARTMENT	FF	FINISH FLOOR	FR	PAIR
BLDG	BUILDING	FIN	FINISH	R	RISER
BSMT	BASEMENT	FLR	FLOOR	REF	REFRIGERATOR
CJ	CONTROL JOINT	GA	GAUGE	RO	ROUGH OPENING
CAB	CABINET	GWB	GYP SUM WALL BOARD	RQD	REQUIRED
CL	CENTER LINE	HB	HOSE BIB	RM	ROOM
CLG	CEILING	HC	HOLLOW CORE	SC	SOLID CORE
CLR	CLEAR	HT	HEIGHT	SHT	SHEET
CMU	CONCRETE MASONRY UNIT	HDWR	HARDWARE	SHWR	SHOWER
COND	CONDITION	JB	JUNCTION BOX	SIM	SIMILAR
CONC	CONCRETE	LB	LOAD BEARING WALL	SKYLT	SKYLIGHT
CONT	CONTINUOUS	LBW	LOAD BEARING WALL	SPEC	SPECIFICATION
D	DRYER	LVL	LAMINATED VENEER LUMBER	SPRK	SPRINKLER
DH	DOUBLE HUNG	MARB	MARBLE	STL	STEEL
DIA	DIAMETER	MATL	MATERIAL	TBD	TO BE DETERMINED
DIM	DIMENSION	MAX	MAXIMUM	T&G	TONGUE & GROOVE
DN	DOWN	MDO	MEDIUM DENSITY OVERLAY	TOS	TOP OF SLAB
DR	DOOR	MIN	MINIMUM	TYP	TYPICAL
DS	DOWNSPOUT	MANU	MANUFACTURER	UNO	UNLESS NOTED OTHERWISE
DTL	DETAIL	MTL	METAL	VIF	VERIFY IN FIELD
DW	DISHWASHER	MECH	MECHANICAL	W	WASHER
DWG	DRAWING	NIC	NOT IN CONTRACT	W/	WITH
EIPS	EXTERIOR INSULATION FINISHING SYSTEM	NTS	NOT TO SCALE	WC	TOILET/WATER CLOSET
EL	ELEVATION	OC	ON CENTER	WD	WOOD
ELEC	ELECTRICAL	OH	OPPOSITE HAND	W/O	WITHOUT
EXP	EXPANSION	OSB	ORIENTED STRAND BOARD	WWM	WELDED WIRE MESH
		PLAM	PLASTIC LAMINATE		

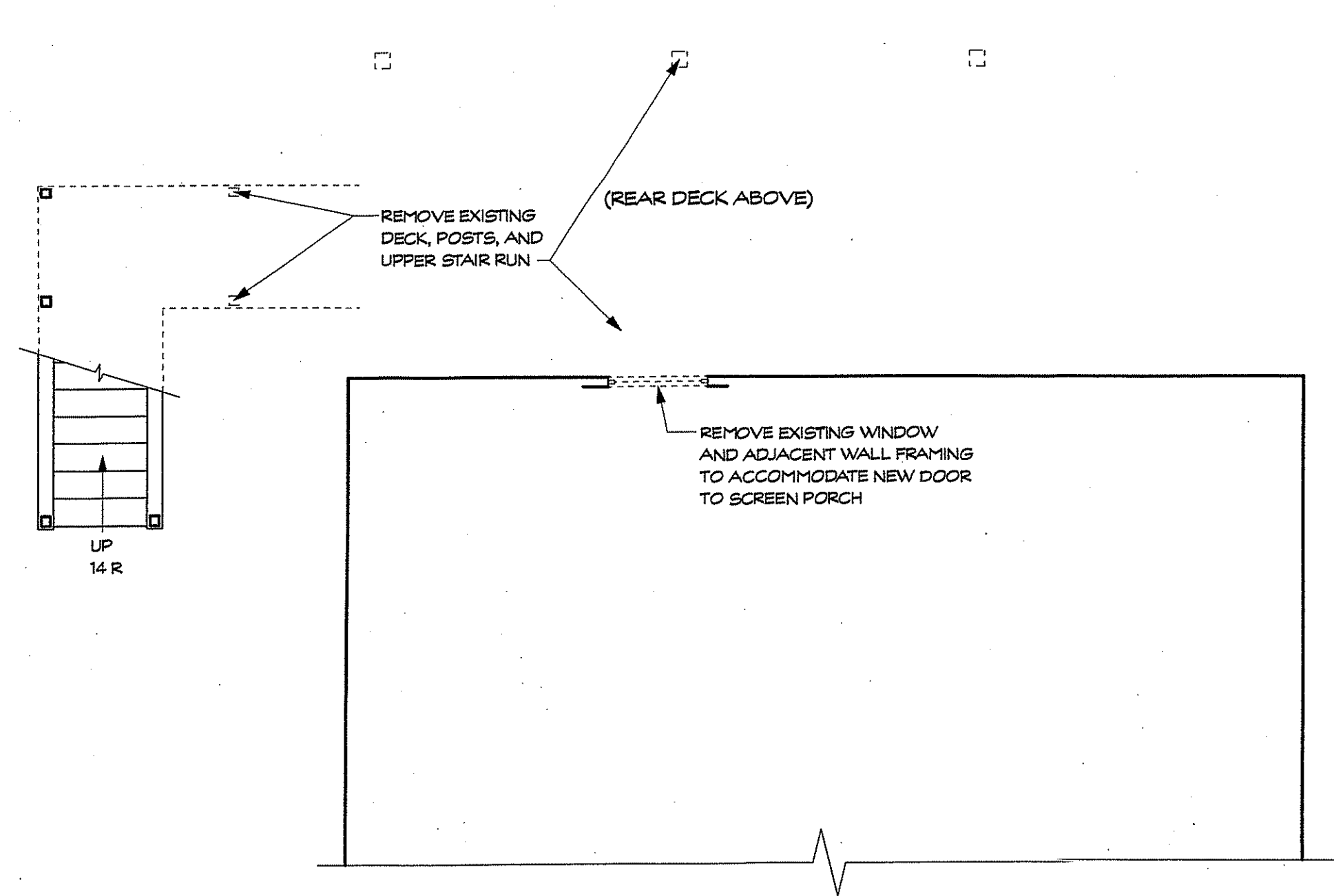
VICINITY MAP



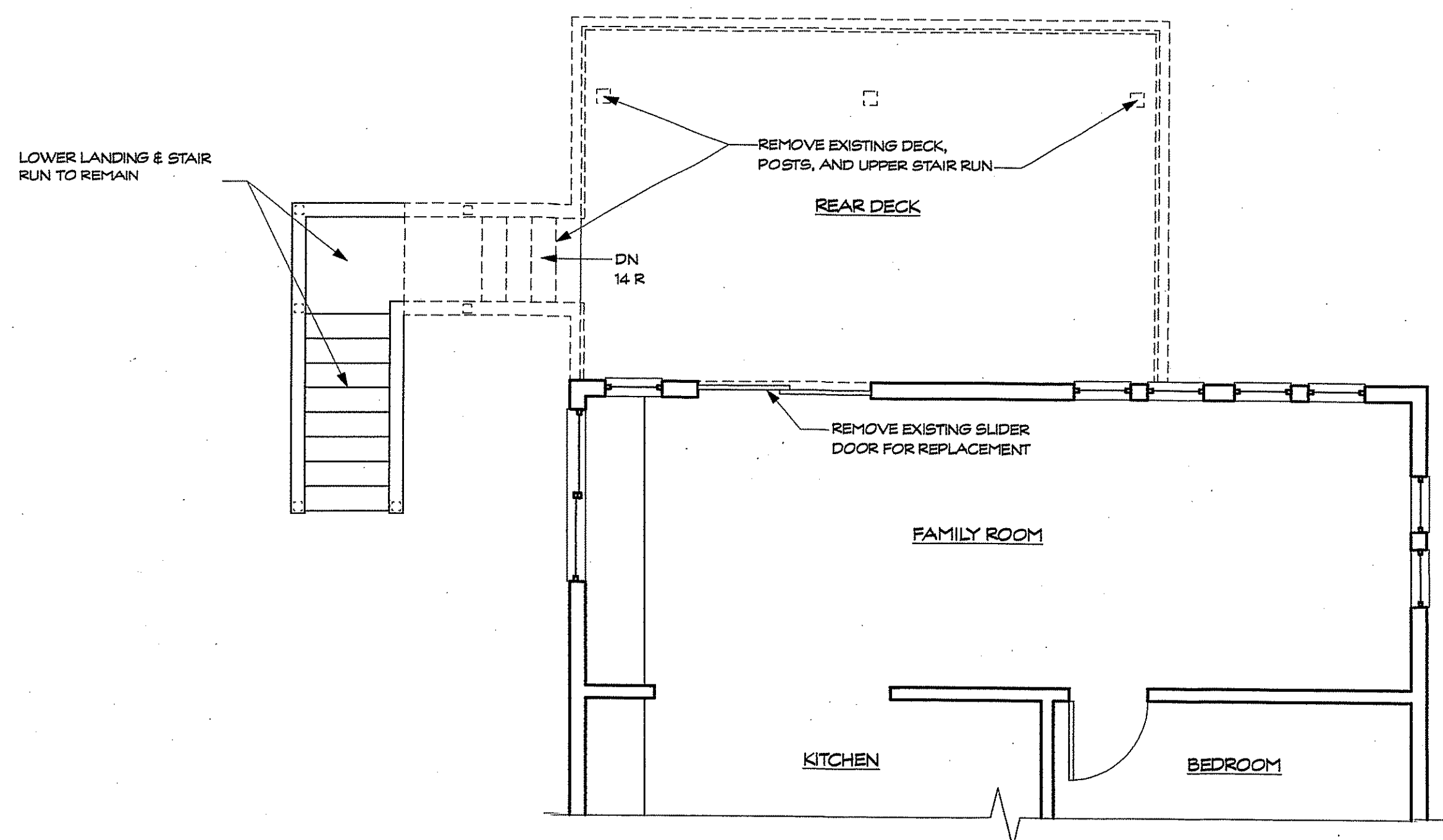
This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.



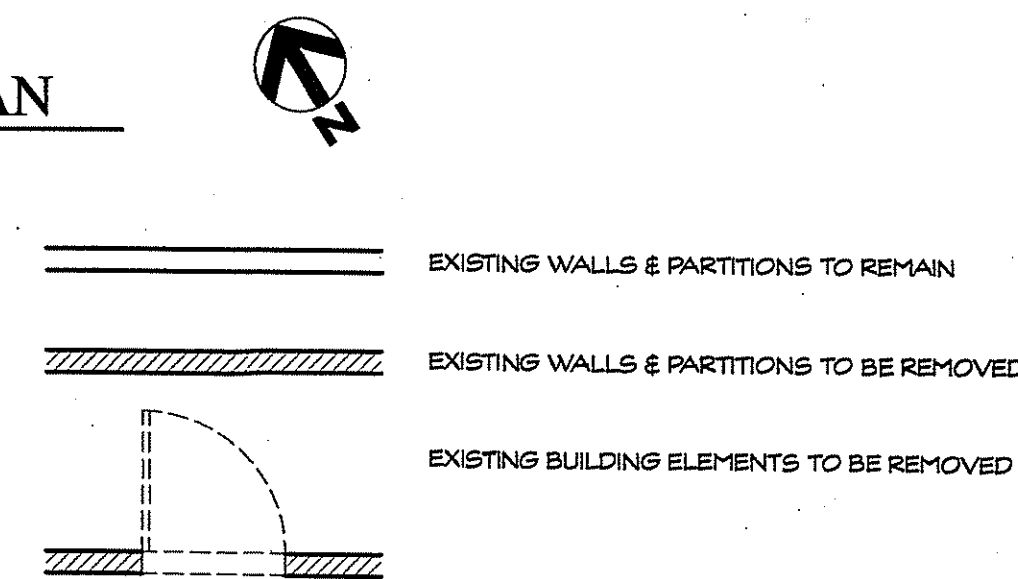
AINSFIELD PORCH ADDITION # 0722



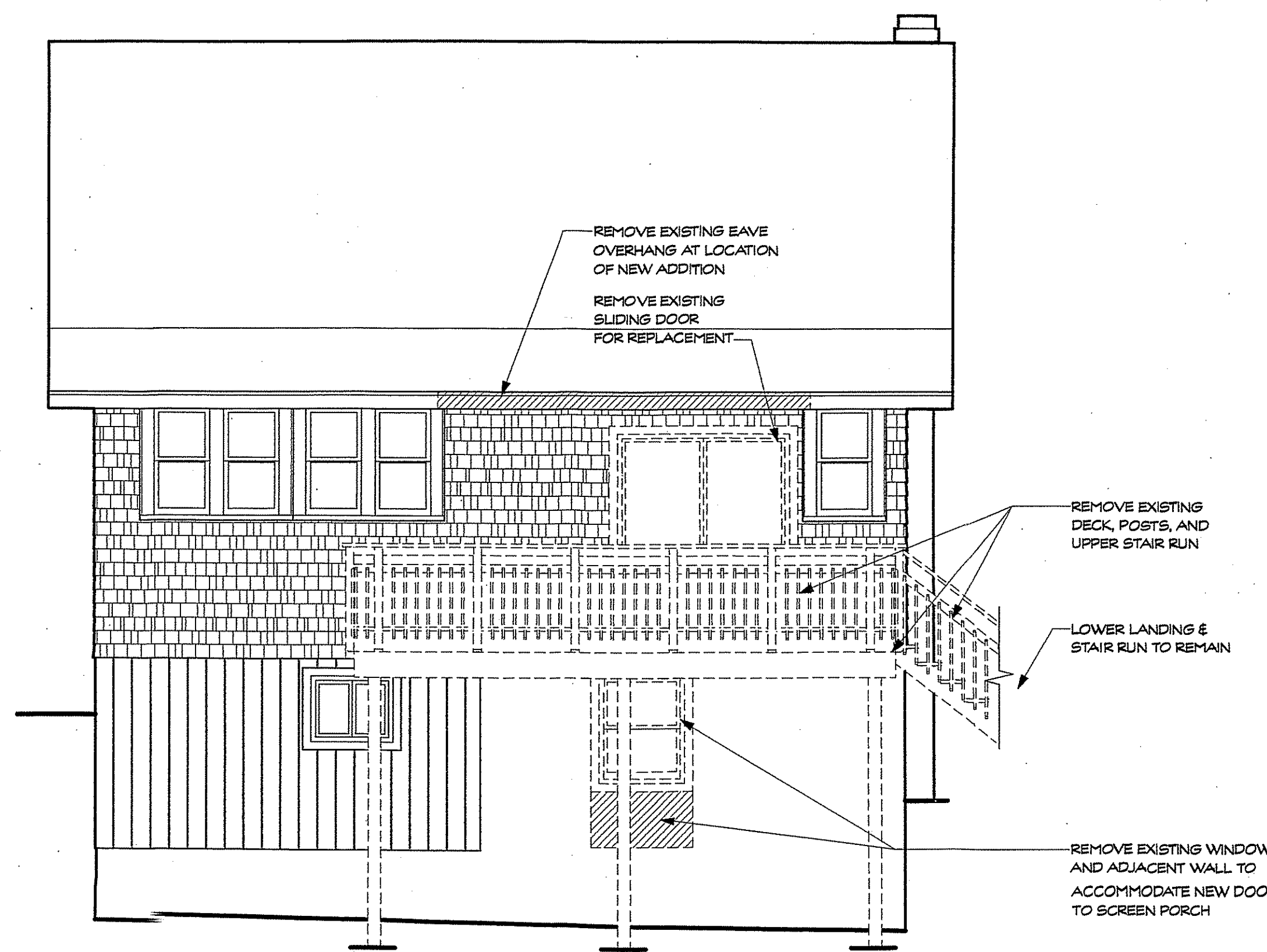
1 EXISTING BASEMENT PLAN
Scale: 1/4" = 1'-0"



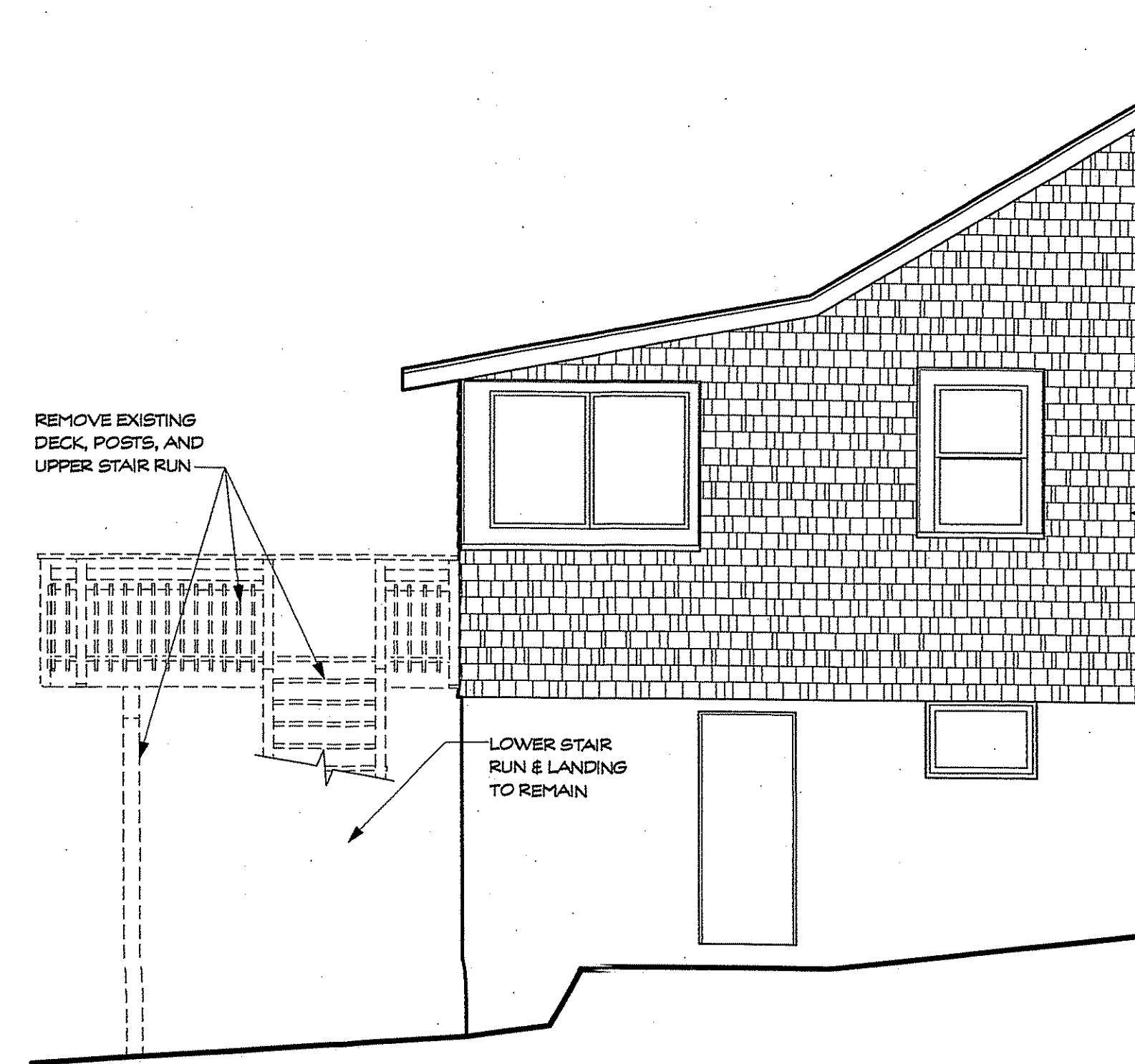
2 EXISTING FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"



3 EXISTING SIDE ELEVATION
Scale: 1/4" = 1'-0"

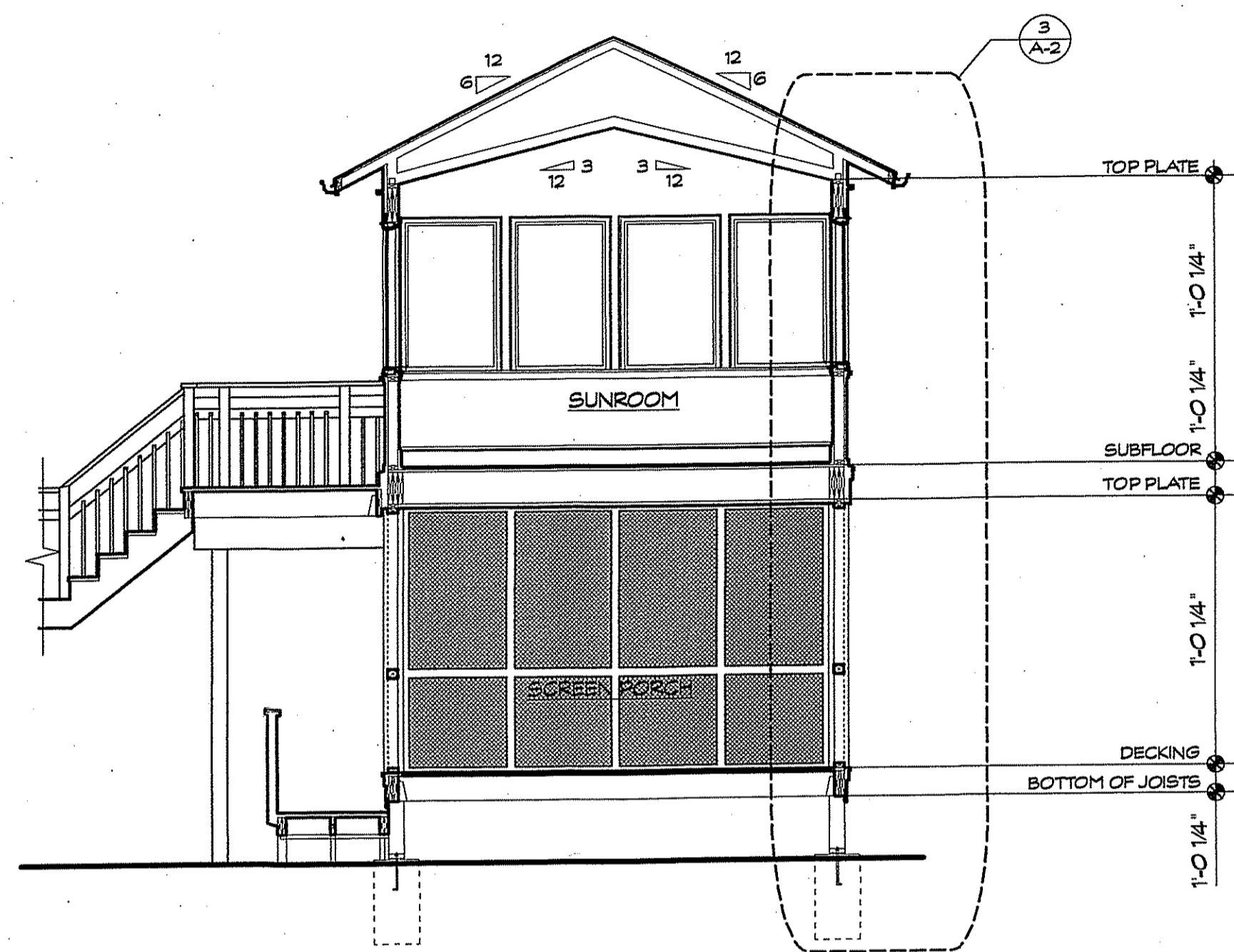


4 EXISTING REAR ELEVATION
Scale: 1/4" = 1'-0"

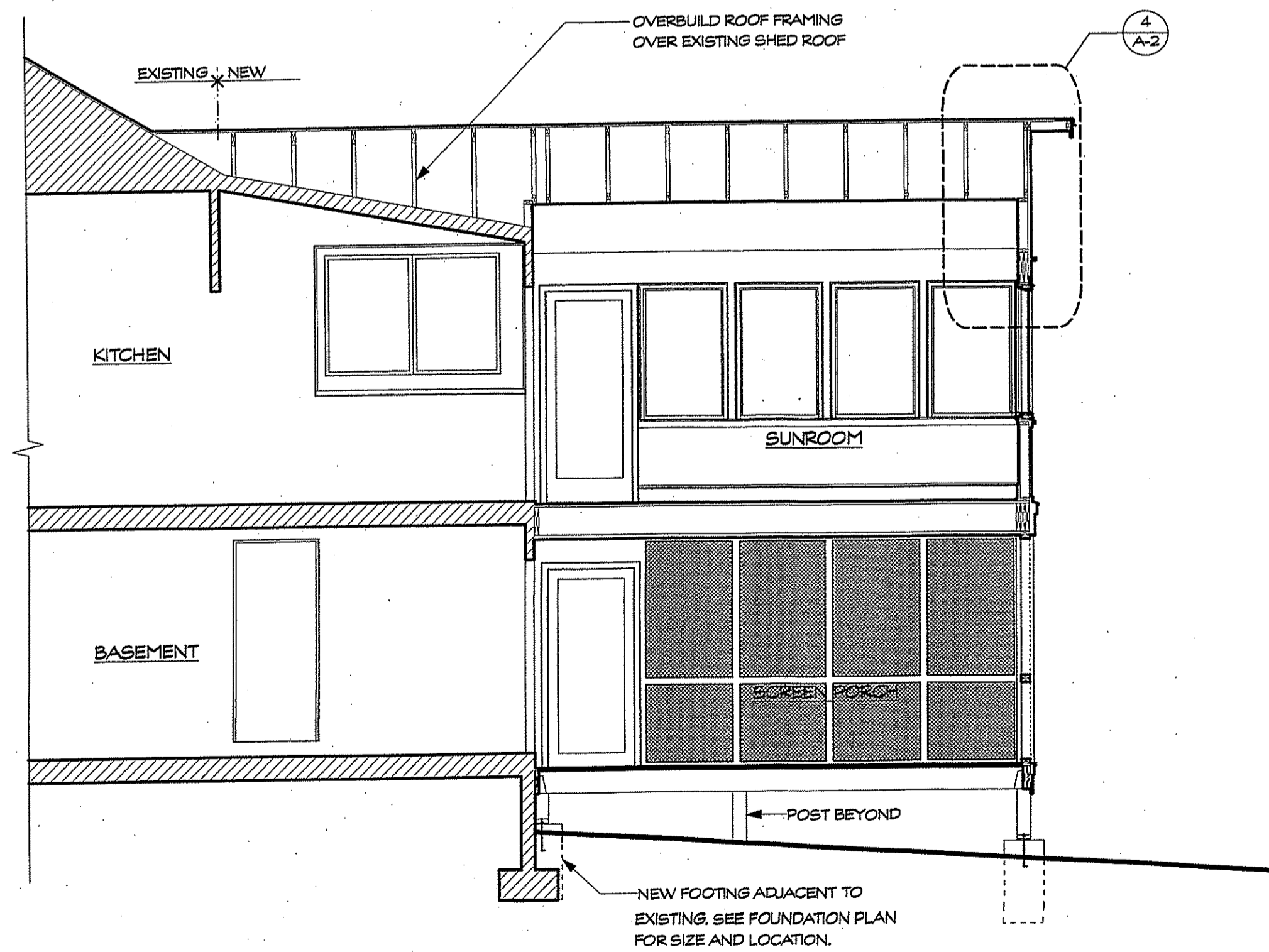


5 EXISTING SIDE ELEVATION
Scale: 1/4" = 1'-0"

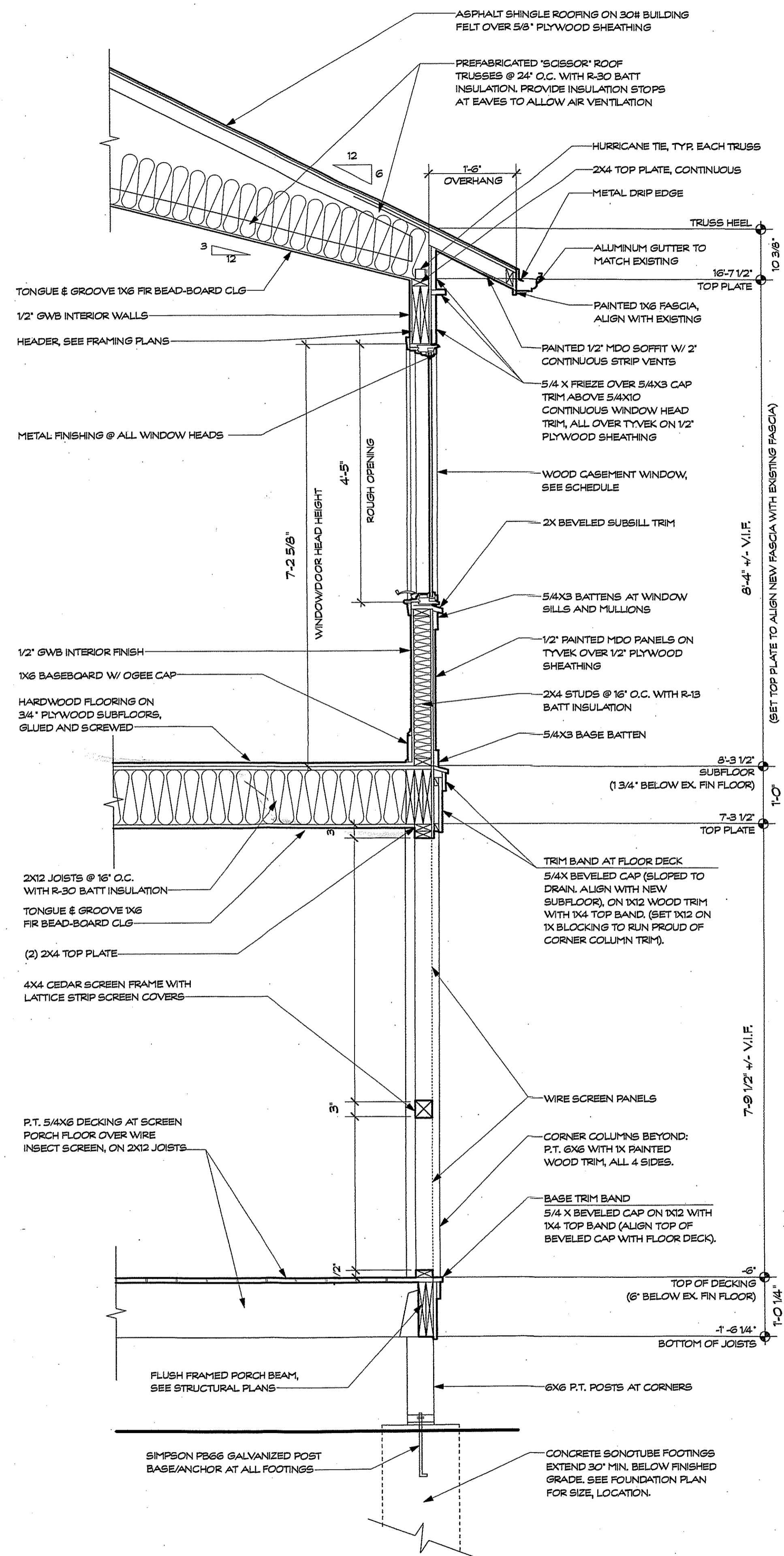
APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 10/11/2008



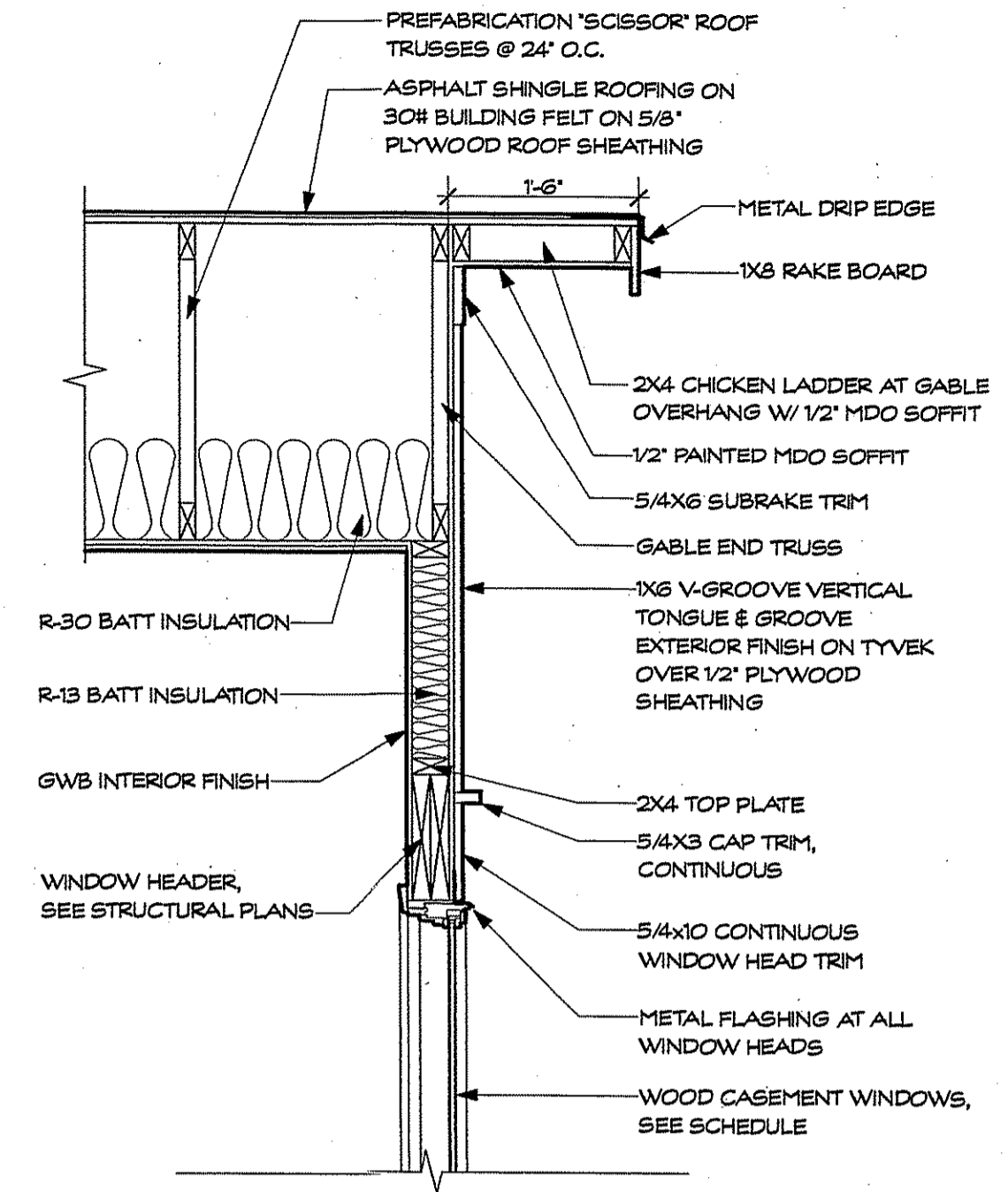
1 BUILDING SECTION
Scale: 1/4" = 1'-0"



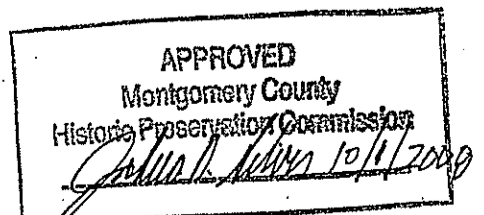
2 BUILDING SECTION
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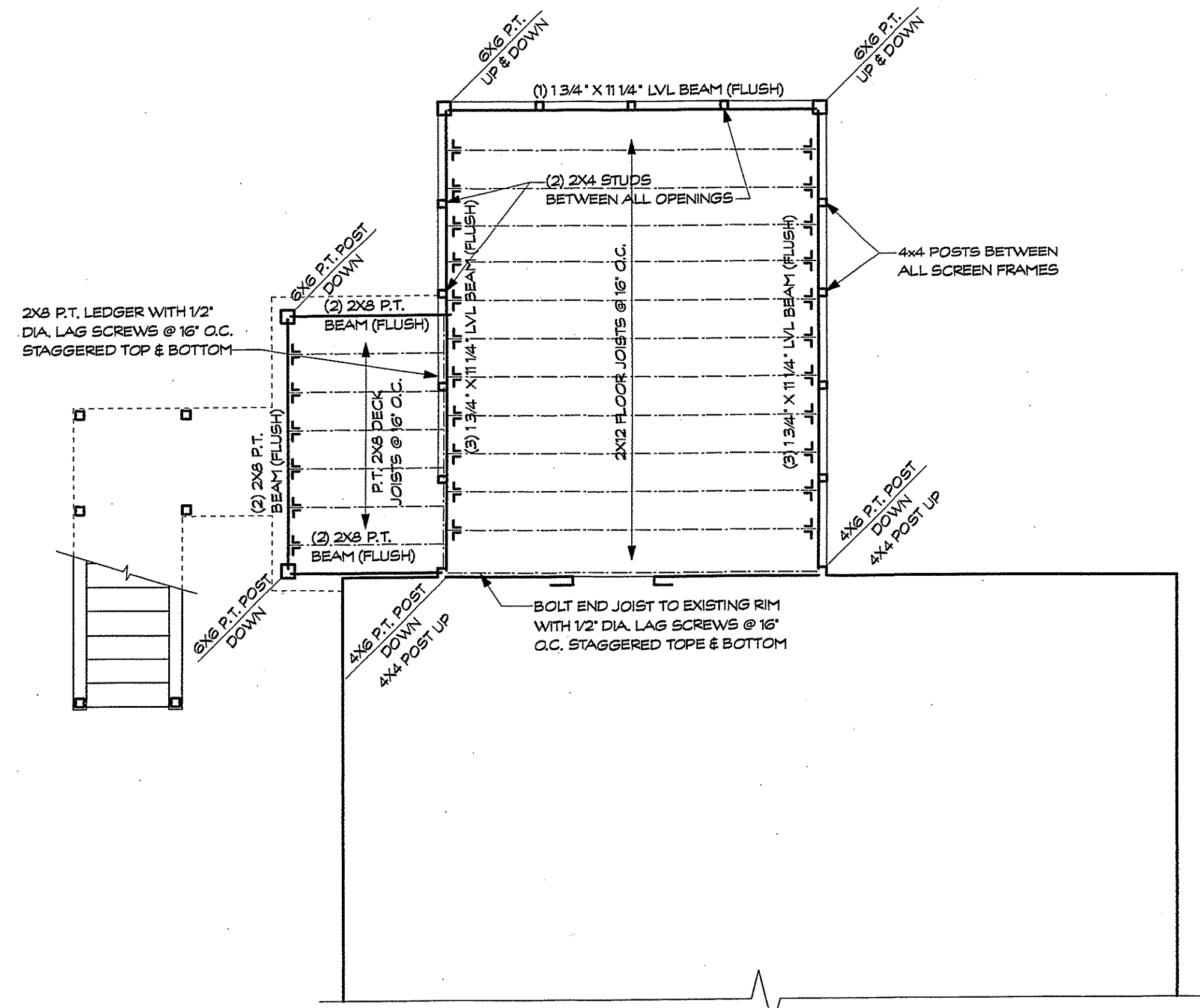


3 TYPICAL WALL SECTION
Scale: 3/4" = 1'-0"

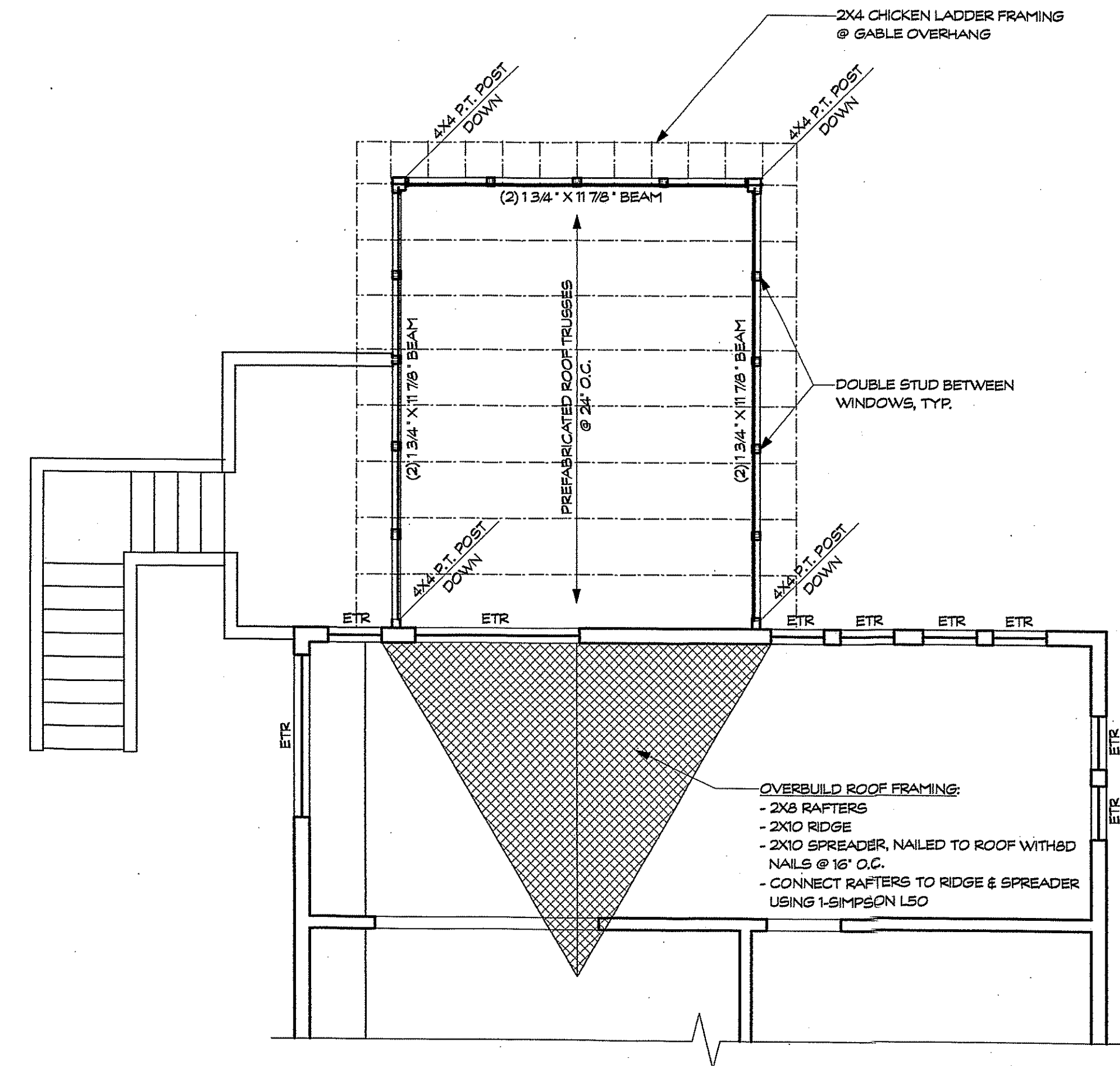


4 OVERHANG @ GABLE END
Scale: 3/4" = 1'-0"





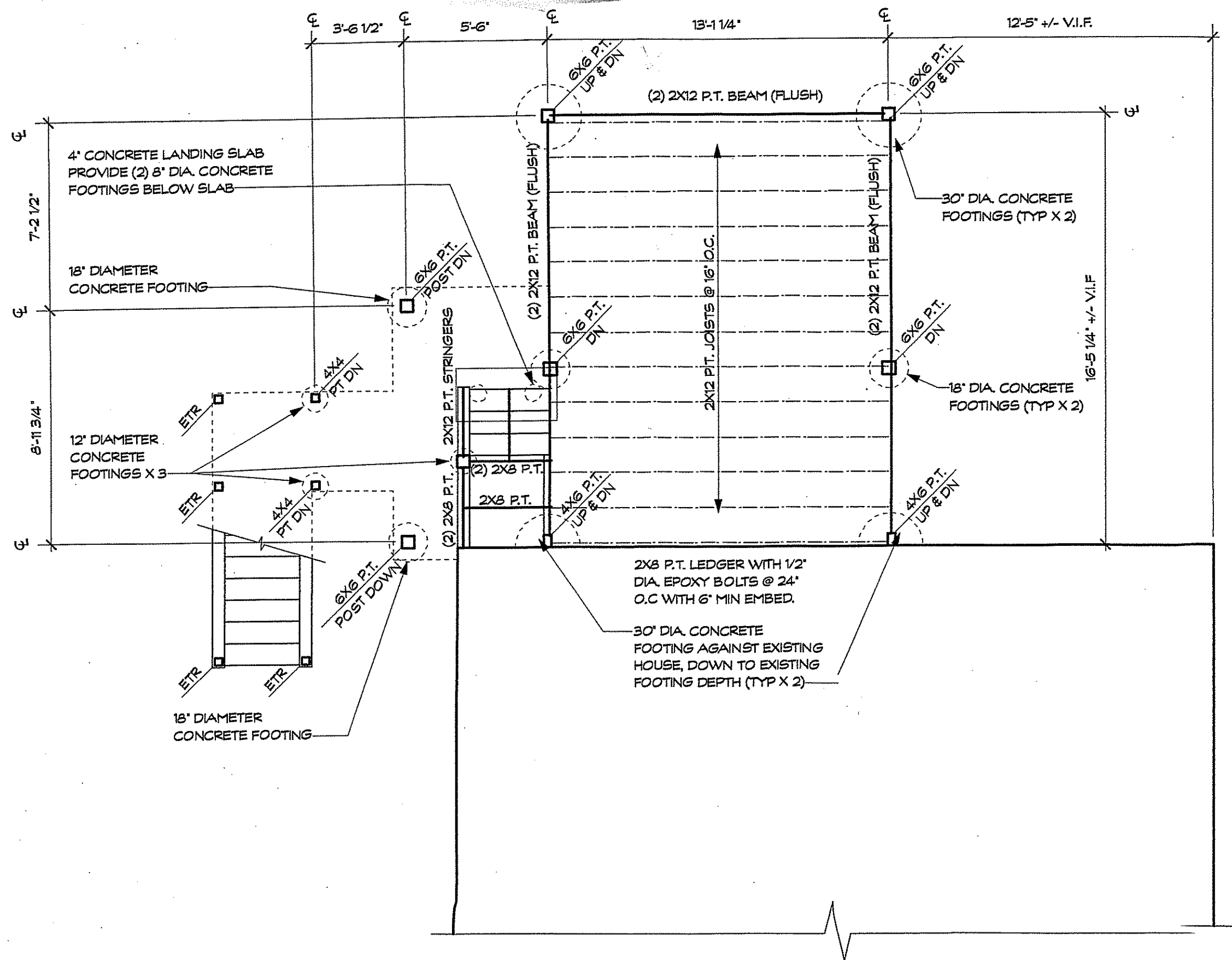
1 FIRST FLOOR FRAMING PLAN
Scale: 1/4" = 1'-0"



3 ROOF FRAMING PLAN
Scale: 1/4" = 1'-0"

WIND BRACING NOTES:

1. WALLS BRACED PER IRC R602.10.10
2. SEE FLOOR DIAPHRAGM DETAILS (S-2) FOR SPECIAL WIND BRACING FRAMING



2 BASEMENT FRAMING/FOUNDATION PLAN
Scale: 1/4" = 1'-0"

NOTE: SEE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN.

APPROVED
Montgomery County
Historic Preservation Commission
John H. Silver 10/1/2008

APAC
ENGINEERING, Inc.
2110 Seminary Road
Silver Spring, MD 20910
301-565-0543
301-565-0849 (fax)

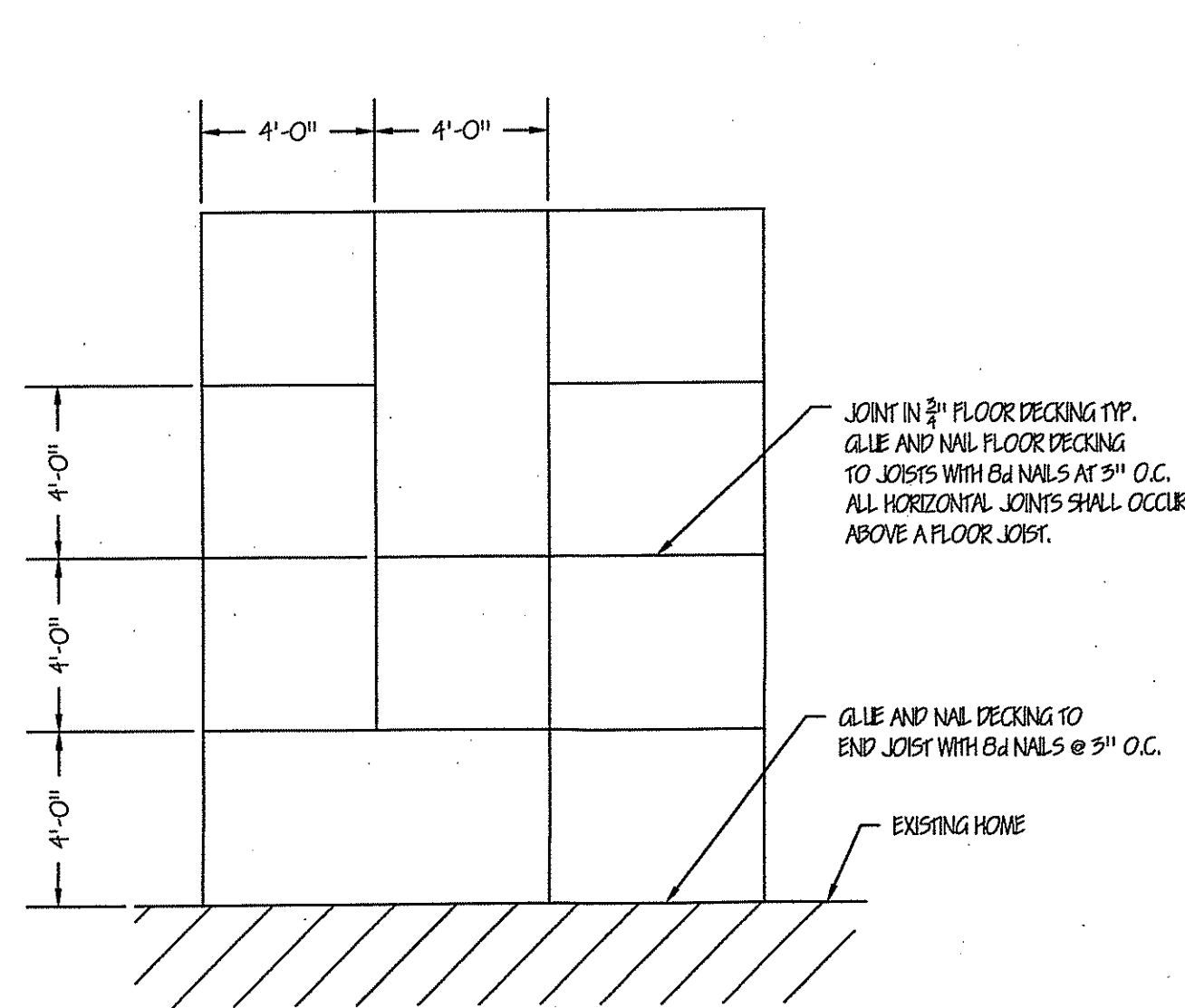
Bennett Frank McCarthy Architects Inc.
1400 Spring Street, Suite 320
Silver Spring, Maryland 20910 301-585-2222

AINSFIELD ADDITION
509 New York Avenue, Takoma Park, MD 20912
Project # 0722

Date:
25 Sept 2008

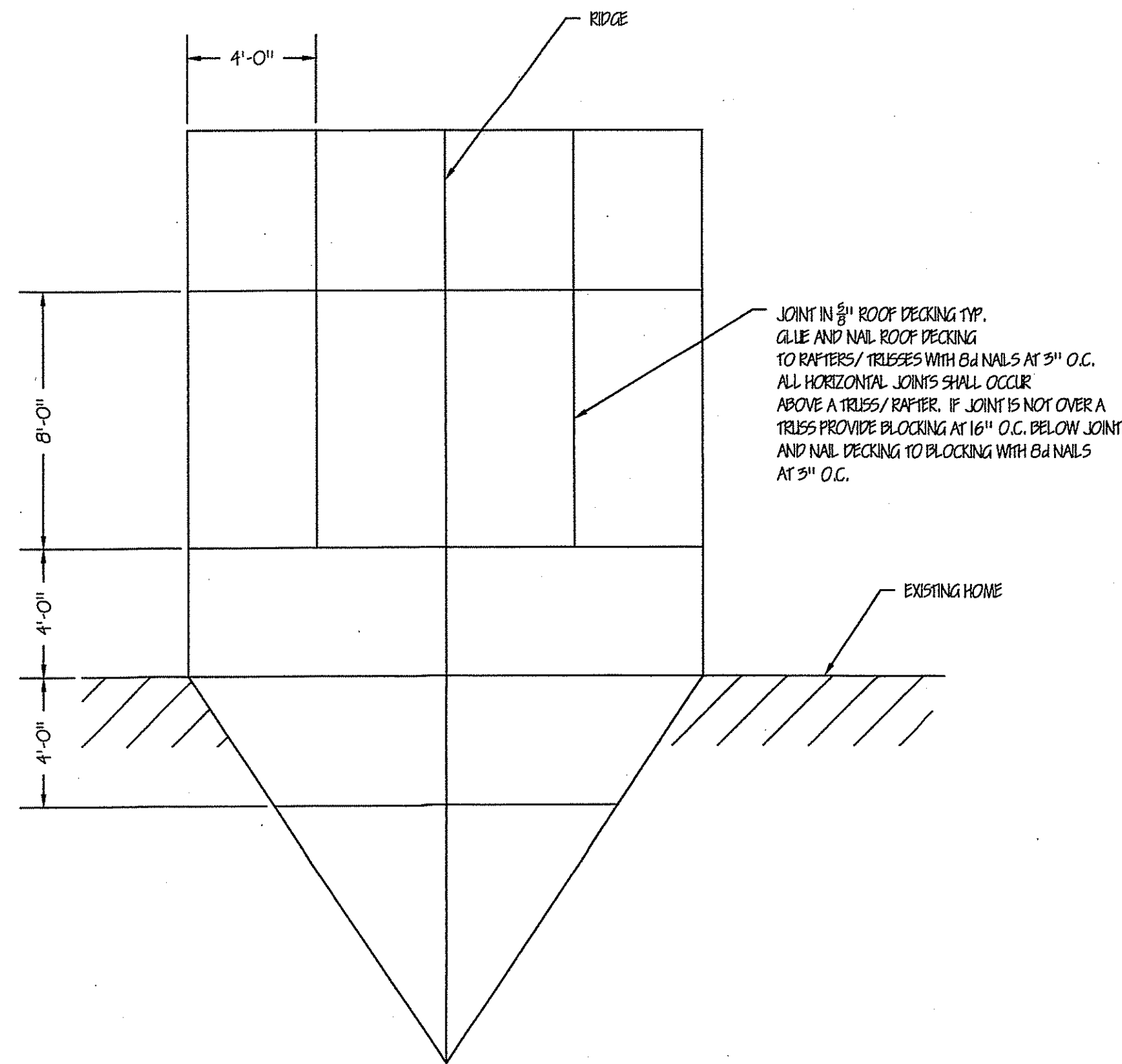
Sheet Title: **FRAMING PLANS**
Scale: 1/4" = 1'-0"

S-1



1st Floor Diaphragm Plan

Scale: 1/4" = 1'-0"



Roof Diaphragm Plan

Scale: 1/4" = 1'-0"

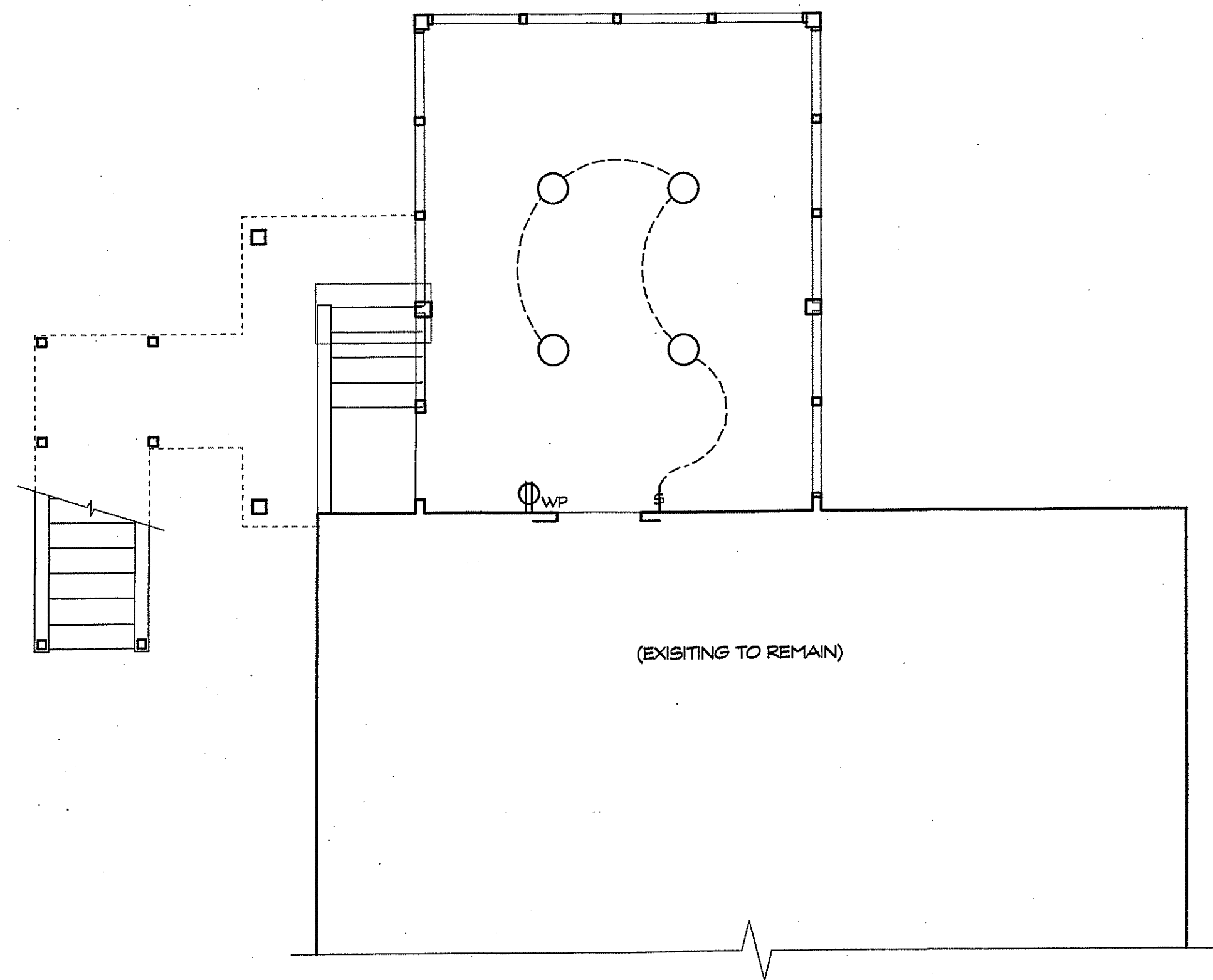
- Structural Notes**
- All work and materials to comply with the requirements of the 2006 Ed. of IBC and IRC as revised by Montgomery County.
 - Codes: the following design standards are applicable by reference:
 - ACI 530-99/ASCE 5-99 Building Code Requirements for Masonry Structures.
 - ATC - Timber Construction Manual - fifth Ed.
 - ACI 318-99 Building Code Requirements for Reinforced Concrete
 - AISC - Manual of Steel Construction Ninth Ed.
 - Foundations: footings, underpinning and slab on grades are designed to bear on native soil with an allowable bearing pressure of 2000 psf. A qualified soil-bearing inspector prior to placement of concrete shall verify all bearing values.
 - Compacted Fill:
 - A. All soil compaction shall be supervised by a licensed professional engineer specializing in Geotechnical Engineering.
 - B. Lift heights shall be determined by the Geotechnical Engineer and shall not exceed 2'-0".
 - C. Use only compactable soils for back fill.
 - D. Soil shall be compacted to a min of 95% of its density.
 - E. The Geotechnical Engineer shall keep a record of the soil compaction and submit a report as requested.
 - Structural steel:
 - A. All structural steel, including detail material shall conform to ASTM A572 Fy = 50ksi, U.N.O.
 - B. All structural tubing shall conform to ASTM A501, grade B.
 - C. All steel pipe shall be ASTM A53, type E or S, grade B.
 - D. All welders shop and field, shall be certified. Use E70xx electrodes only.
 - E. All steel exposed to weather and exterior masonry support shall receive one shop coat of corrosion-inhibiting primer.
 - F. Detailing, fabrication and erection shall be in accordance with AISC. Adequately brace all steel against lateral loads during erection.
 - G. All exterior structural steel shall receive rust preventative paint.
 - H. Connections:
 - i. All beam connections shall be simple shear connections, U.N.O. Where no reaction is provided, the beam shall be assumed to carry 120 % of the allowable uniform load in Kips for beams laterally supported, as given in the AISC steel construction manual.
 - ii. Except as noted, all fasteners shall be 3/4" diameter ASTM A325 bolts, designed to act in bearing type connections with threads included.
 - Lumber:
 - A. Lumber shall be SPF #2 with a min. Fb = 960psi Min. Fv = 135psi and min. E = 1,400,000psi.
 - B. LVL and PSL shall have a min. Fb = 2850psi; Fv = 285psi; E = 2,000,000psi.
 - C. Floor decking shall be 1/2" APA rated decking. Roof decking shall be 5/8" APA rated decking. Wall sheathing shall be 1/2" APA rated sheathing. Glue and nail roof and floor decking to joists and rafters.
 - D. Provide double joists under all walls that run parallel to floor framing.
 - E. Nail all multiple members together per the manufacturer's recommendations and at a minimum use 2-10d nails at 8" O.C. staggered.
 - F. Provide bridging at center of all joist spans Exceeding 8'-0" and at 1/3 points of all joist spans exceeding 16'-0". Provide solid blocking at all bearing points on top of walls or beams.
 - G. Provide solid blocking/squash blocks below all wood posts and beams.
 - H. All posts shall have Simpson Cap and Base Plates typ.
 - I. All joists shall have Simpson Hangers where applicable.
 - J. All lumber in contact with masonry or concrete or within 8" of soil shall be pressure treated. All lumber to conform to IRC R319 for protection against corrosion and termite damage.
 - K. Wood Headers shall be as follows:
 - Opening < 3'-6" - 2x6
 - 3'-6" < Opening < 6'-0" - 2x10
 - 6'-0" < Opening < 8'-0" - 2-1x4"x9 1/2" LVL
 - Greater than 8'-0" - See plans
 - Fasteners:
 - A. All prefabricated angles, bearing plates, and joist hangers shall be installed per the manufacturer recommendations.
 - B. Follow the manufacturer recommendations for setting epoxy bolts.
 - C. Expansion bolts shall be rawl power studs.
 - Masonry:
 - A. Masonry construction shall be in conformance with the applicable sections of ACI 530-99/ASCE5-99, "Specifications for Masonry Structures."
 - B. Concrete masonry units shall be hollow load bearing units (ASTM C90) grade n-1 with a net strength of 2000psi and Fm = 1500psi.
 - C. All joints to be filled solid with mortar.
 - D. Mortar to comply with ASTM C270 (type M or S).
 - E. Provide masonry ties and weep holes per the IRC code.
 - F. Provide horizontal truss style joint reinforcement @ 16" O.C. vertically.
 - Cast in place concrete:
 - A. Concrete construction shall be in conformance with the applicable sections of ACI 318-95, "Part 3 - Construction Requirements."
 - B. Concrete shall have a minimum compressive strength at 28 days of 3000psi, UNO (unless noted otherwise).
 - C. All concrete shall be placed with a slump of 4" (± 1/2")
 - D. All concrete shall be normal weight UNO.
 - E. All concrete shall have 3% ± 1% entrained air.
 - F. Concrete cover for reinforcement shall be:

Columns and beams	1 1/2"
Slabs	3/4"
Footings	3"
 - Reinforcement:
 - A. Reinforcing bars shall be deformed bars conforming to ASTM A615, grade 60 (Fy = 60ksi)
 - B. Welded wire fabric (w/w) shall conform to ASTM A185. Lap edges of wire fabric at least 6" in each direction.
 - Dimensions: The contractor shall field verify all dimensions prior to fabrication of structural components.
 - Coordination: The contractor shall coordinate all sleeves, duct openings and holes between trades.

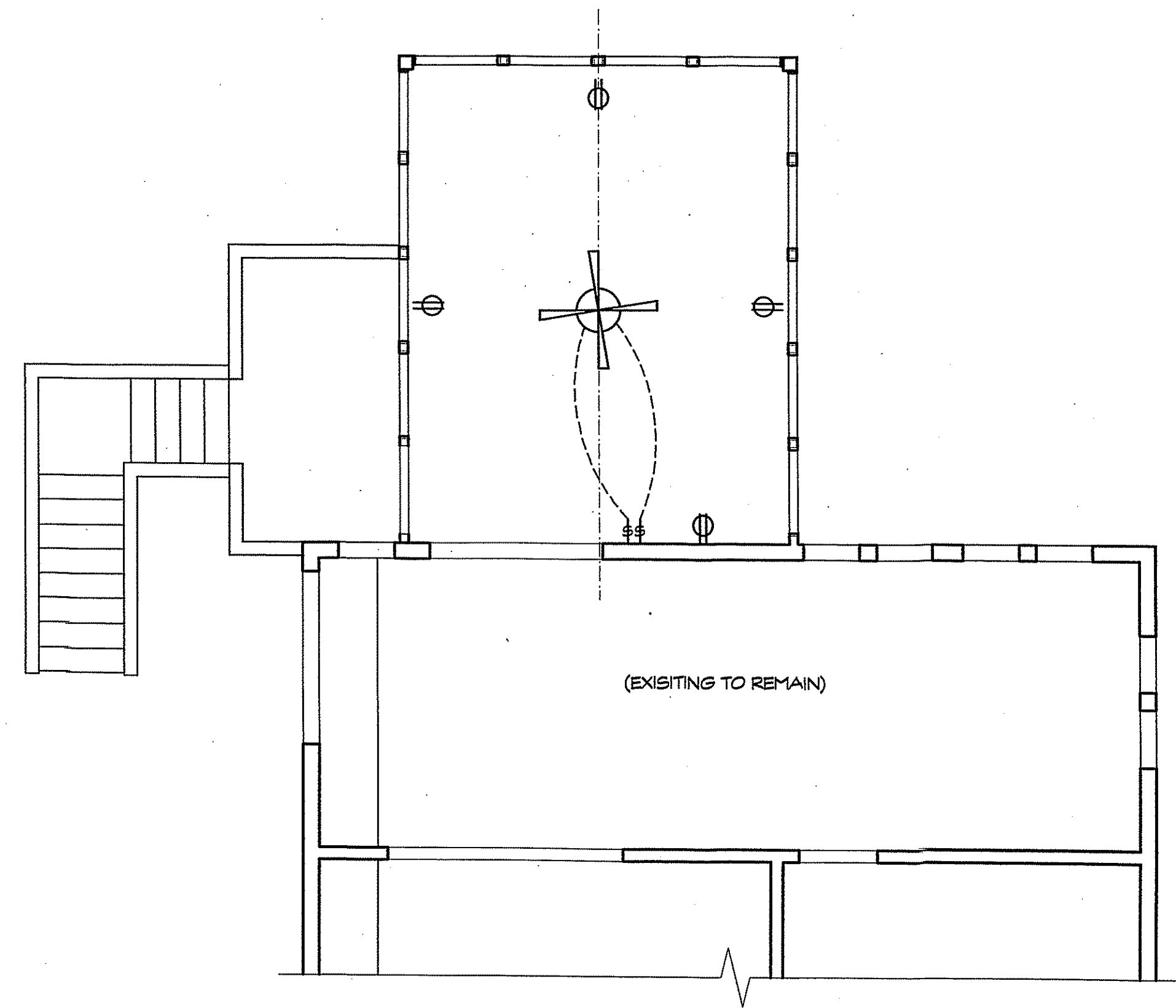
LOADS:

LIVE LOADS	
DECK:	40PSF
ATTIC:	20PSF
FLOOR:	40PSF
BALCONY:	60PSF
BEDROOM:	30PSF
ROOF:	30PSF
WIND LOADS	
BASIC WIND SPEED:	90MPH
WIND LOAD IMPORTANCE FACTOR:	1.0
WIND EXPOSURE FACTOR:	B
WIND DESIGN PRESSURE:	11.9PSF
SNOW LOADS:	
GROUND SNOW LOAD (Pg):	30PSF
SLOPED ROOF SNOW LOAD (Ps):	21PSF
SNOW EXPOSURE FACTOR (Ce):	0.7
SNOW IMPORTANCE FACTOR (I):	1.0
SEISMIC DESIGN DATA:	
SEISMIC IMPORTANCE FACTOR (Ie):	1.0
SPECTRAL RESPONSE ACCELERATIONS:	
(Ss):	20.0%
(S1):	8.0
SPECTRAL RESPONSE COEFFICIENTS:	
(Sd1):	33%
(Sd1):	18.7%
SEISMIC DESIGN CATEGORY:	B
SEISMIC SITE CLASSIFICATION:	E
SEISMIC COEFFICIENT (Cs):	0.05
SEISMIC MODIFICATION FACTOR (R):	6.5
BASE SHEAR:	1k
ANALYSIS PROCEDURE:	EQUIV. LATERAL FORCE
BASIC SFRS:	BEARING WALL SYS.

APPROVED
Montgomery County
Historic Preservation Commission
John N. Silver 10/1/2008



① **BASEMENT ELECTRICAL PLAN**
Scale: 1/4" = 1'-0"



② **FIRST FLOOR ELECTRICAL PLAN**
Scale: 1/4" = 1'-0"

LIGHTING SYMBOLS

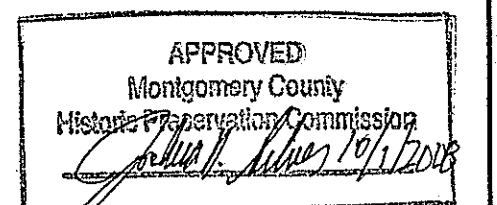
	SURFACE MOUNTED CEILING LIGHT FIXTURE- PROVIDE \$75 ALLOWANCE
	FULLY RECESSED INCANDESCENT LIGHT- LIGHTOLIER LYTECASTER MODEL #1005 WH (S)
	FULLY RECESSED INCANDESCENT WALL WASH LIGHT- MOUNT 2'-0" FROM WALL U.N.O.
	UNDER CABINET MOUNTED YELLOW FIXTURE- PROVIDE \$45 ALLOWANCE
	SUSPENDED HALOGEN FIXTURE- PROVIDE \$100 ALLOWANCE
	PENDANT FIXTURE- PROVIDE \$100 ALLOWANCE
	VANITY LIGHT- PROVIDE \$75 ALLOWANCE
	WALL-MOUNTED LIGHT FIXTURE- PROVIDE \$100 ALLOWANCE
	SCONCE FIXTURE- PROVIDE \$100 ALLOWANCE
	CEILING FAN/LIGHT- OWNER TO PROVIDE
	FLUORESCENT LIGHT FIXTURE
	SWITCH
	THREE WAY SWITCH
	DIMMER SWITCH
	DIMMER THREE WAY SWITCH
	JAMB SWITCH
	SECURITY FLOODLIGHT ON MOTION DETECTOR

GENERAL: PROVIDE 'I.C.' HOUSING AS NECESSARY IN INSULATED CAVITIES

ELECTRICAL SYMBOLS

	DUPLEX RECEPTACLE (OUTLET)- 15/20 AMP @ 18" A.F.F.- COORDINATE W/ PANEL & EQUIP.
	GFI DUPLEX RECEPTACLE (OUTLET)- 15/20 AMP EXTERNALLY MOUNTED IN WATERPROOF HOUSING
	DUPLEX RECEPTACLE (OUTLET)- 15/20 AMP @ 45° AFF- COORDINATE W/ PANEL & EQUIP.
	GFI OUTLET- 20 AMP @ 18" A.F.F.
	GFI OUTLET- 20 AMP @ 45° A.F.F.
	HALF-SWITCH OUTLET- 20 AMP @ 18" A.F.F.
	QUAD RECEPTACLE 15/20 AMP @ 18" A.F.F. (U.N.O.)
	FLOOR MOUNTED DUPLEX RECEPTACLE W/ FLUSH DECORATIVE COVER
	JUNCTION BOX- SIZE AS REQUIRED
	DATA/TELEPHONE JACK- MOUNT @ 18" A.F.F. (U.N.O.)
	CABLE TV OUTLET
	EXISTING SMOKE DETECTOR- REPLACE/RELOCATE AS NECESSARY TO MEET CODE
	SMOKE DETECTOR- HARDWIRED INTERCONNECT PER CODE
	EXHAUST FAN- NUTONE MODEL LS-100

NOTE: PROVIDE HARD WIRED SMOKE DETECTORS ON ALL LEVELS & IN ALL EXISTING SLEEPING SPACES OF EXISTING HOUSE



MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	509 New York Avenue, Takoma Park	Meeting Date:	7/9/2008
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	7/2/2008
Applicant:	Sandy Ainsfield (Architect: Shawn Buehler)	Public Notice:	6/25/2008
Review:	HAWP	Tax Credit:	None
Case Number:	37/03-08JJ	Staff:	Josh Silver
PROPOSAL:	Deck removal and construction of sunroom and screened porch		

STAFF RECOMMENDATION:

Staff is recommending that the HPC **approve** this HAWP application with conditions:

1. The applicant will contact the Takoma Park arborist to determine if a tree protection plan is needed for this project. If required, the plan will be implemented prior to any work beginning on the property.
2. All windows and doors must be fabricated from wood.
3. The applicant must include a door and window schedule on the permit set of plans.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource Within The Takoma Park Historic District
STYLE: Bungalow
DATE: c1920

HISTORIC CONTEXT

Takoma Park is historically significant as both an early railroad suburb and a streetcar community. It was the one of the earliest railroad suburbs of Washington. The community was given new lifeblood in the early-20th century with the opening of streetcar lines, which led to the development of new subdivisions in Takoma Park.

Before 1883, the area that became Takoma Park was used for farming and vacation homes for Washingtonians. A few houses from this period still exist.

Benjamin Franklin Gilbert was the developer of Takoma Park, which he promoted for its natural environment and healthy setting. The site offered fresh water, trees, and a high elevation to escape the malaria-ridden District of Columbia. In 1883, Gilbert purchased a 90-acre farm and platted a subdivision with picturesque, winding streets named for native trees, including Sycamore, Chestnut, Hickory, and Oak. Equally reflective of Gilbert's promotion of the natural setting is the use of the Native American "Takoma", meaning "exalted" or "near heaven." Later he added the "Park" appellation to draw attention to

its healthy environment.

Takoma Park houses built between 1883 and 1900 were fanciful, turreted, multi-gabled affairs of Queen Anne, Stick Style, and Shingle Style influence. The substantial houses had spacious settings, with deep, narrow lots of 50 feet by 200-300 feet, with 40-foot setback requirements. Extensive numbers of these houses (built from 1883 to 1900) remain, particularly concentrated along Maple, Cedar, and Holly Avenues. The earliest houses were built on Cedar Avenue (originally known as Oak Avenue).

Gilbert was more than just the developer of the community - he was a resident and civic leader. He built one of the first houses in the new community for himself and later became the town's first mayor. By 1886, Takoma Park had a post office and a new railroad station. Fifteen trains a day ran between Washington and Takoma Park and the population had reached 100.

By 1893, the town's population quadrupled. Four subdivisions had expanded the town, which was incorporated in 1890. Takoma Avenue, Pine Avenue, and Holly Avenue were among the streets to develop during this period.

The first multi-family buildings in Montgomery County were built in Takoma Park. The earliest documented multi-family dwelling is the *Ford House* at 7137-39 Maple Avenue. Brothers Byron and Seth Ford built this large, elaborate, frame double-house in 1885 for their families. The next multi-family dwellings to be built in the county were not constructed until 1907.

The start of streetcar service along Carroll Avenue in 1897, operated by the Baltimore and Washington Transit Company, made the adjacent areas more attractive for residential development, leading to new subdivisions. This line, supplemented in 1910 by the Washington and Maryland line (1910-27), led to the creation of eight additional subdivisions extending out from the trolley lines. The inexpensive electric streetcar, the availability of low-cost house plans and kit houses in combination with smaller lot sizes made home ownership in Takoma Park possible for individuals of more modest income levels than during the previous period. By 1922, the population soared to 4,144, making Takoma Park the tenth largest incorporated town in Maryland. Among the streets, which developed during the 1910s and 1920s in response to the establishment of streetcar, lines are Willow, Park, Philadelphia, and Carroll Avenues.

The appearance today of much of the Takoma Park historic district is formed by the large numbers of dwellings constructed from 1900 into the 1920s. The houses built in Takoma Park during this period reveal changing American tastes in house design from the elaborate ornamentation of the late 19th century dwellings to more practical, simplified designs. Many of these early twentieth century houses reflect the aesthetics of the Arts and Crafts Movement, which emphasized the inherent nature of the building materials and structural elements for ornamentation. Residences put up in the American Four Square, Craftsman, Bungalow, and Colonial Revival designs continued the pattern of suburban development previously established - detached, wood frame single-family residences with uniform setbacks from the streets, though at a smaller scale. Entire streetscapes of these houses, particularly the Bungalow and Craftsman designs, are found along Willow, Park, Philadelphia, and Westmoreland Avenues. Scores of Bungalows, and Craftsman-style houses and catalog-order houses were built in this era.

Takoma Park continues to thrive today, with a population of 20,000. Though the train no longer stops there, the town's close relationship with mass transportation continues. The Metro enables residents to continue the tradition, started with the railroad and extended with the streetcars, of living in the suburbs and commuting to the District using mass transit. Two sections of the Montgomery County portion of Takoma Park have been listed on the National Register of Historic Places as the Takoma Park Historic District since 1976.

PROPOSAL:

The applicant is proposing to remove an existing wooden deck and stairs from the rear of the house and construct a 2 story, 16' x 13'5" sunroom and screen porch. The proposed addition will connect to an existing addition at the rear of the house and contain wood trim and windows, an asphalt roof, painted Medium Density Overlay privacy panels and wooden screens. The proposal also includes repurposing the existing deck stairs for the reconfiguration and minor expansion of a new wooden stoop and stairs on west (left) side elevation of the proposed sunroom and screen porch.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 4A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

The *Guidelines* that pertain to this project are as follows:

- all exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should *preserve the predominant architectural features of the resource*; exact replication of existing details and features, is, however, not required;
- major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way;
- some non-original building materials may be acceptable on a case-by-case basis;

Montgomery County Code; Chapter 24A

The Commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

The Commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district; or
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

Secretary of the Interior's Standards for Rehabilitation:

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Staff supports the proposed construction of a sunroom and screen porch at the subject property. The proposed work is consistent with both the *Guidelines and Standards* for alterations to a contributing resource in the Takoma Park Historic District. The proposed addition is confined to the rear yard and will have no impact on the streetscape of the historic district. The proposed work is consistent with the style of the house and utilizes appropriate materials. *Staff is recommending approval with the conditions specified on Circle 1.*

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application **with the conditions specified on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation;*

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
240-777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: SHAWN BUEHLER
Daytime Phone No.: 301-585-2222

Tax Account No.: _____
Name of Property Owner: SANDY AINSFIELD Daytime Phone No.: 301-587-2427
Address: 509 NEW YORK AVENUE, TAKOMA PARK, MD 20912
Street Number City State Zip Code
Contractor: T.B.D Phone No.: T.B.D
Contractor Registration No.: T.B.D
Agent for Owner: BENNETT FRANK MEATHY Daytime Phone No.: 301-585-2222
ARCHITECTS, INC.

LOCATION OF BUILDING/PREMISE

House Number: 509 Street: NEW YORK AVENUE
Town/City: TAKOMA PARK Nearest Cross Street: BALTIMORE AVENUE
Lot: 22 Block: 73 Subdivision: TAKOMA PARK
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ 100,000
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] 6-18-2008
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 488076 Date Filed: 6/18/08 Date Issued: _____

Edit 6/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

5

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE EXISTING SINGLE-FAMILY RESIDENCE AT 509 NEW YORK AVENUE IS A 1 1/2 STORY FRAME BUNGALOW OVER A FULL WALK-OUT BASEMENT. THIS HOUSE IS SIMILAR TO SEVERAL TAKOMA PARK BUNGALOWS WITH FULL WIDTH FRONT PORCH, ONE STORY EAVES, RIDGE PARALLEL TO STREET AND A LARGE FRONT DORMER. A PREVIOUS ADDITION RUNS ACROSS THE REAR OF THE HOUSE. THE EXTERIOR FINISH IS CEDAR SHAKES. THE LOT IS NARROW (50' WIDE) AND SLOPES DOWNWARD TO THE REAR (AWAY FROM THE STREET).

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district

THE PROPOSED ADDITION INCLUDES A SUN ROOM AT THE REAR OF THE FIRST FLOOR WITH A SCREEN PORCH BELOW AT THE BASEMENT LEVEL. THE ADDITION ATTACHES TO PREVIOUSLY ADDED HOUSE MASS - NOT THE HISTORIC MASSING. THE EXISTING DECK STAIRS WILL BE RE-USED WITH A MINOR RECONFIGURATION WHERE THE STAIRS MEET THE ADDITION.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville. (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Sandy Ainsfield
509 New York Avenue
Takoma Park, MD 20912
(301) 587-2427

Owner's Agent's mailing address

Shawn Buehler
Bennett Frank McCarthy Architects, Inc.
1400 Spring Street, Suite 320
Silver Spring, MD 20910

Adjacent and confronting Property Owners mailing addresses

Joseph & Mary Wancheck
507 New York Ave
Takoma Park, MD 20912-4119
(301) 587-7445

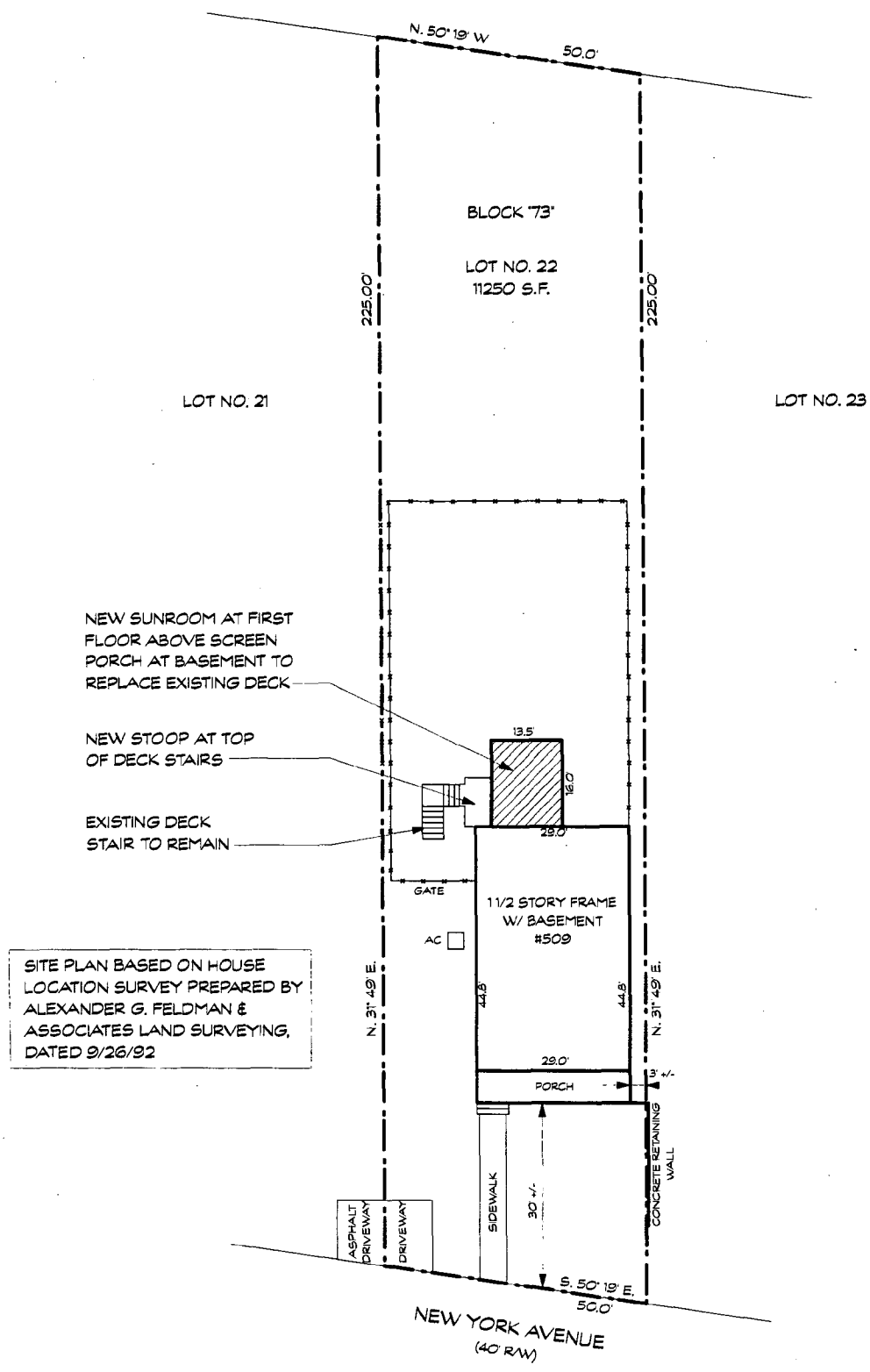
Gene and Esther Herman
511 New York Ave
Takoma Park, MD 20912-4119
(301) 585-5832

Leona R Overton
7440 Baltimore Ave.
Takoma Park, MD 20912-4101
Phone number unavailable

Mary Hennessey
Daniel P. Cunningham
7427 Buffalo Ave.
Takoma Park, MD 20912-4144
(301) 588-7977

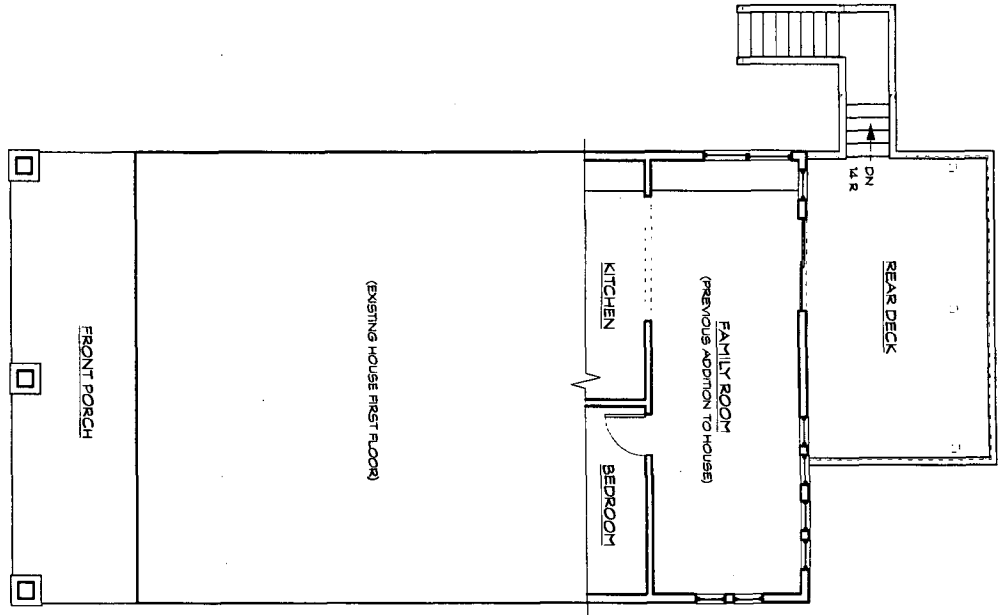
Velia Dominguez
410 Philadelphia Ave.
Takoma Park, MD 20912-4116
(301) 588-6252

Elizabeth J. Enright
Michael G Mazzucchelli
408 Philadelphia Ave.
Takoma Park, MD 20912-4116
(301) 589-5673

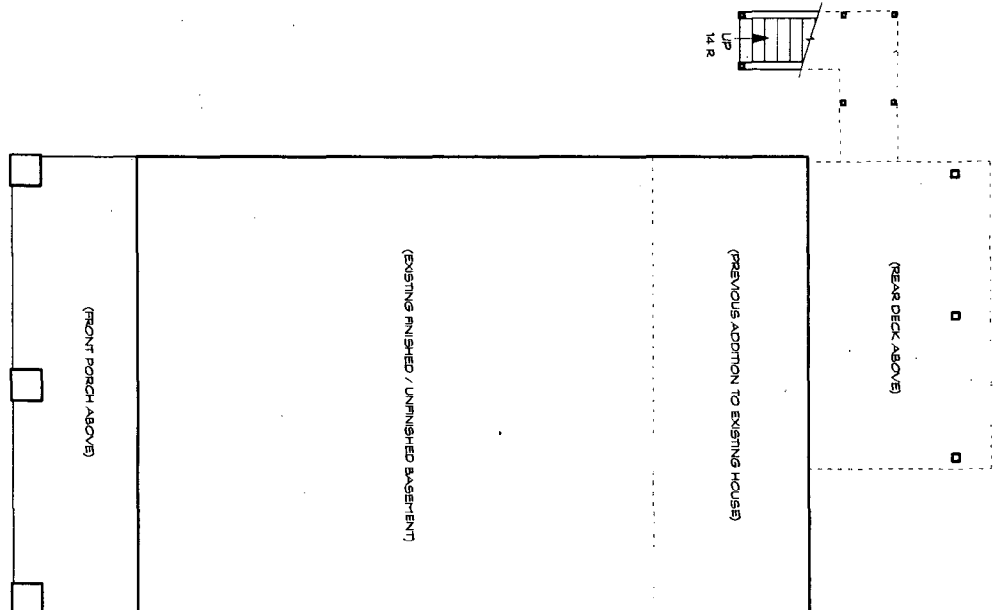


6

EXISTING FIRST FLOOR PLAN



EXISTING BASEMENT PLAN



EC-1

18 June 2008

AINSFIELD RESIDENCE

509 New York Avenue, Takoma Park, MD

EXISTING FLOOR PLANS

SCALE: 1/8" = 1'-0"

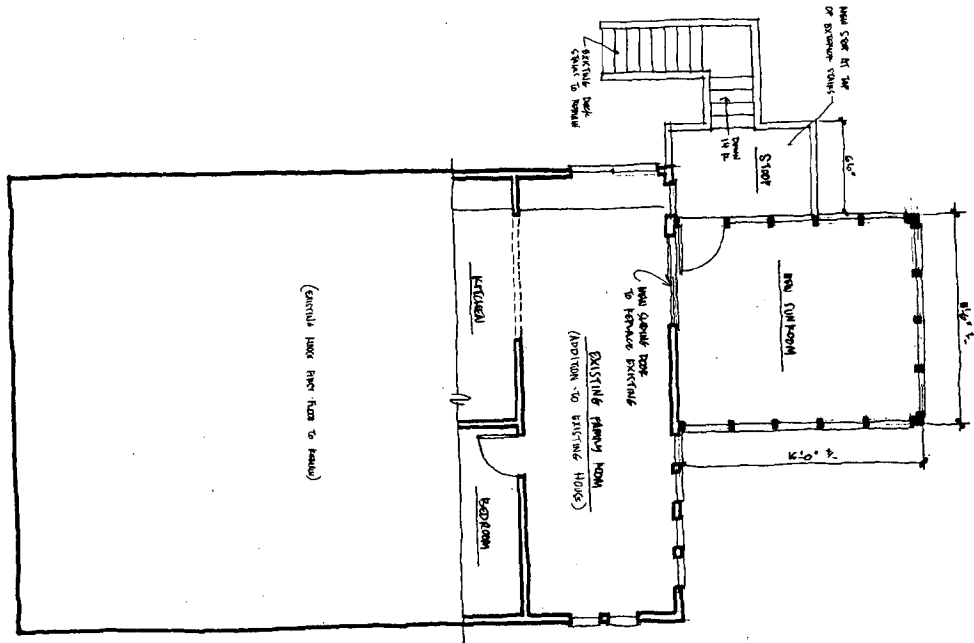
#0722

BENNETT FRANK McCARTHY

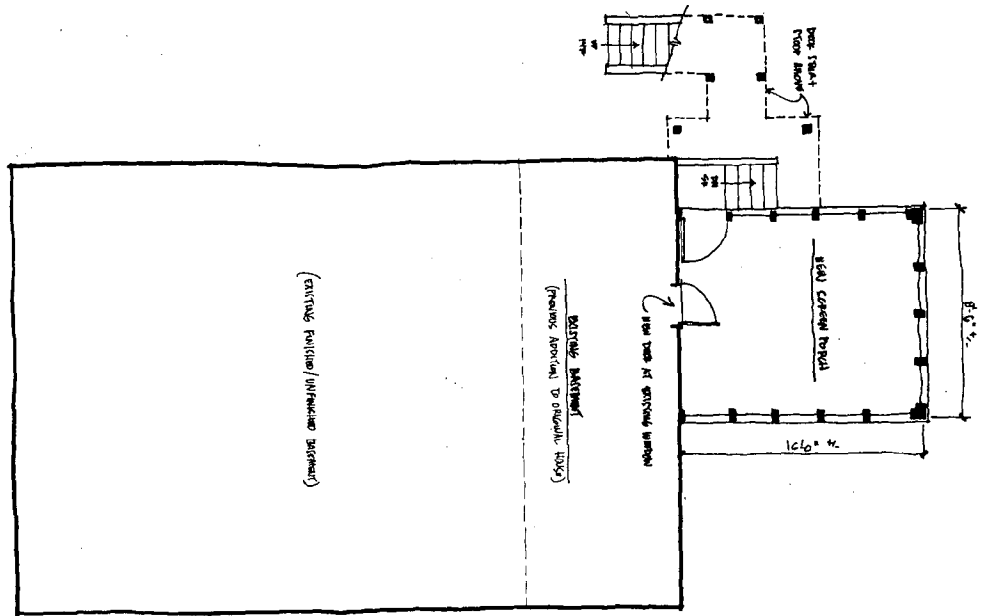
architects, inc.

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755

PROPOSED FIRST FLOOR PLAN



PROPOSED BASEMENT PLAN





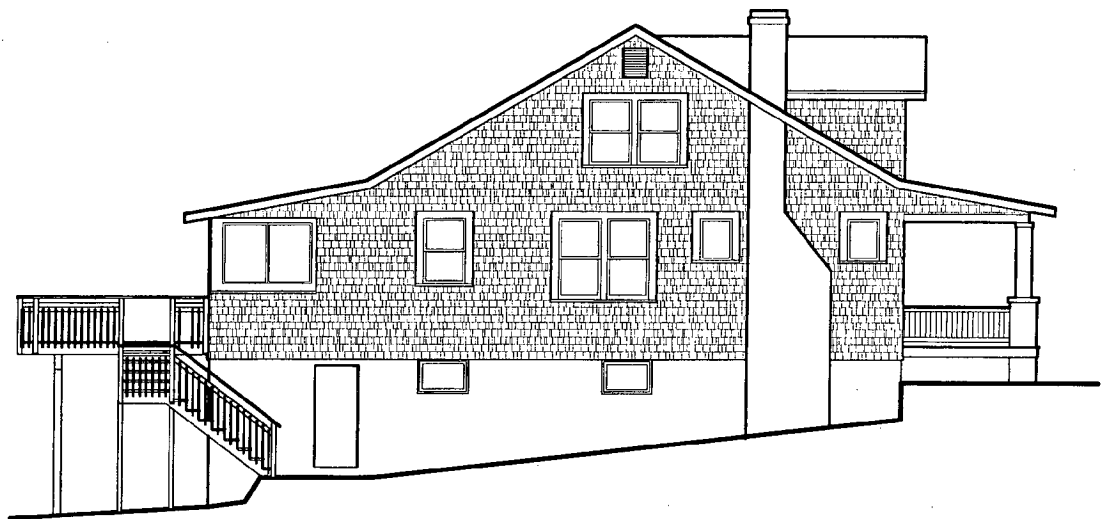
EXISTING FRONT (SOUTH) ELEVATION



EXISTING SIDE (EAST) ELEVATION

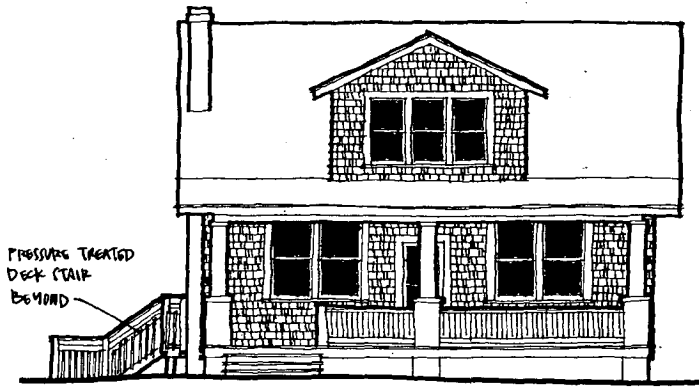


EXISTING REAR (NORTH) ELEVATION

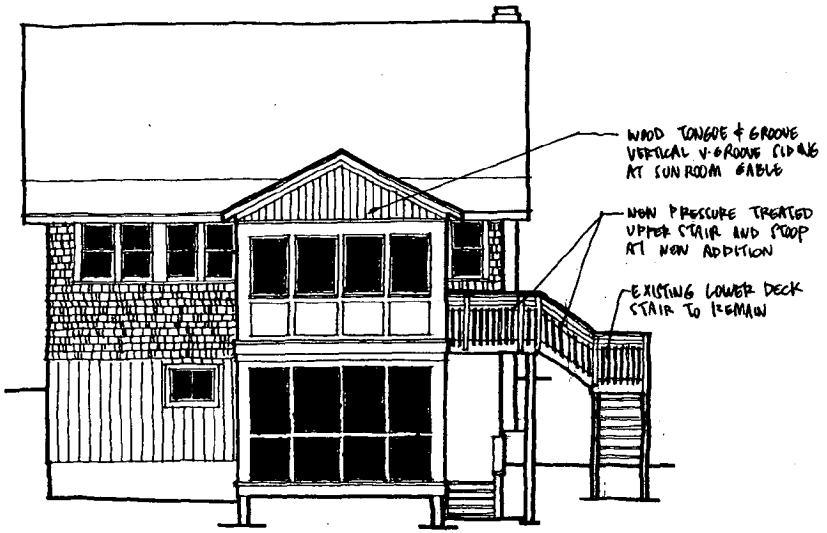
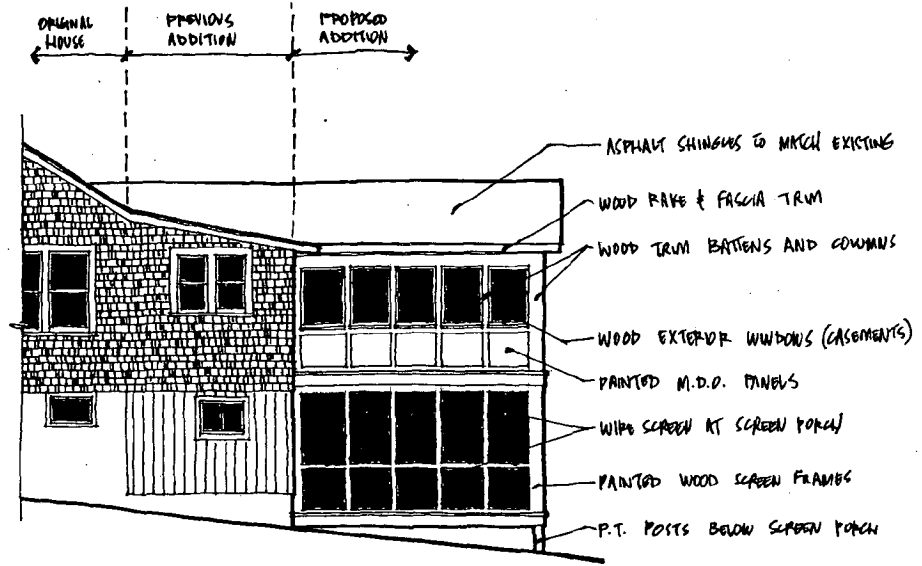


EXISTING SIDE (WEST) ELEVATION

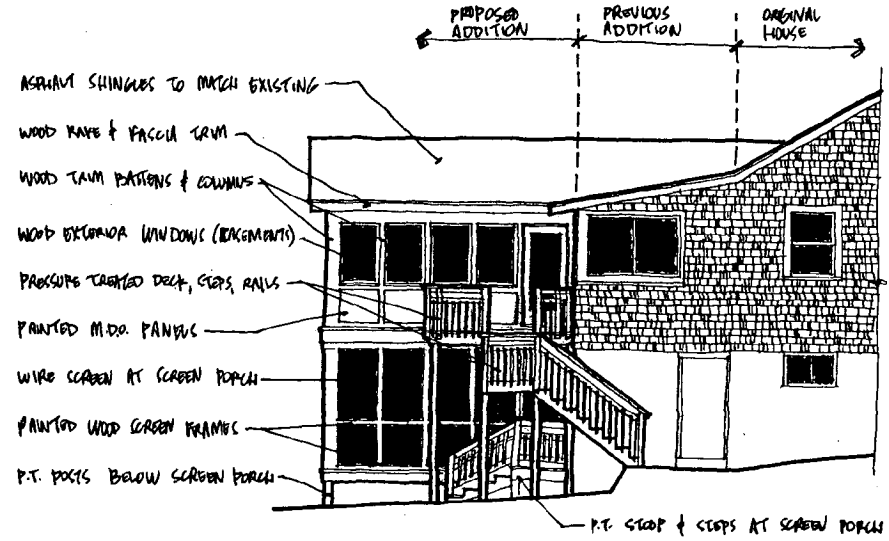




PROPOSED FRONT ELEVATION



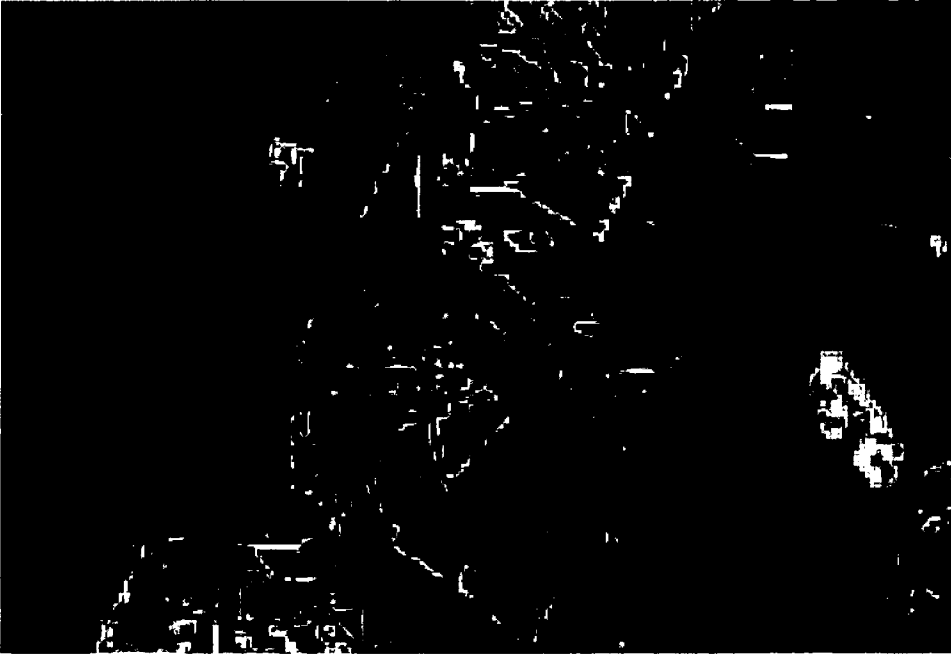
PROPOSED REAR ELEVATION



PROPOSED SIDE ELEVATION

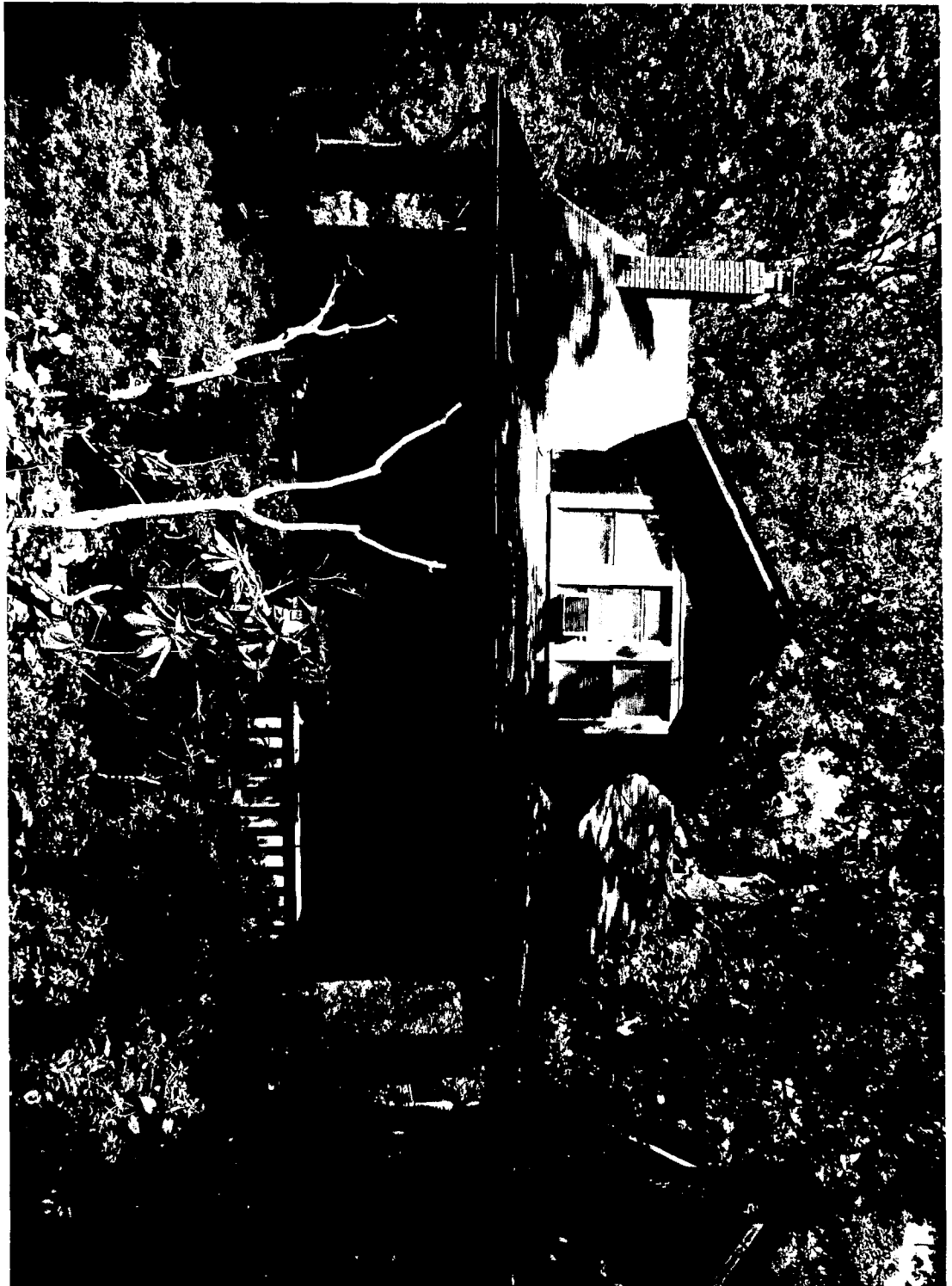
12

13





VIEW OF HOUSE FROM PUBLIC RIGHT OF WAY (NEW YORK AVENUE)



EC-3

18 June 2008

AINSFIELD RESIDENCE

509 New York Avenue, Takoma Park, MD
FRONT HOUSE VIEW

not to scale

#0722

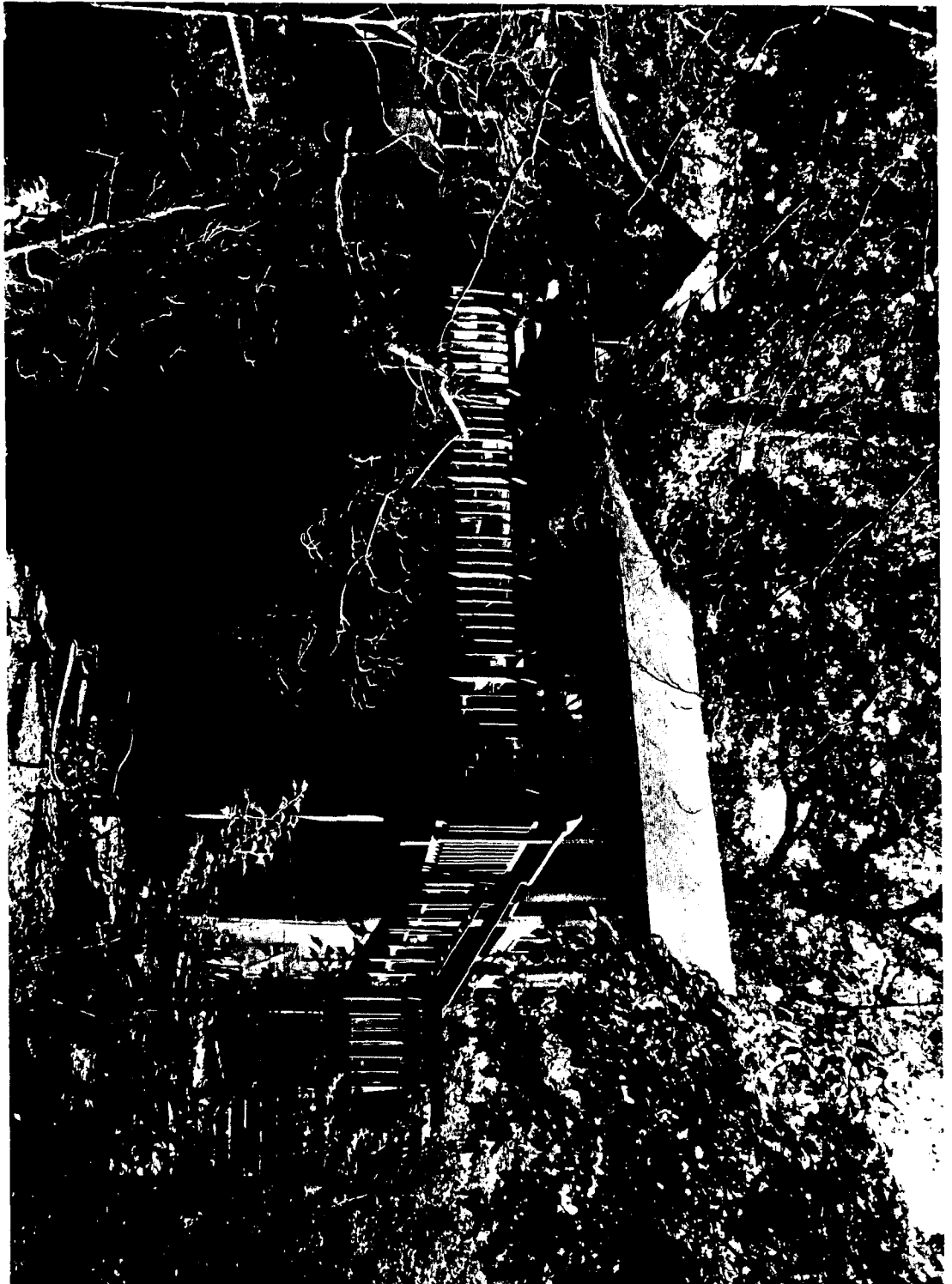
BENNETT FRANK McCARTHY

architects, inc.

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755
(301) 585-2222 www.bfmarch.com fax (301) 585-8917

15

VIEW OF HOUSE FROM REAR YARD



EC-4

18 June 2008

AINSFIELD RESIDENCE

509 New York Avenue, Takoma Park, MD
REAR HOUSE VIEW

not to scale

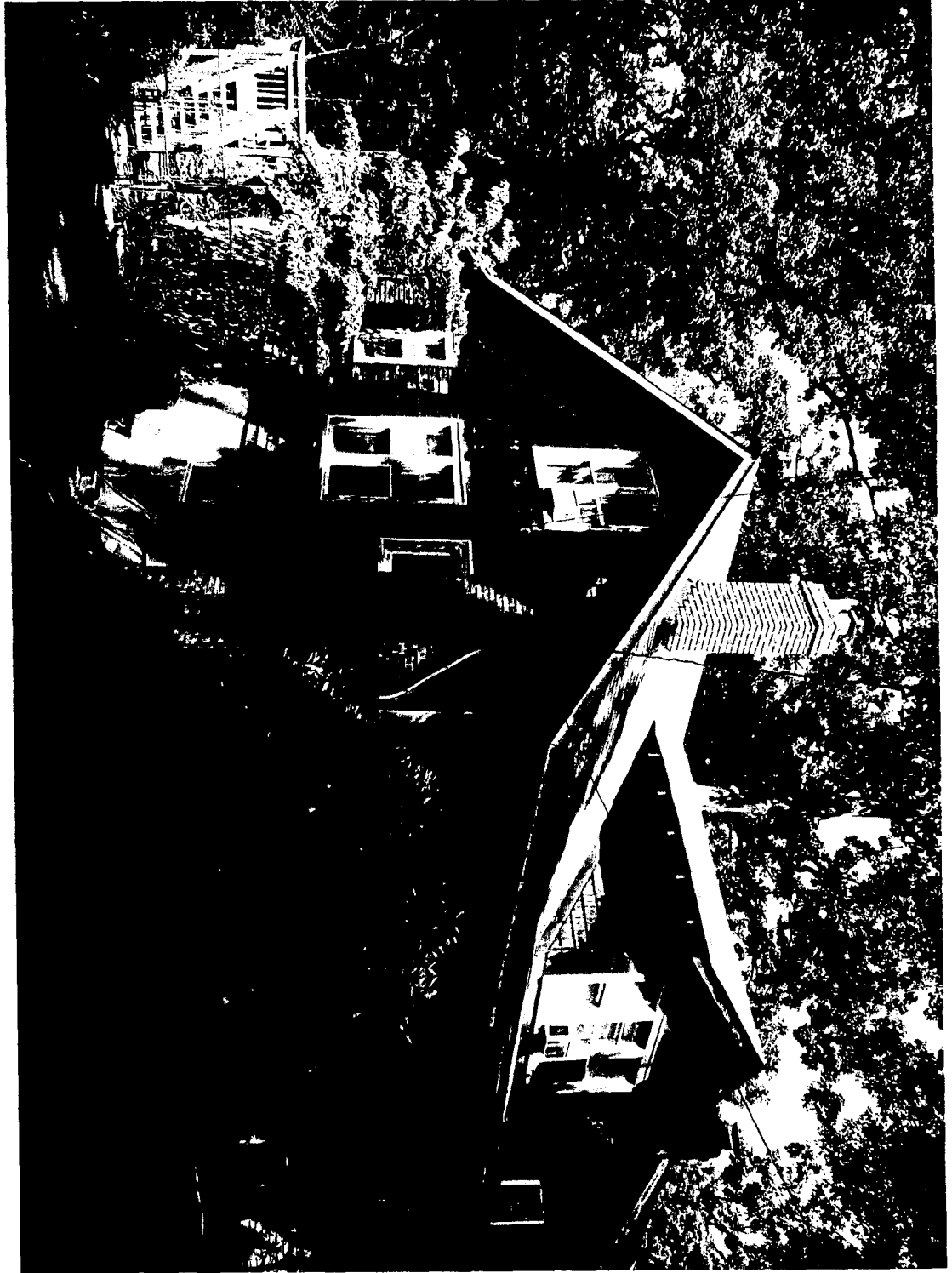
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VIEW OF HOUSE FROM NEIGHBORING LOT (511 NEW YORK AVENUE)



EC-5

18 June 2008

AINSFIELD RESIDENCE

509 New York Avenue, Takoma Park, MD
SIDE HOUSE VIEW

not to scale

#0722

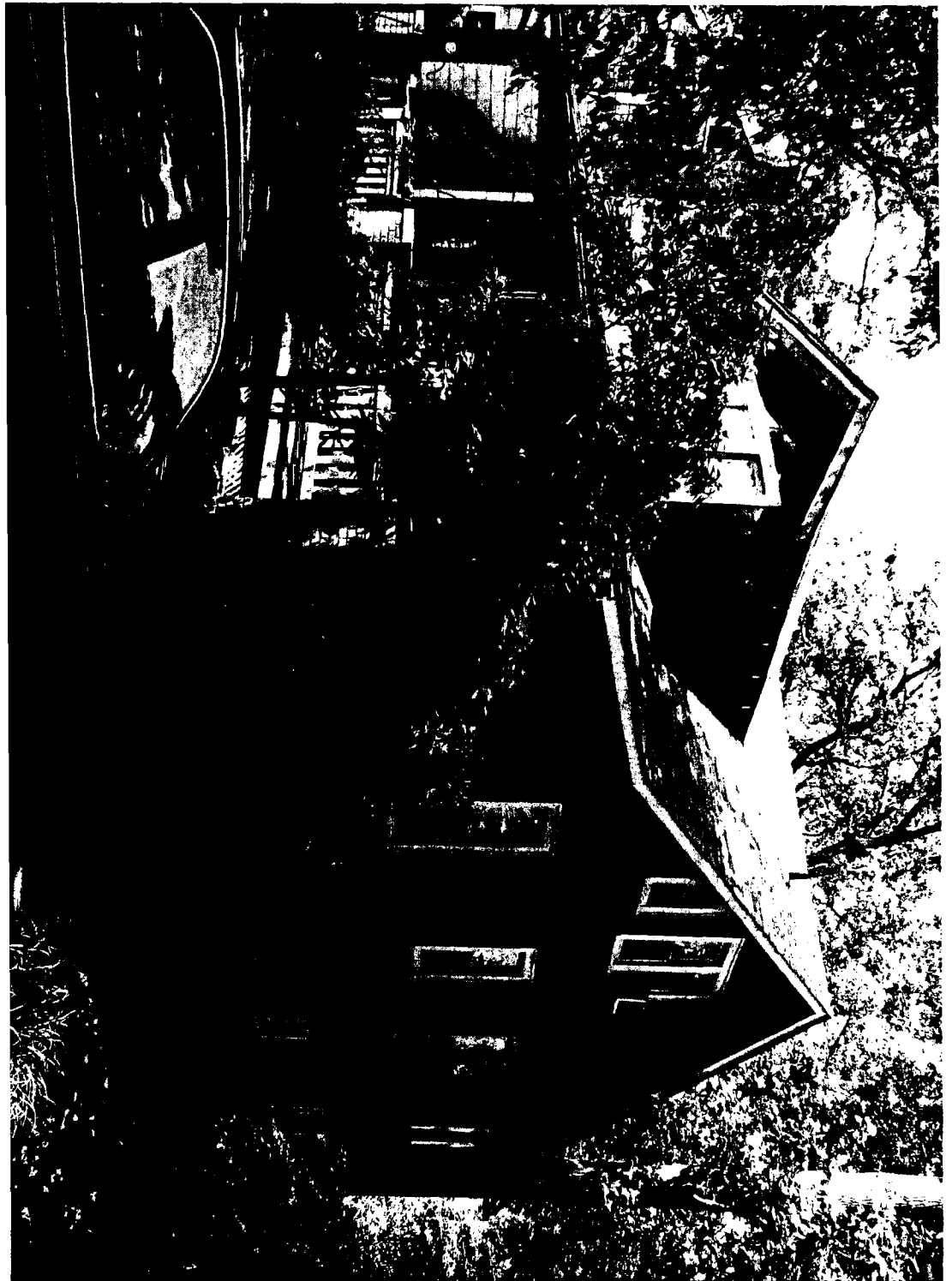
BENNETT FRANK MCCARTHY

architects, inc.

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41,

VIEW OF HOUSE FROM NEIGHBORING LOT (507 NEW YORK AVENUE)



EC-6

18 June 2008

AINSFIELD RESIDENCE

509 New York Avenue, Takoma Park, MD
SIDE HOUSE VIEW

not to scale

#0722

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VIEW OF HOUSE FROM PUBLIC RIGHT OF WAY (NEW YORK AVENUE)



EC-3

18 June 2008

AINSFIELD RESIDENCE

509 New York Avenue, Takoma Park, MD

FRONT HOUSE VIEW

not to scale

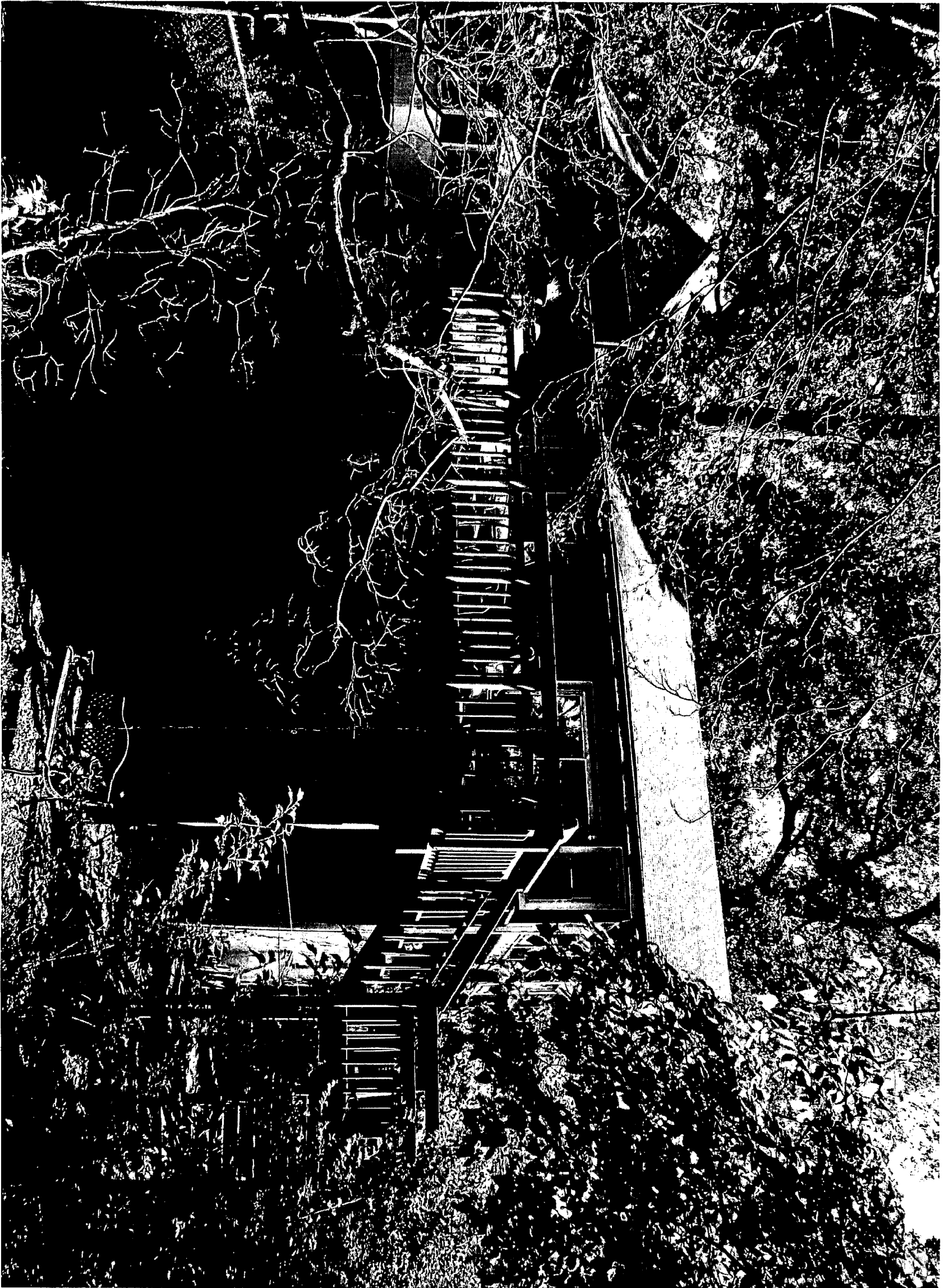
#0722

BENNETT FRANK McCARTHY

a r c h i t e c t s , i n c .

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(301) 585-2222 www.bfmarch.com fax (301) 585-8917

VIEW OF HOUSE FROM REAR YARD



EC-4

18 June 2008

AINSFIELD RESIDENCE

509 New York Avenue, Takoma Park, MD
REAR HOUSE VIEW

not to scale

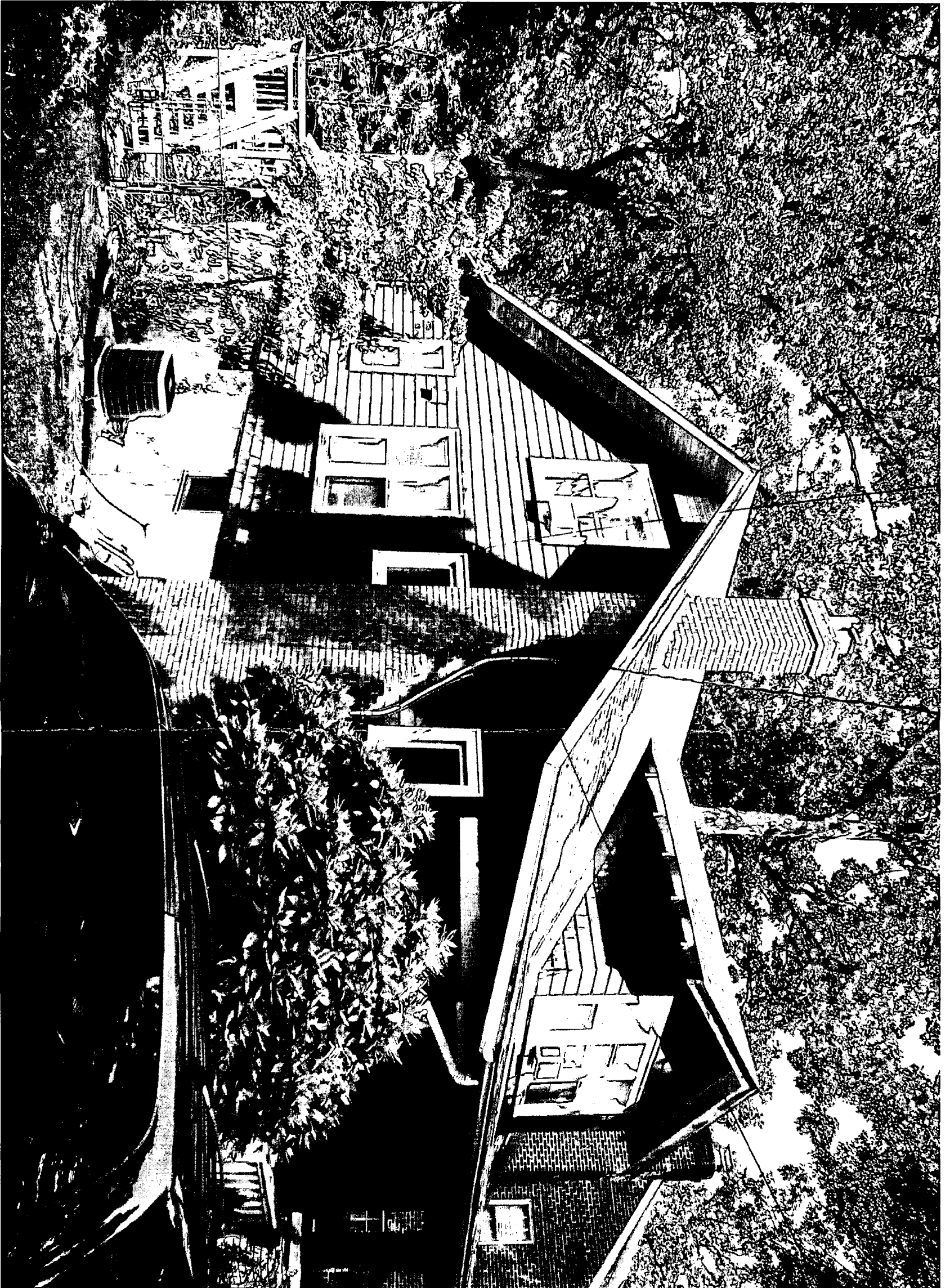
#0722

BENNETT FRANK McCARTHY

a r c h i t e c t s, i n c.

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755
(301) 585-2222 www.bfmarch.com fax (301) 585-8917

VIEW OF HOUSE FROM NEIGHBORING LOT (511 NEW YORK AVENUE)



EC-5

18 June 2008

AINSFIELD RESIDENCE

509 New York Avenue, Takoma Park, MD

SIDE HOUSE VIEW

not to scale

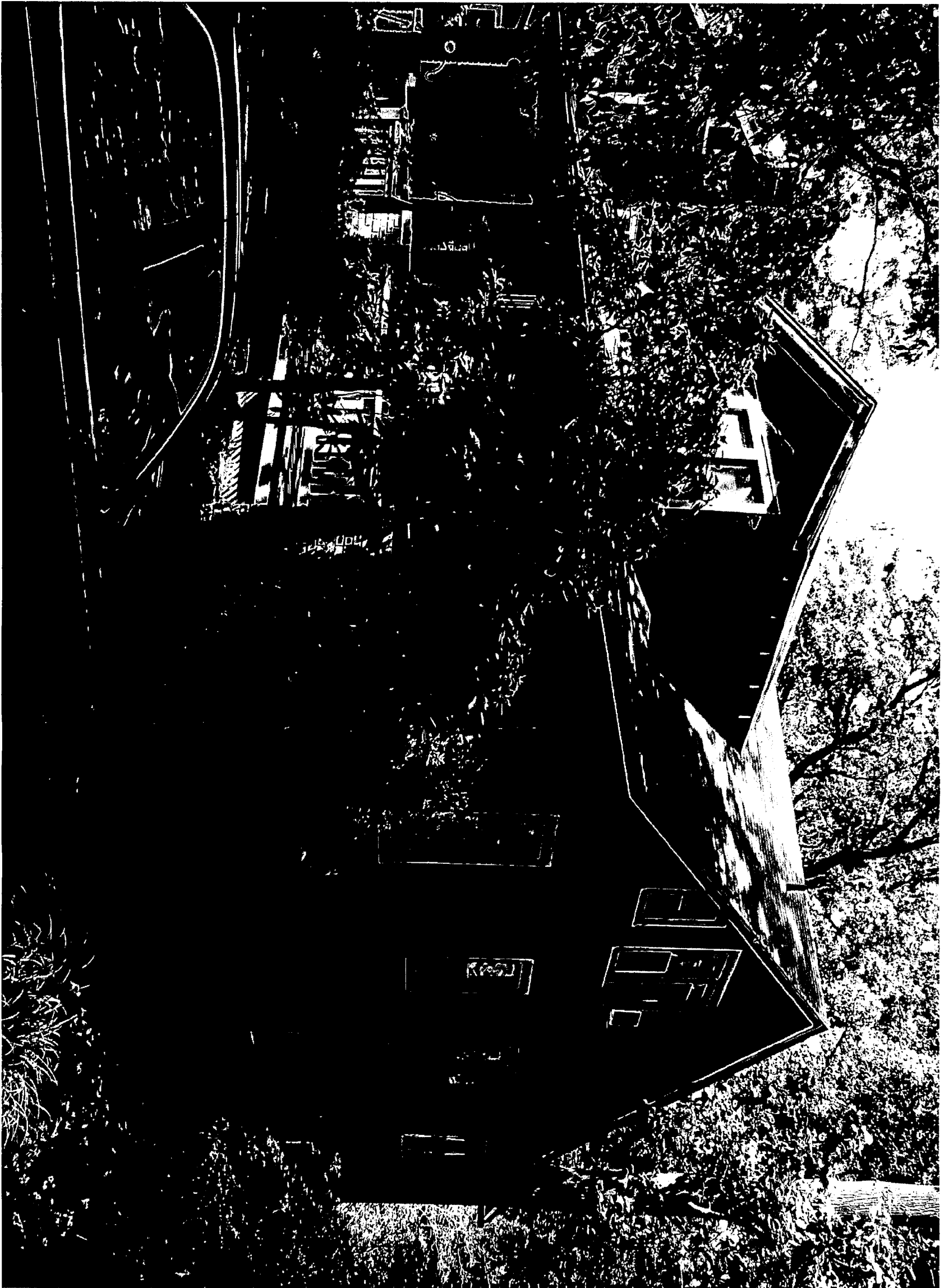
#0722

BENNETT FRANK McCARTHY

a r c h i t e c t s , i n c .

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755
(301) 585-2222 www.bfmarch.com fax (301) 585-8917

VIEW OF HOUSE FROM NEIGHBORING LOT (507 NEW YORK AVENUE)



EC-6

18 June 2008

AINSFIELD RESIDENCE

509 New York Avenue, Takoma Park, MD
SIDE HOUSE VIEW

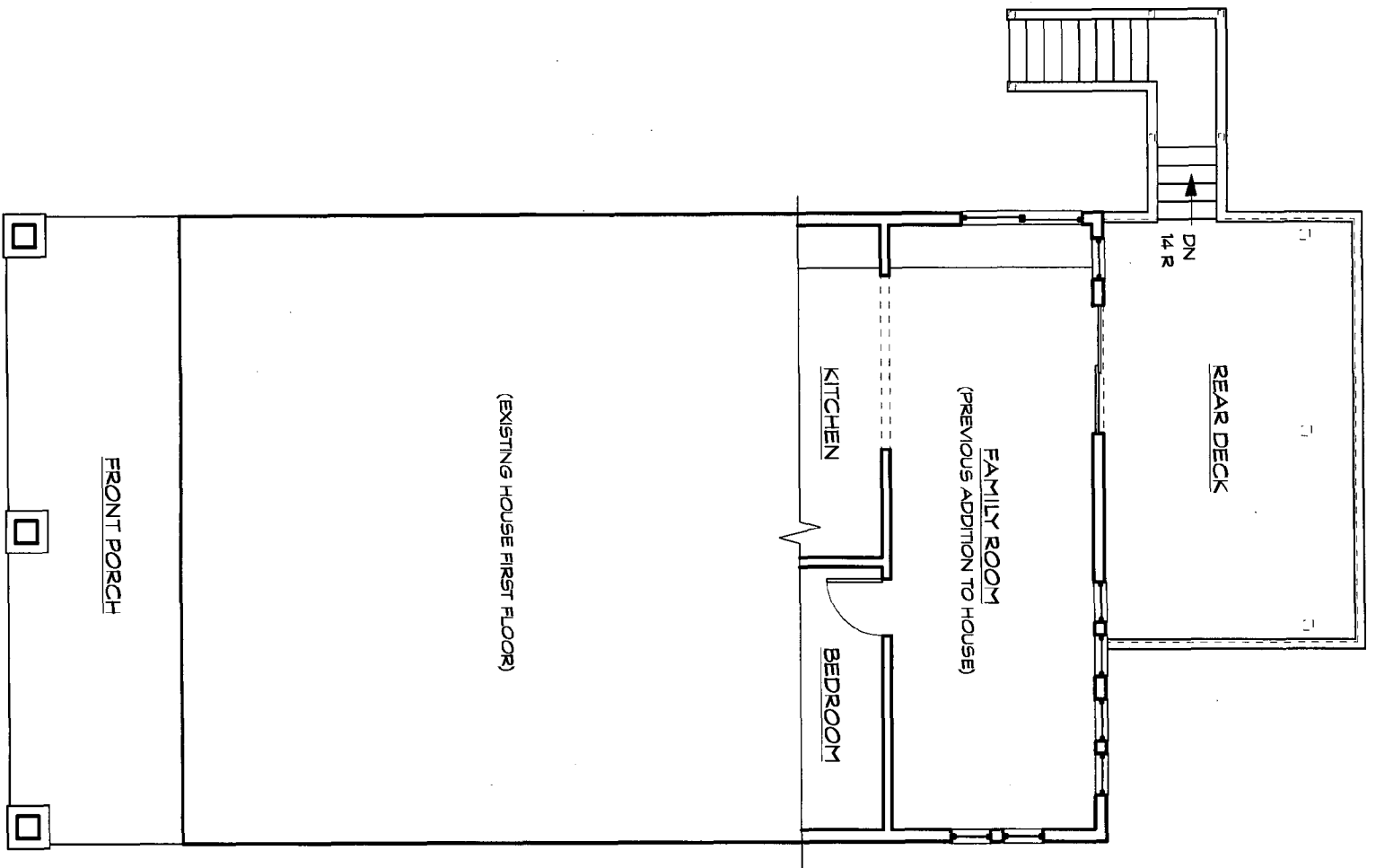
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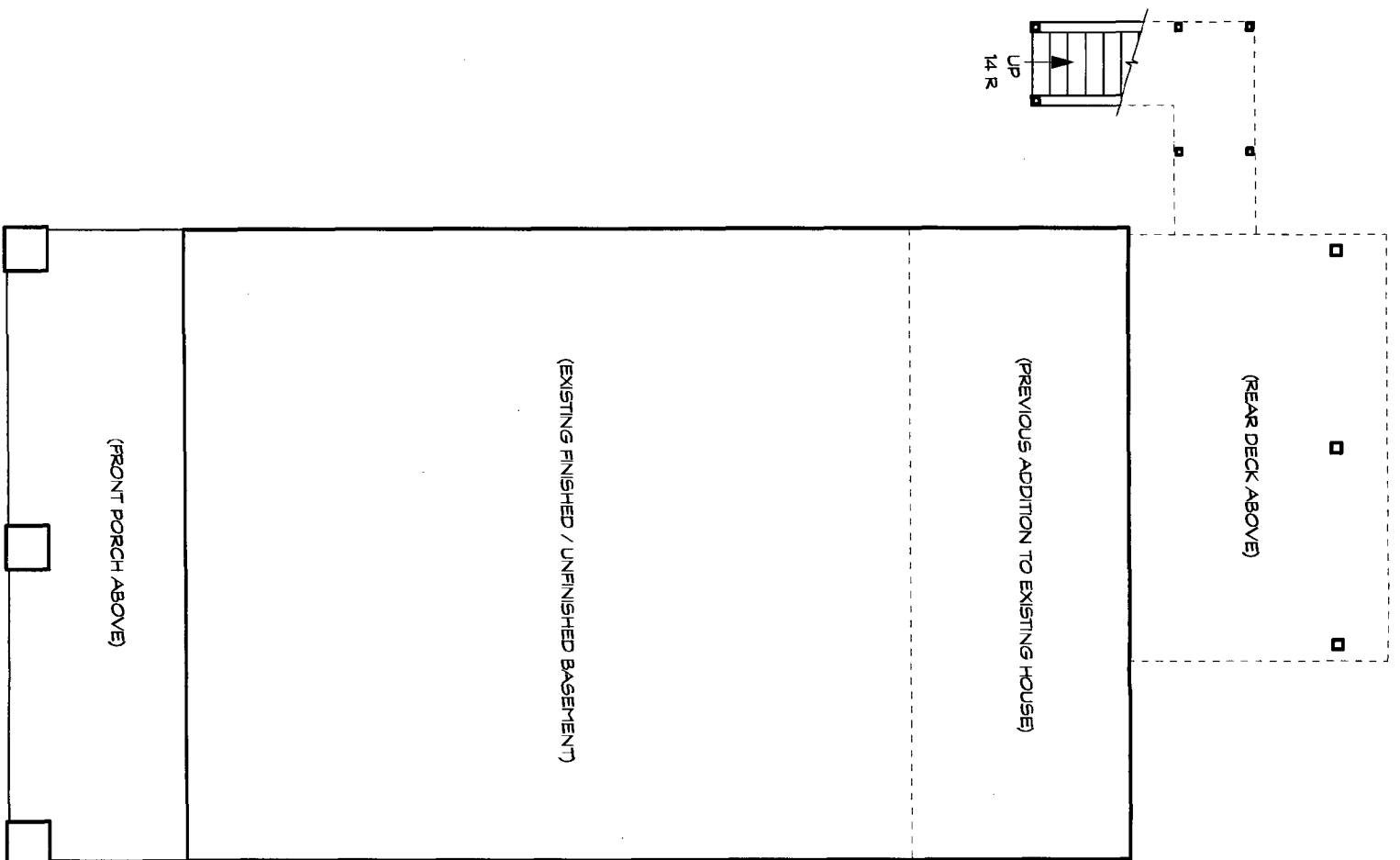
BENNETT FRANK McCARTHY

a r c h i t e c t s , i n c .

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755
(301) 585-2222 www.bfmarch.com fax (301) 585-8917



EXISTING FIRST FLOOR PLAN



EXISTING BASEMENT PLAN

EC-1

18 June 2008

AINSFIELD RESIDENCE

509 New York Avenue, Takoma Park, MD
EXISTING FLOOR PLANS

SCALE: 1/8" = 1'-0"

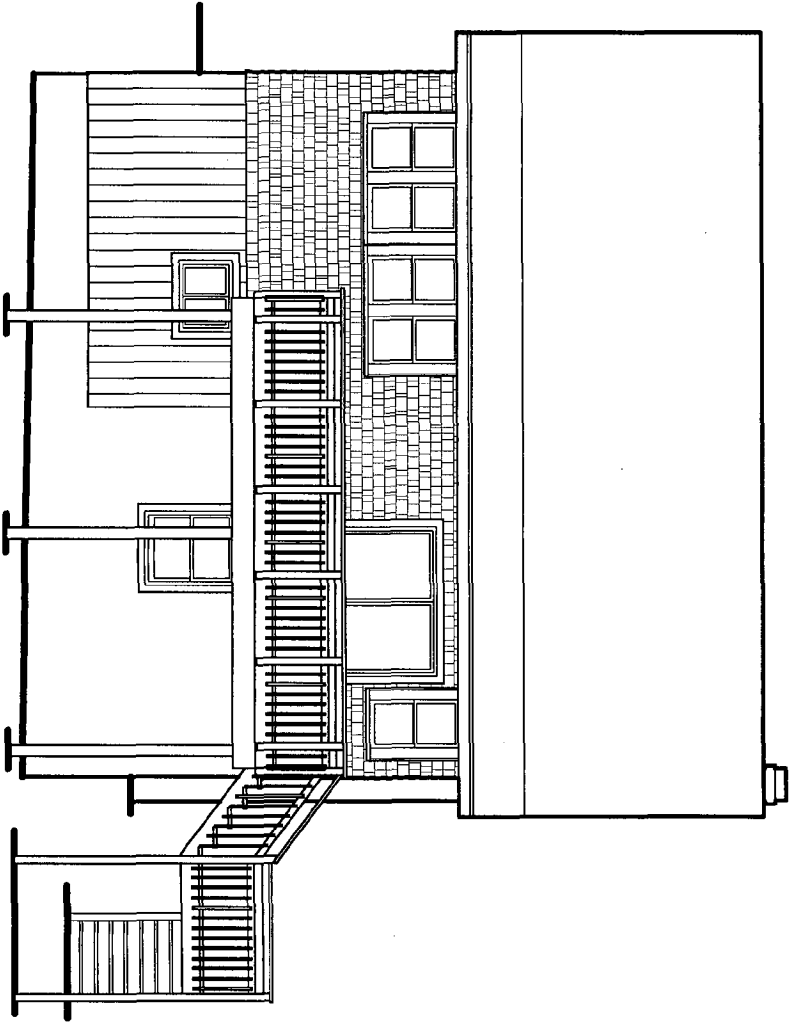
#0722

BENNETT FRANK McCARTHY

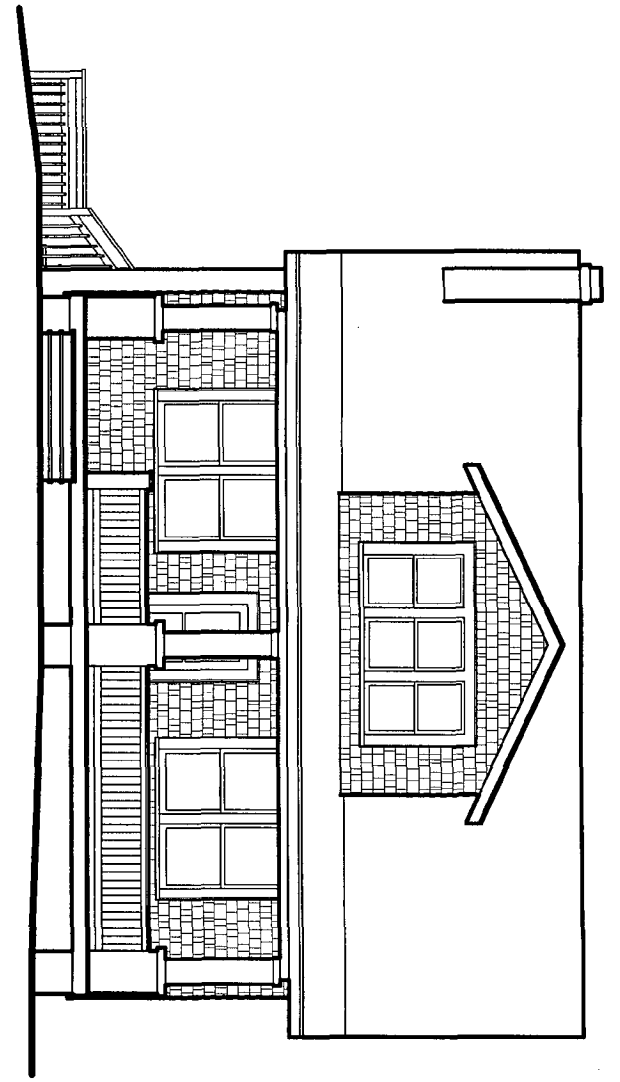
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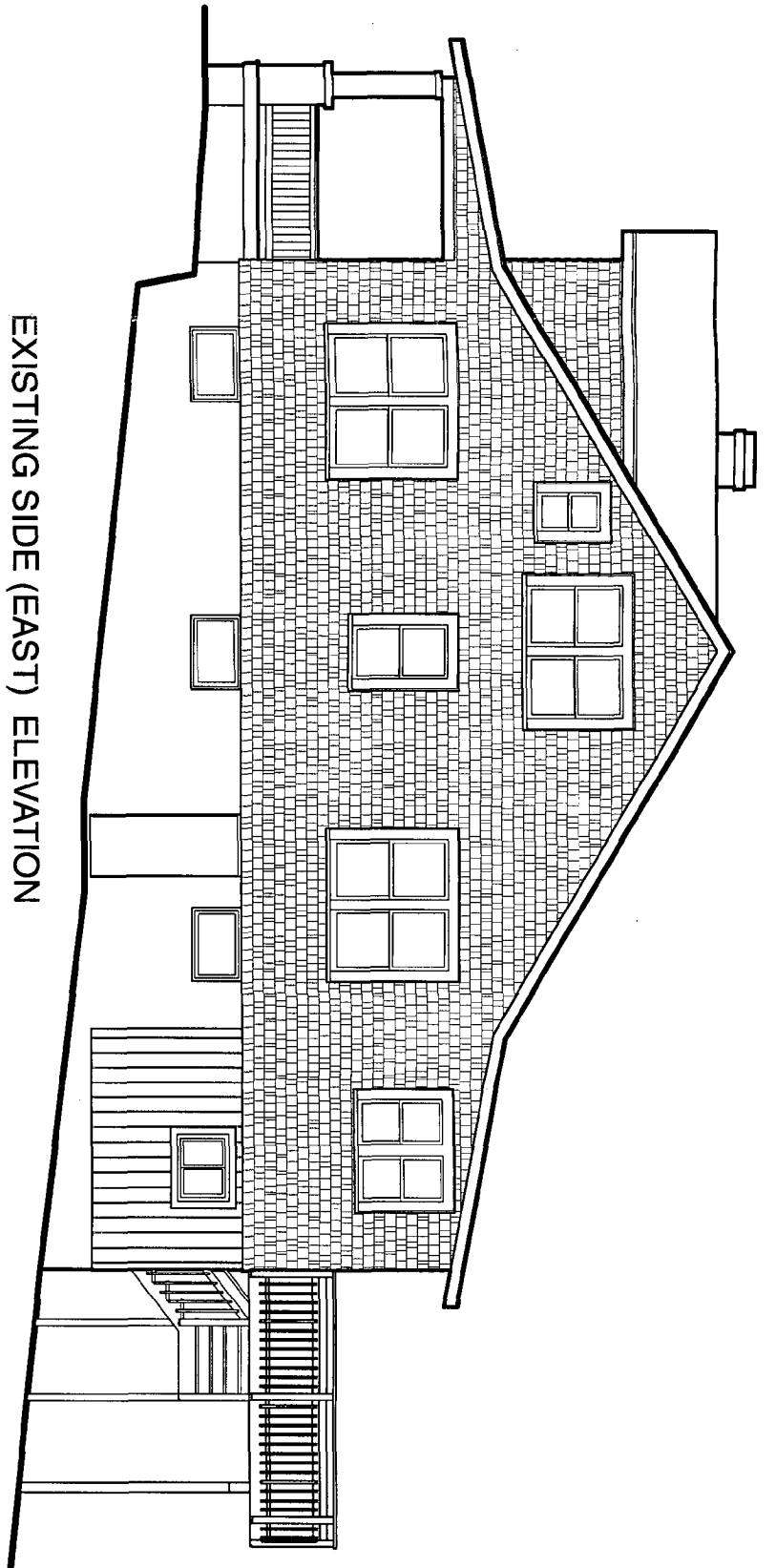
EXISTING REAR (NORTH) ELEVATION



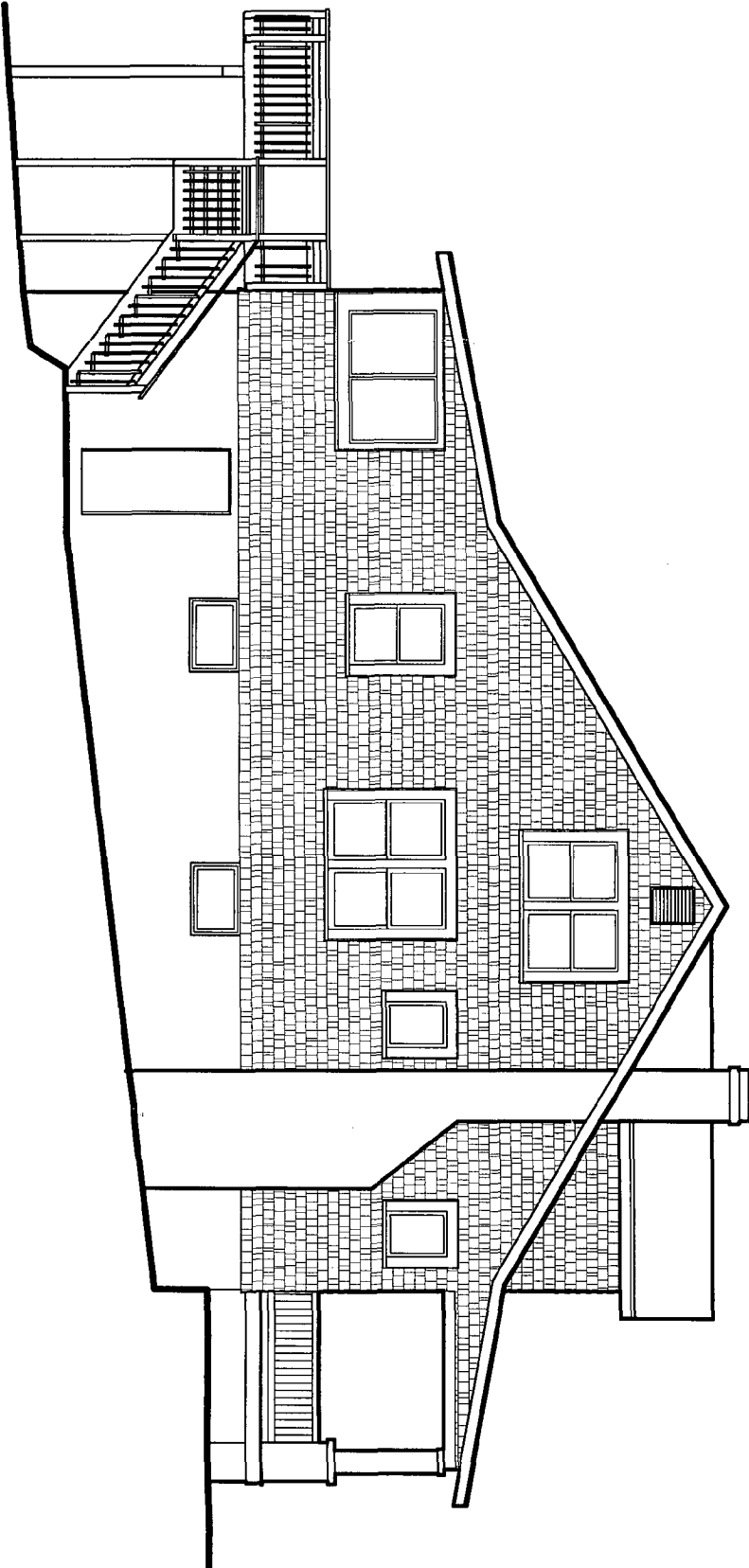
EXISTING FRONT (SOUTH) ELEVATION



EXISTING SIDE (EAST) ELEVATION



EXISTING SIDE (WEST) ELEVATION



VIEW OF HOUSE FROM PUBLIC RIGHT OF WAY (NEW YORK AVENUE)



EC-3

18 June 2008

AINSFIELD RESIDENCE

509 New York Avenue, Takoma Park, MD

FRONT HOUSE VIEW

not to scale

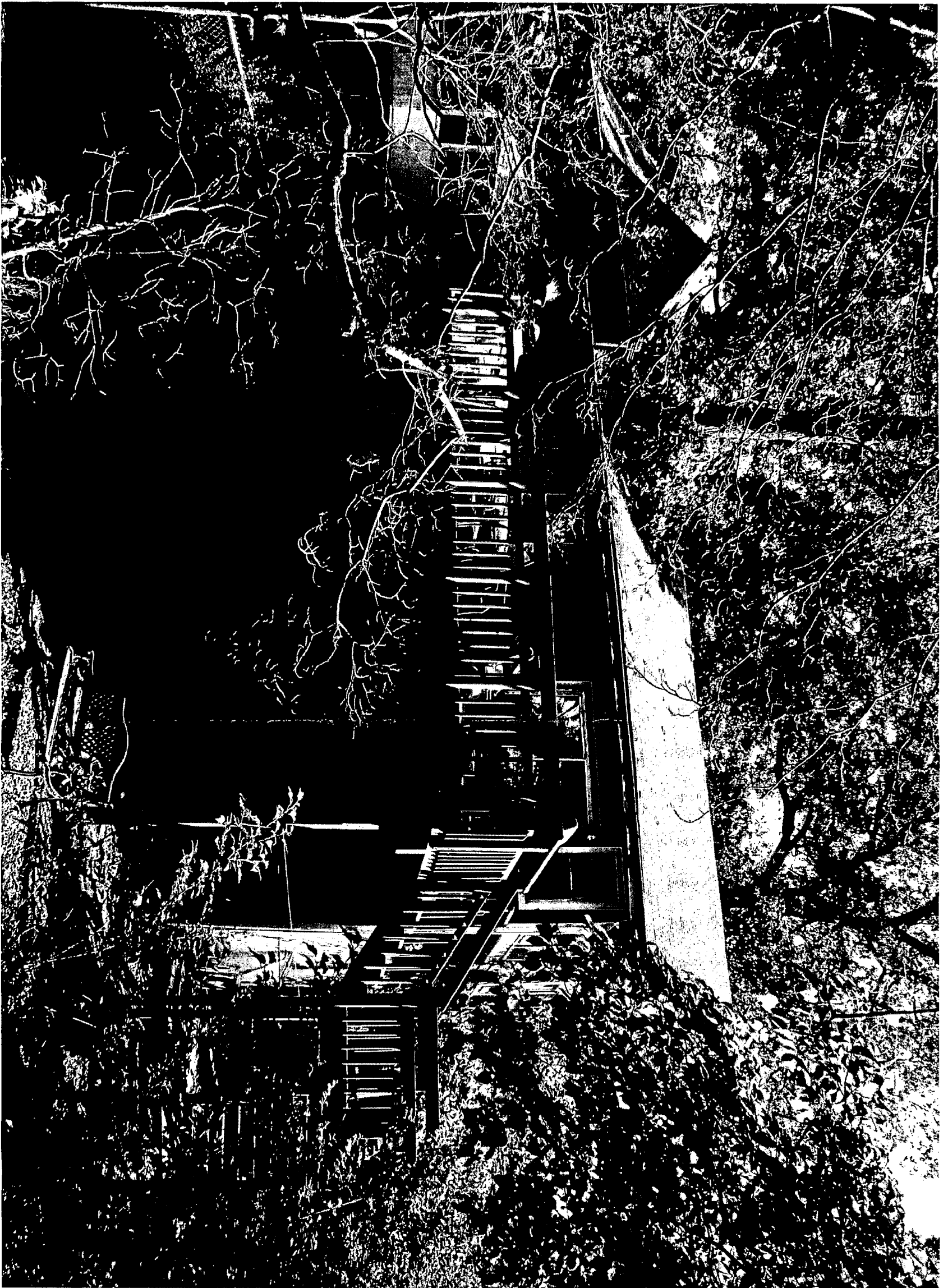
#0722

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VIEW OF HOUSE FROM REAR YARD



EC-4

18 June 2008

AINSFIELD RESIDENCE

509 New York Avenue, Takoma Park, MD
REAR HOUSE VIEW

not to scale

#0722

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18 June 2008

EC-5

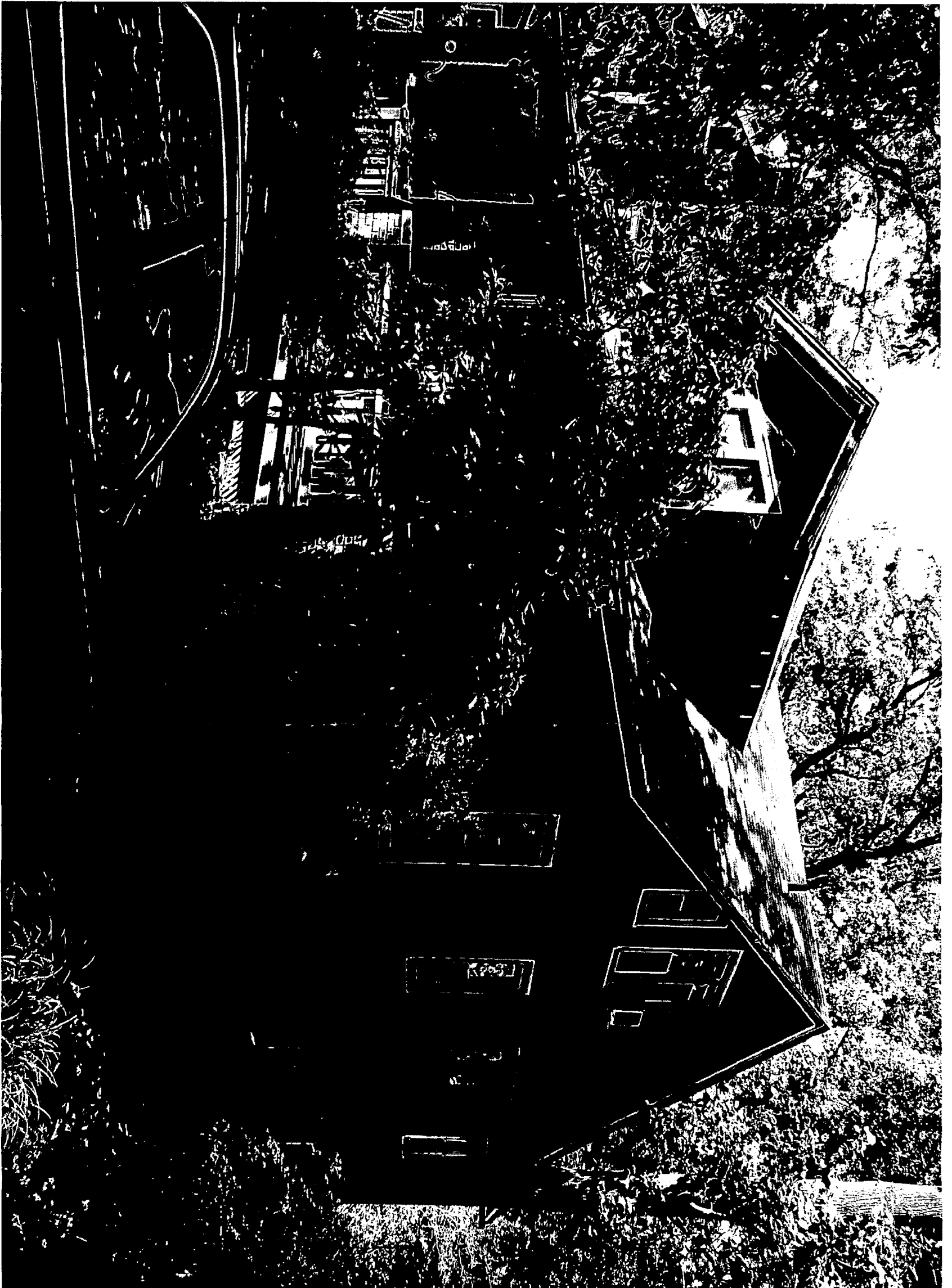
AINSFIELD RESIDENCE
509 New York Avenue, Takoma Park, MD
SIDE HOUSE VIEW
#0722
not to scale

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VIEW OF HOUSE FROM NEIGHBORING LOT (511 NEW YORK AVENUE)

VIEW OF HOUSE FROM NEIGHBORING LOT (507 NEW YORK AVENUE)



EC-6

18 June 2008

AINSFIELD RESIDENCE

509 New York Avenue, Takoma Park, MD

SIDE HOUSE VIEW

not to scale

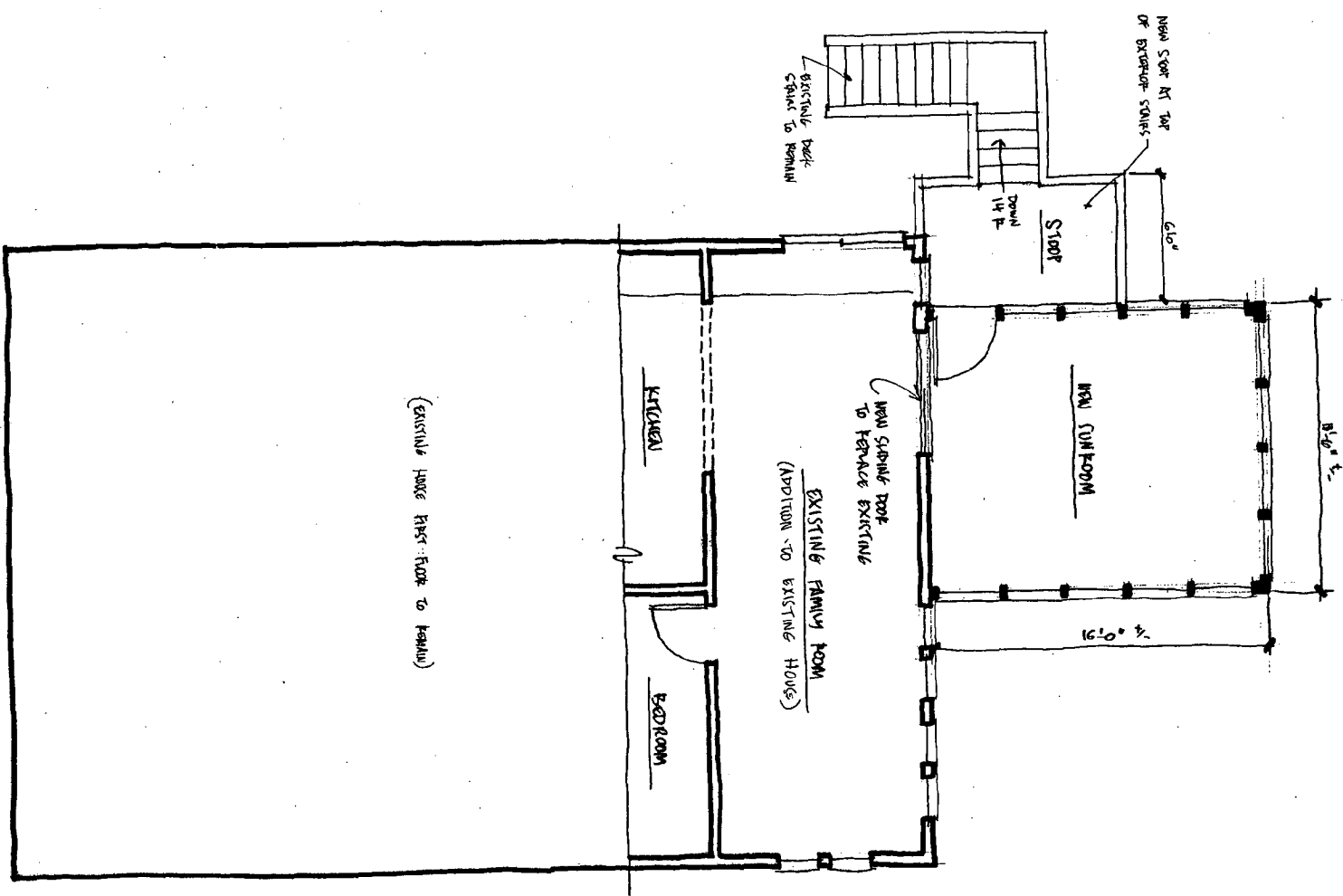
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BENNETT FRANK McCARTHY

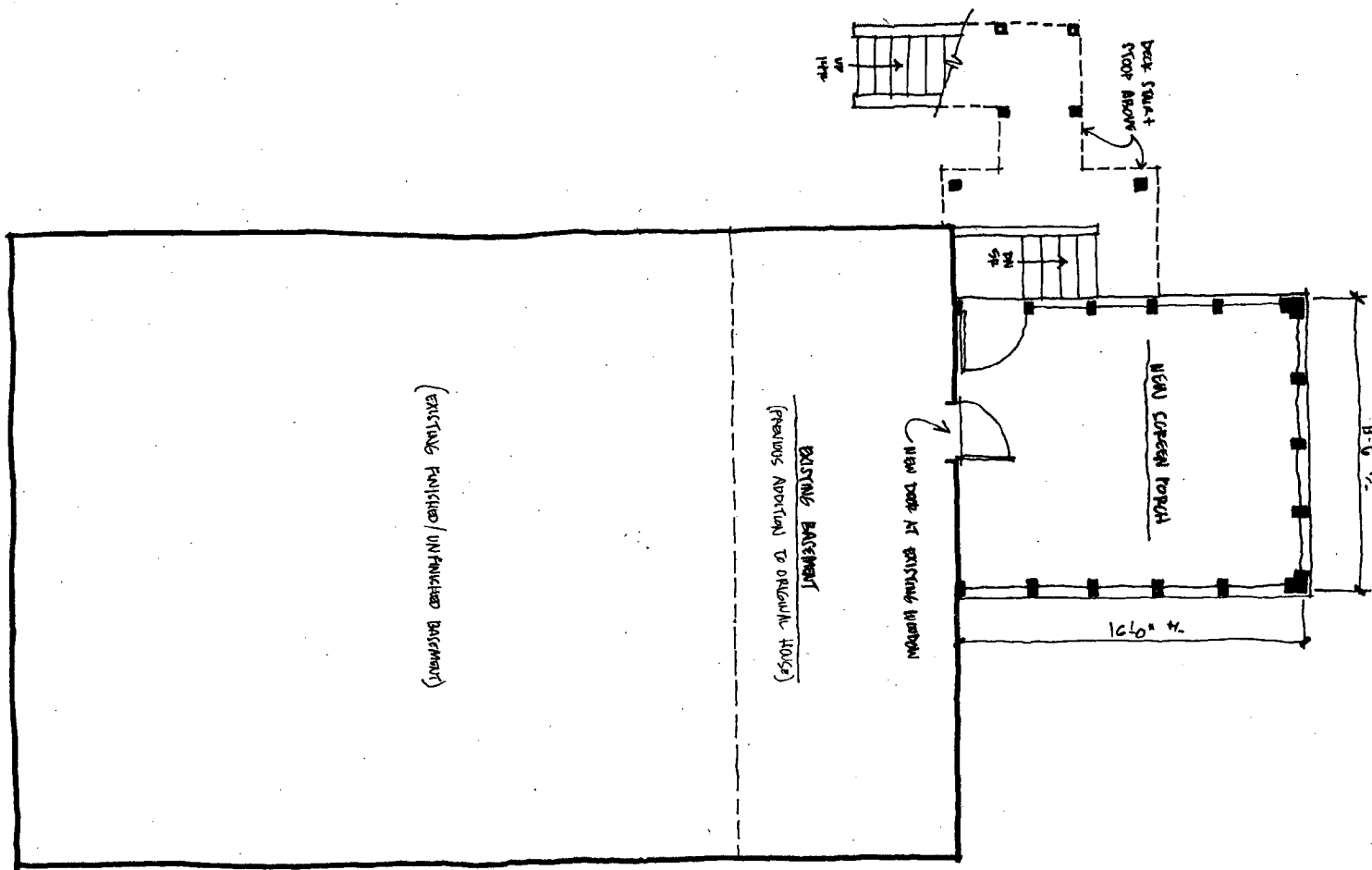
a r c h i t e c t s , i n c .

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PROPOSED FIRST FLOOR PLAN



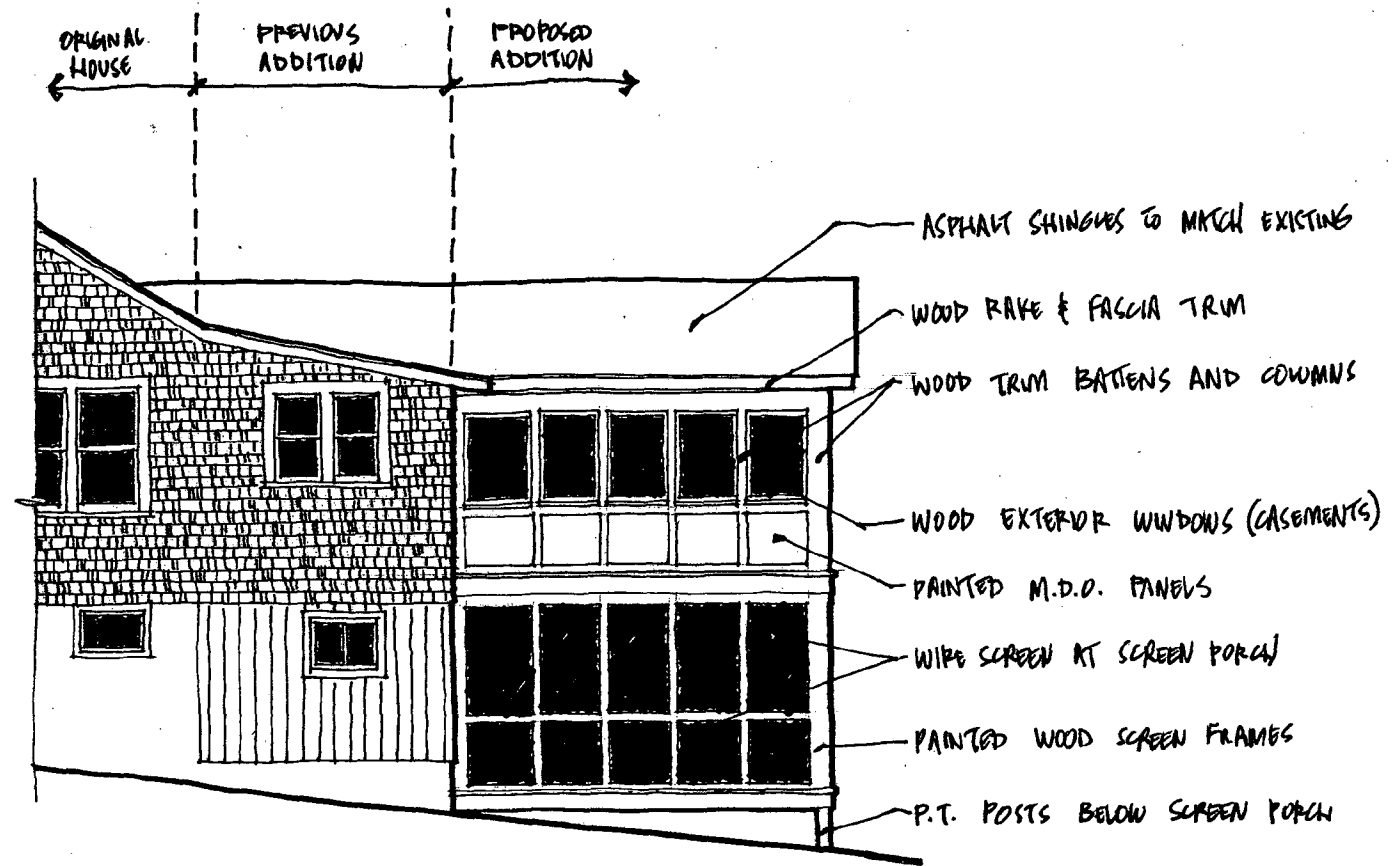
PROPOSED BASEMENT PLAN





PRESSURE TREATED
DECK STAIR
BEYOND

PROPOSED FRONT ELEVATION



ASPHALT SHINGLES TO MATCH EXISTING

WOOD RAKE & FASCIA TRIM

WOOD TRIM BATTENS AND COLUMNS

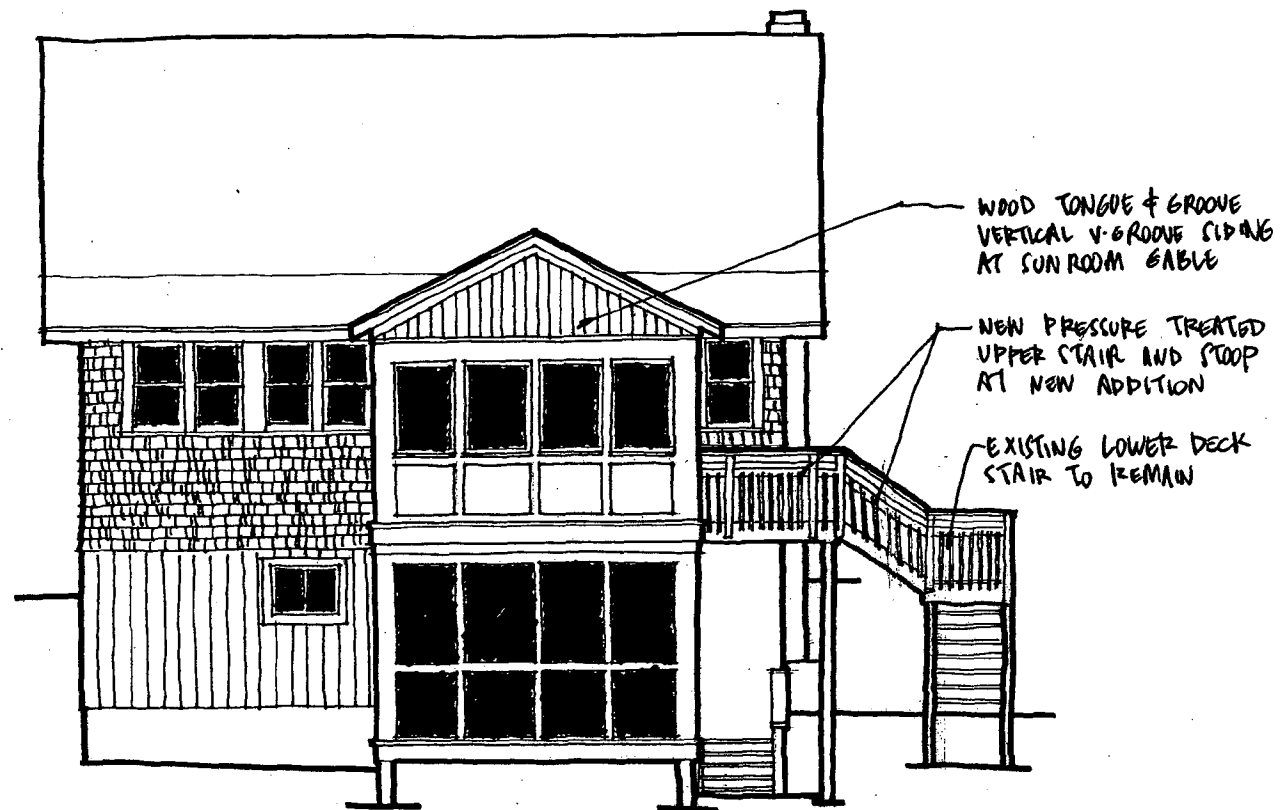
WOOD EXTERIOR WINDOWS (CASEMENTS)

PAINTED M.D.O. PANELS

WIRE SCREEN AT SCREEN PORCH

PAINTED WOOD SCREEN FRAMES

P.T. POSTS BELOW SCREEN PORCH

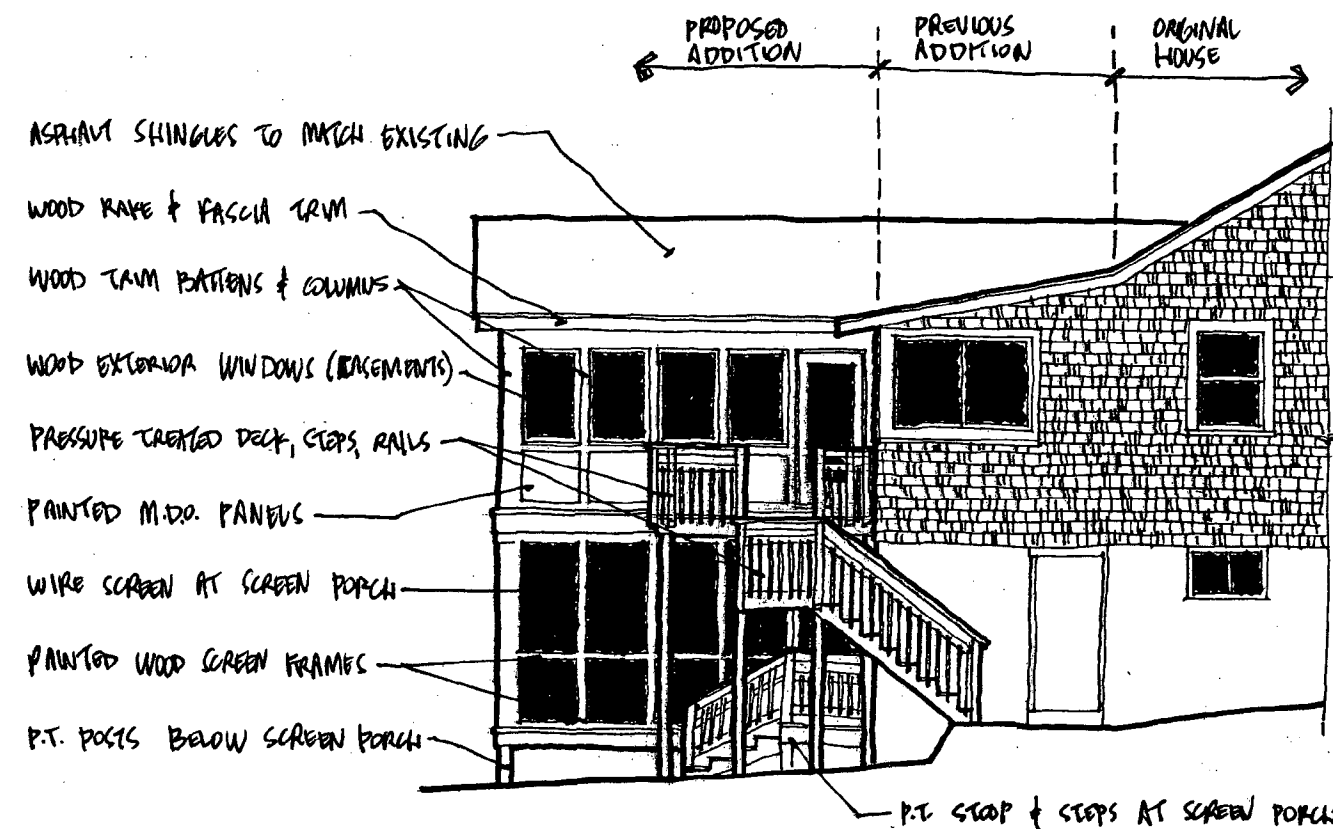


WOOD TONGUE & GROOVE
VERTICAL V-GROOVE SIDING
AT SUN ROOM GABLE

NEW PRESSURE TREATED
UPPER STAIR AND STOOP
AT NEW ADDITION

EXISTING LOWER DECK
STAIR TO REMAIN

PROPOSED REAR ELEVATION



ASPHALT SHINGLES TO MATCH EXISTING

WOOD RAKE & FASCIA TRIM

WOOD TRIM BATTENS & COLUMNS

WOOD EXTERIOR WINDOWS (CASEMENTS)

PRESSURE TREATED DECK, STEPS, RAILS

PAINTED M.D.O. PANELS

WIRE SCREEN AT SCREEN PORCH

PAINTED WOOD SCREEN FRAMES

P.T. POSTS BELOW SCREEN PORCH

P.T. STOOP & STEPS AT SCREEN PORCH

PROPOSED SIDE ELEVATION

BENNETT FRANK MCCARTHY

architects, inc.
1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755
(301) 585-2222 www.bfmarch.com fax (301) 585-8917

AINSFIELD RESIDENCE
509 New York Avenue, Takoma Park, MD

PROPOSED EXTERIOR ELEVATIONS #0722
SCALE: 1/8" = 1'-0"

A-2

18 June 2008